



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Krissy Gilmore, Senior Planner
Kristina.Gilmore@slcgov.com, 801-455-6714
Date: June 12, 2024
Re: Modifications to Design Review Approval for Lotus Alchemy (PLNPCM2022-00422)

Design Review Modification

PROPERTY ADDRESS: 48 W 700 S
PARCEL ID: 15-12-228-021-0000
MASTER PLAN: Downtown
ZONING DISTRICT: D-2 (Downtown Support)

REQUEST:

Lotus Alchemy LLC is seeking a modification to the approved Design Review for the Lotus Alchemy apartments, which received approval from the Planning Commission on August 24, 2022. The modification involves minor changes to the building's exterior to accommodate the removal of underground parking and the addition of parking on the second level. These changes must be reviewed by the Planning Commission, as only minor modifications can be approved administratively. The property is located in the D-2 zoning district.

ACTION REQUIRED:

Review the proposed changes to the design of the project. If the Planning Commission denies the changes, the project will be required to comply with previous approval.

RECOMMENDATION:

Planning staff recommends that the Planning Commission approve the modifications to the Design Review.

ATTACHMENTS:

- A. [ATTACHMENT A: Applicant Materials](#)
- B. [ATTACHMENT B: Original Planning Commission Staff Report \(August 24, 2022\)](#)
- C. [ATTACHMENT C: Minutes from August 24, 2022 Planning Meeting](#)

PROJECT DESCRIPTION

The Lotus Alchemy apartments project received Design Review approval from the Planning Commission on August 24, 2022. The original approval was for a building with 214 units and 250 parking spaces inside the building. The new proposal is for a 184-unit building and includes 229 parking spaces. Street facing façade changes are minor, reflecting only the adjustments necessary to accommodate removing the underground parking and the addition of parking on the second level.

The project initially required Design Review approval because it proposed an additional 11 feet of building height, resulting in a total height of 76 feet. In the D-2 zone, buildings taller than 65 feet must receive Design Review approval. Additionally, the project requested to exceed the maximum length of a street-facing façade from 200 feet to 293 feet.

In addition to design review approval, the original application requested Planned Development approval to increase the maximum allowed parking spaces from 214 spaces to 250 spaces. The revised plans now include a reduction to 229 parking spaces, aligning more closely with the requirements of the D-2 zone. Additionally, the updated parking ordinance now permits parking to exceed the maximum allowed if it is internal to the building, removing the necessity of the Planning Development request.

Applicant's Requested Modifications

The approved building design originally included five wood construction levels over two concrete podium levels, with an underground level. Due to budget constraints, the applicant is now proposing to remove the underground parking level and construct a building with 4 wood levels over 2 concrete levels, all above grade. Essentially, the ground level will stay the same, but the second level has been modified to include parking. To maintain the same building height, 30 units have been removed and the parking count decreased to 229 spaces.

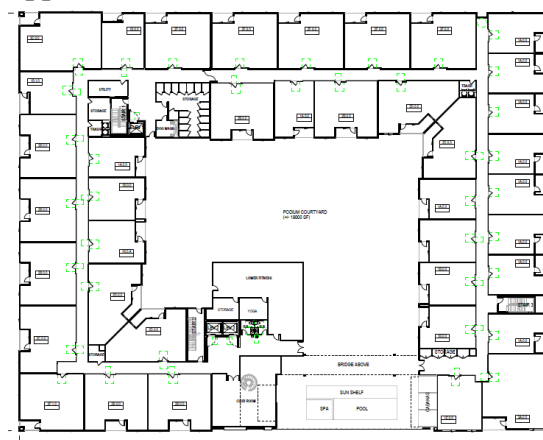
Most changes to the building are internal, keeping the original public facing building design largely the same. Since level two now includes parking, this results in slightly taller metal screening on the second level above the parking garage entrance. Additionally, the east and rear facades, which do not face the street, now include screened openings on the second level.

The following images and commentary provide details on the proposed modifications.

Second Level Floor Plans

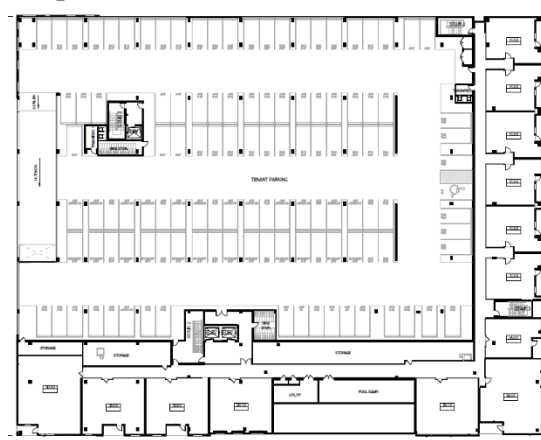
The second level floor plans are provided below to help inform the changes made to the exterior of the building:

Approved Level 2 Floor Plan



PLNPCM2022-00442

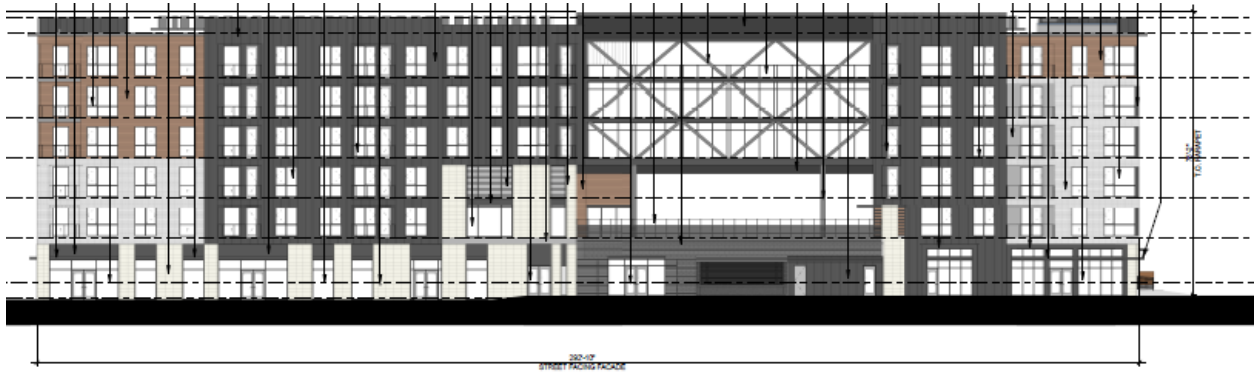
Proposed Level 2 Floor Plan



2

June 12, 2024

Approved 700 South Elevation



Proposed 700 South Elevation

Primary changes include a taller screening above the parking garage and below the amenity deck and minor changes to color and materials above the ground floor windows.



Approved East/Midblock Walkway Elevation

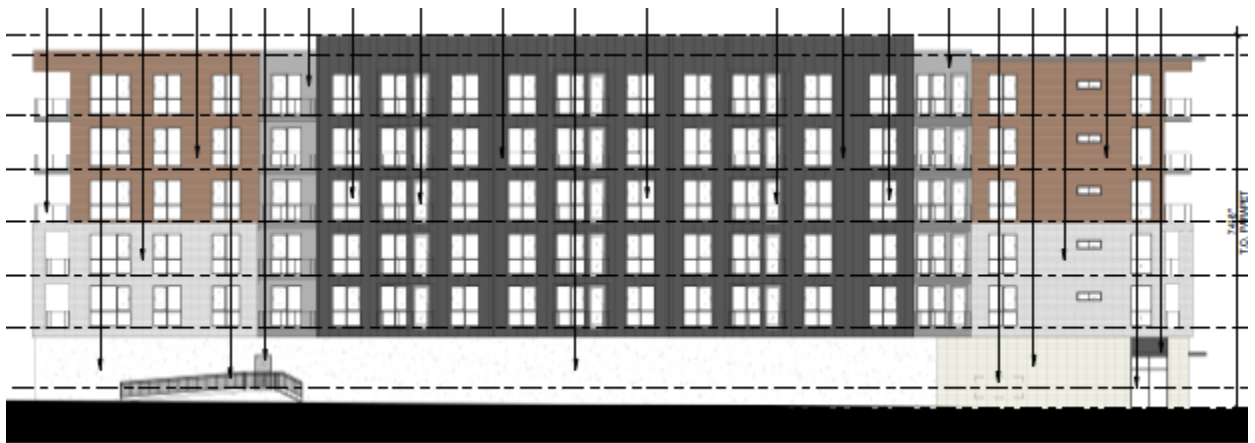


Proposed East/Midblock Walkway Elevation

Changes include carrying the light stone veneer to the second level and carrying the wood tone fiber cement siding down on the north side of the building. Some minor window changes were also made.



Approved West Elevation:

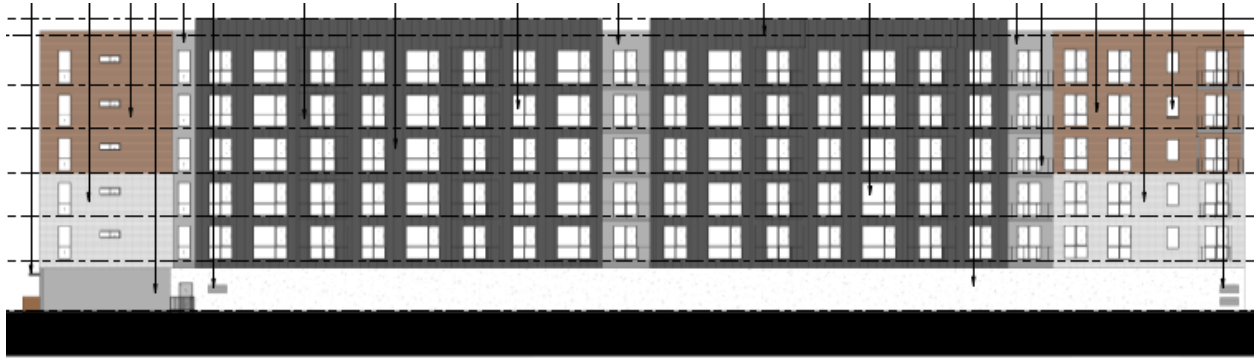


Proposed West Elevation:

The west elevation includes modifications to the ground and second levels to accommodate the second level parking. The elevation now includes perforated metal garage screening, as well as additional windows on the ground floor.



Approved North Elevation:



Proposed North Elevation:

Similarly, the north elevation was modified to accommodate the internal second level parking. It now includes perforate metal screening, additional stone veneer, and additional windows on the ground level.



DISCUSSION

The proposed modifications to the Design Review are largely internal to the building. The building footprint does not change and the façade of the street facing and midblock walkway facades are minimally affected. The proposed modifications still meet the base zoning requirements and the standards for Design Review. Staff recommend approval of the proposed project.

NEXT STEPS

Approval of the Request

If the modification requests are approved, the applicant will need to comply with the conditions of approval, including any of the conditions required by other City departments and the Planning Commission. The applicant would be able to submit plans for building permits once all conditions of approval are met.

Denial of the Design Review Request

If the Planning Commission denies the changes, the project will be required to comply with the prior approval.

ATTACHMENT A: Applicant Submittal

3660 Blake Street
Suite 600
Denver, CO 80205
303.825.6400
ktgy.com



May 28, 2024

Krissy Gilmore
Salt Lake City Planning Commission
451 S State St. Rm 215
Salt Lake City, UT 84111

PERMIT: *Lotus Alchemy, BLD2022-09228; 48 W 700 S*
SUBJECT: *MINOR MODIFICATIONS*

To whom it may concern,

Due to budget constraints, our team has explored VE options to help us make this building become a reality. The approved building design included 5 wood construction levels over two concrete podium levels, one being subgrade. After several discussions between Ownership, the Construction team, and the Design team, it has been determined that the best path forward is to revise the building to 4 wood levels over 2 concrete levels – all above grade. The top level has been removed to maintain the general building height, which shall not change.

The objective is to keep as much of the approved design intact, and to preserve the essence of the design intent. The Unit Count is projected to be reduced by 30 units, and the parking count will drop accordingly to maintain the approved parking ratio for a total of 229 parking spaces. The reduction of residential units resulted from eliminating the 43 top floor units and adding 13 units to Level 2 on the South and West facades to hide the parking garage from the active use elevations – like the commercial retail spaces on Level 1. The building footprint and site design shall not change, and all street level active uses remain with commercial and retail space along the south street façade, as well as the units along the west mid-block walkway façade. Because the parking garage is now completely above ground, it can be naturally ventilated with screened openings along the west and north façades. We feel this revised design still meets the intent of the base design typology with these added screened openings. The building still interacts with the site and engages its surroundings with the same intent as the previously approved design. Please refer to the provided planning documents which include floor plans of Levels 1 & 2, as well as elevations demonstrating these updates.

Please note that because the building is now raised all above grade, the previously approved Level 2 plan is now Level 3, and so on for all levels above Level 3. The design of these plans has not changed and the unit layout remains the same as the previously approved plans.

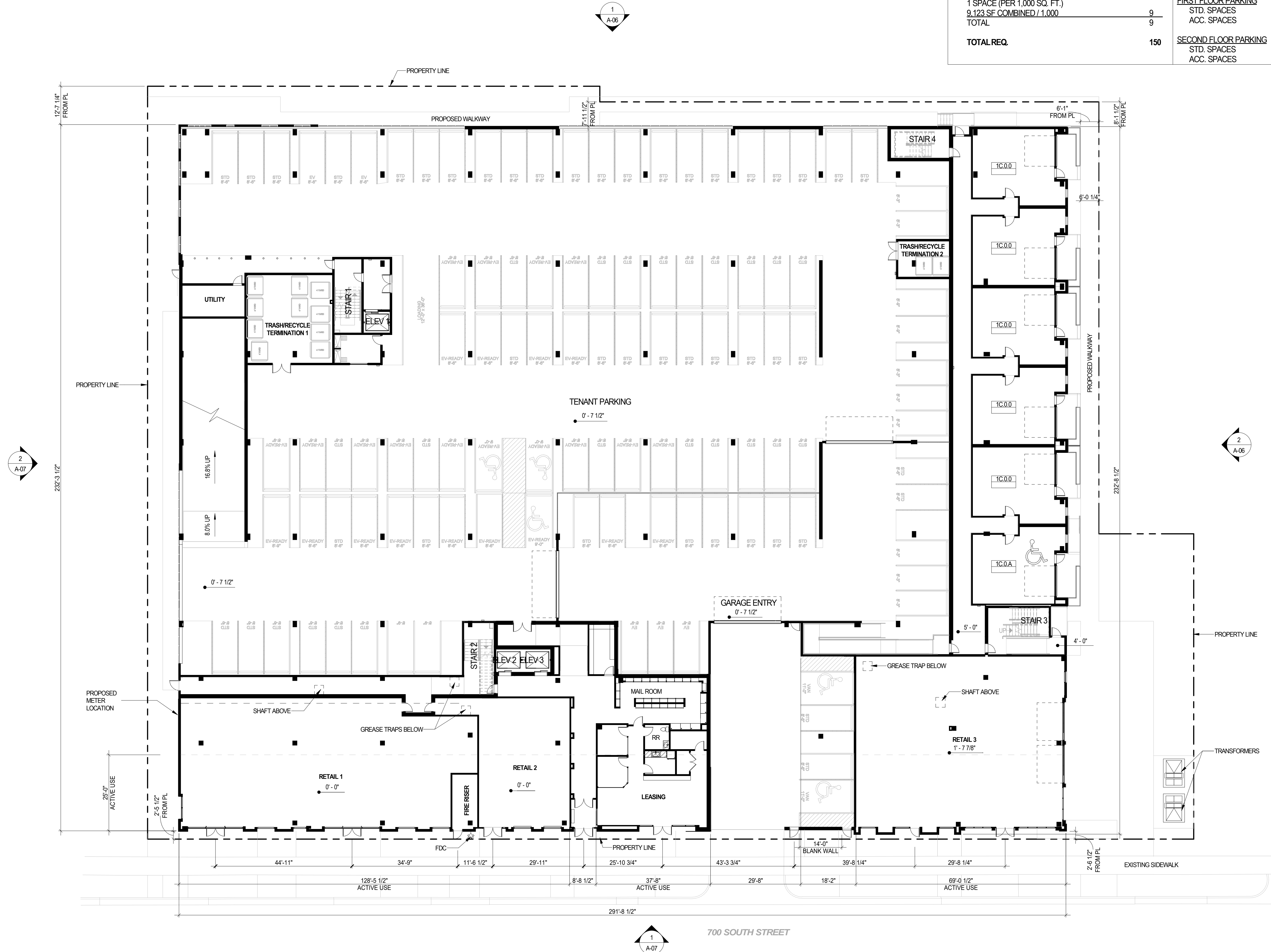
If you have any questions or concerns, please do not hesitate to contact me by phone or email at 303.389.6052 or nelster@ktgy.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Nicholas Elster', written over a light blue horizontal line.

Nicholas Elster
Senior Project Manager
KTGY Group, Inc.

REQUIRED (PER TABLE 21A.44.040-A OF CHAPTER 21A.44)		PROVIDED	
RESIDENTIAL		RESIDENTIAL	145
0.5 SPACE (PER 1-BED UNIT) x 87 UNITS	44	DENSITY: 0.78 SPACES / DWELLING UNIT (0.5 REQ)	
1 SPACE (PER 2-BED UNIT) x 85 UNITS	85	COMMERCIAL/RETAIL	9
1 SPACE (PER 3-BED UNIT) x 12 UNITS	12	SHARED PARKING	75
TOTAL	141	TOTAL PROV.	229
COMMERCIAL/RETAIL		FIRST FLOOR PARKING	
1 SPACE (PER 1,000 SQ. FT.)	9	STD. SPACES	106
9,123 SF COMBINED / 1,000	9	ACC. SPACES	5
TOTAL	9	SECOND FLOOR PARKING	
TOTAL REQ.	150	STD. SPACES	117
		ACC. SPACES	1

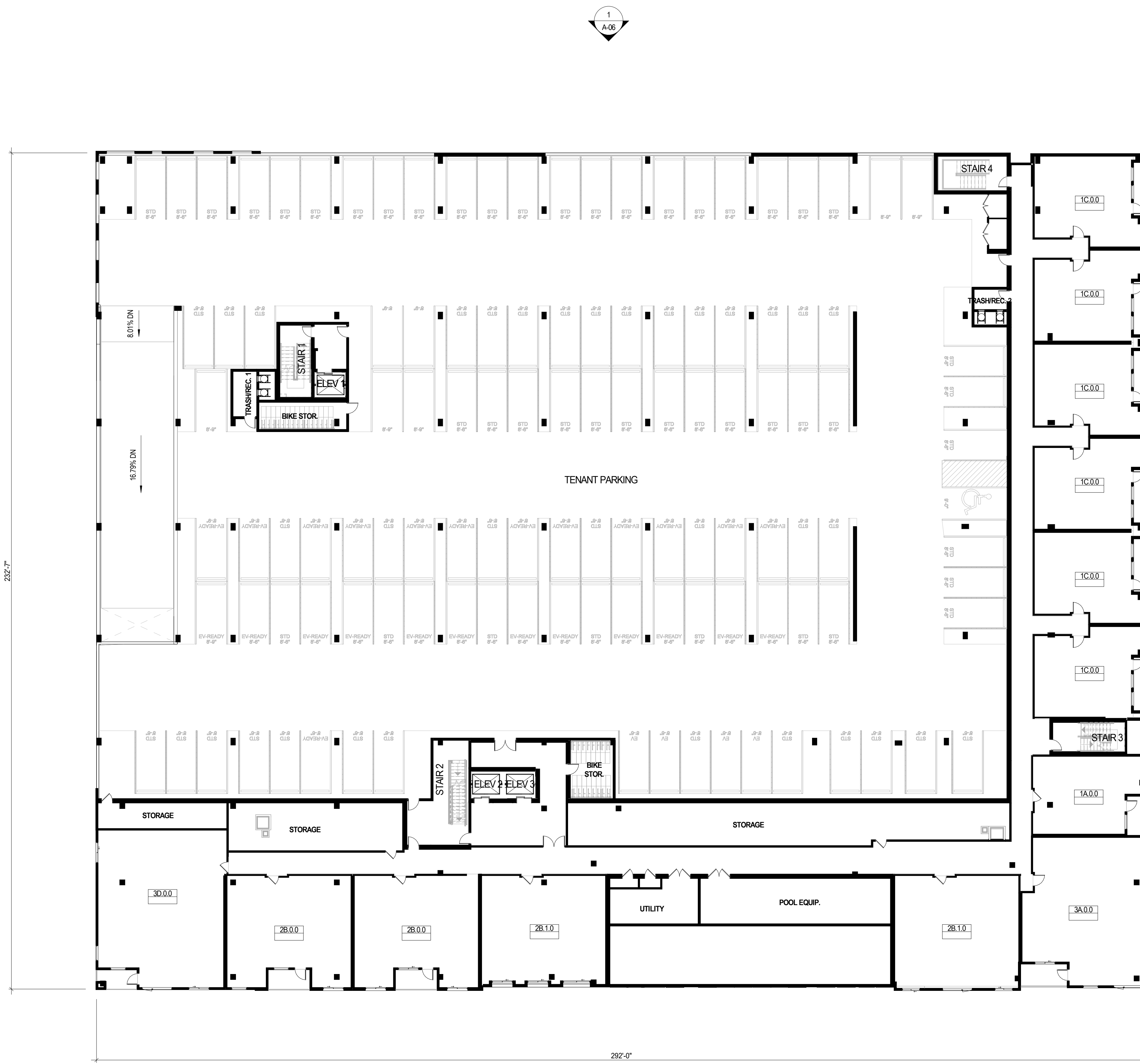


LOTUS ALCHEMY
54, 28, 18 W 700 S,
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL
08.03.22	PLANNING RESUBMITTAL
05.28.24	PLANNING RESUBMITTAL

OVERALL SECOND FLOOR PLAN

PROJECT NUMBER
21009





KTGY - ARCHITECTURE + PLANNING
3660 BLAKE STREET, SUITE 500
DENVER, CO 80205
(303) 825-6400

CONTACT:
NICHOLAS ELSTER
(303) 389.6052
NELSTER@KTGY.COM

FOR:
LOTUS
34 S 600 E
SALT LAKE CITY, UT 84102

CONTACT:
GRANT WISE
grant@otuscompany.com

LOTUS ALCHEMY
54, 28, 18 W 700 S,
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL
08.03.22	PLANNING RESUBMITTAL
05.28.24	PLANNING RESUBMITTAL

NORTH & EAST ELEVATIONS

PROJECT NUMBER
21009

A-06

ELEVATION LEGEND

- BRICK - RUNNING
COLOR: LIGHT
- CONCRETE MASONRY
COLOR: NATURAL
- CAST-IN-PLACE CONCRETE
COLOR: NATURAL
- COLOR 1 - STONE VENEER
COLOR: LIGHT
- COLOR 2 - VERTICAL METAL SIDING
COLOR: DARK
- COLOR 3 - HORIZONTAL FIBER CEMENT SIDING
COLOR: WOOD TONE
- COLOR 4 - STUCCO
COLOR: MEDIUM
- COLOR 5 - DOORS, STOREFRONT, WINDOW TRIM
COLOR: DARK
- COLOR 6 - METAL AWNINGS & HANDRAILS
COLOR: DARK

KEYNOTES - ELEVATION

- 1 THIN BRICK VENEER - COLOR 1 (LIGHT)
- 2 STONE VENEER - COLOR 1 (LIGHT)
- 3 VERTICAL STANDING SEAM METAL SIDING - COLOR 3 (DARK)
- 4 HORIZONTAL FIBER CEMENT SIDING - COLOR 4 (WOOD TONE)
- 5 FIBER CEMENT PANEL - COLOR 5 (MEDIUM)
- 6 FIBER CEMENT PANEL - COLOR 3 (DARK)
- 7 HORIZONTAL METAL SCREEN - COLOR 3 (DARK)
- 8 CONCRETE MASONRY - EXPOSED FINISH
- 9 CAST-IN-PLACE CONCRETE - EXPOSED FINISH
- 10 METAL TRIM - COLOR 3 (DARK)
- 11 FIBER CEMENT TRIM - COLOR 3 (DARK)
- 12 LANDSCAPE PLANTER BOX
- 13 METAL AWNING
- 14 METAL BRACING, RE: STRUCT
- 15 METAL RAILING
- 16 GLASS RAILING
- 17 OVERHEAD GARAGE DOOR
- 18 VINYL WINDOW STOREFRONT
- 19 STOREFRONT
- 20 BUILDING ENTRY
- 21 COLUMN
- 24 METER LOCATION
- 28 FCC
- 29 FOLDING GLASS WALL SYSTEM
- 30 PERFORATED METAL GARAGE SCREEN
- 31 LED LIGHT STRIPS



EAST ELEVATION OVERALL SCALE: 1/16" = 1'-0" **2**



NORTH ELEVATION OVERALL SCALE: 1/16" = 1'-0" **1**

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL
08.03.22	PLANNING RESUBMITTAL
05.28.24	PLANNING RESUBMITTAL

SOUTH & WEST ELEVATIONS

PROJECT NUMBER
21009

ELEVATION LEGEND

- BRICK - RUNNING
COLOR: LIGHT
- CONCRETE MASONRY
COLOR: NATURAL
- CAST-IN-PLACE CONCRETE
COLOR: NATURAL
- COLOR 1 - STONE VENEER
COLOR: LIGHT
- COLOR 2 - VERTICAL METAL SIDING
COLOR: DARK
- COLOR 3 - HORIZONTAL FIBER CEMENT SIDING
COLOR: WOOD TONE
- COLOR 4 - STUCCO
COLOR: MEDIUM
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- 19 BUILDING ENTRY
- 20 COLUMN
- 21 METER LOCATION
- 22 FDC
- 23 FOLDING GLASS WALL SYSTEM
- 24 PERFORATED METAL GARAGE SCREEN
- 25 LED LIGHT STRIPS

TRANSPARENCY REQUIREMENTS

GROUND FLOOR (40% MIN. REQ'D)

WINDOWS/GLASS DOORS: 0 SF
STOREFRONT: 1,544 SF
SOLID: 2,290 SF

TOTAL: 1,518 SF (40%)

SECOND FLOOR (25% MIN. REQ'D)

WINDOWS/GLASS DOORS: 905 SF
STOREFRONT: 0 SF
SOLID: 2,598 SF

TOTAL: 905 SF (26%)

THIRD FLOOR (25% MIN. REQ'D)

WINDOWS/GLASS DOORS: 714 SF
STOREFRONT: 173 SF
SOLID: 1,358 SF

TOTAL: 887 SF (40%)

FOURTH FLOOR (25% MIN. REQ'D)

WINDOWS/GLASS DOORS: 925 SF
STOREFRONT: 0 SF
SOLID: 1,395 SF

TOTAL: 925 SF (40%)

FIFTH/SIXTH FLOOR (25% MIN. REQ'D)

WINDOWS/GLASS DOORS: 905 SF
STOREFRONT: 0 SF
SOLID: 1,415 SF

TOTAL: 905 SF (39%)

EXTERIOR MATERIALS (SOUTH ELEVATION)

BRICK VENEER: 1,710 SF (15%)
CONCRETE/MASONRY: 53 SF (<1%)
STONE VENEER: 1,248 SF (11%)
VERTICAL METAL SIDING: 5,534 SF (49%)
HORIZONTAL WOODTONE SIDING: 1,089 SF (10%)
FIBER CEMENT PANEL: 38 SF (<1%)
HORIZONTAL METAL SCREEN: 1,295 SF (11%)
METAL TRIM/DOORS/AWNINGS: 387 SF (3%)

TOTAL: 11,354 SF

GLAZING (SOUTH ELEVATION)

STOREFRONT: 1,717 SF (28%)
VINYL WINDOWS: 4,354 SF (72%)

TOTAL: 6,071 SF



WEST ELEVATION OVERALL

SCALE: 1/16" = 1'-0"

2



SOUTH ELEVATION OVERALL

SCALE: 1/16" = 1'-0"

1

ATTACHMENT B: Original Planning Commission Staff Report (August 24, 2022)



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Krissy Gilmore, Senior Planner, Kristina.Gilmore@slcgov.com, 801-535-7780
Date: August 24, 2022
Re: PLNPCM2022-00442 Design Review, PLNSUB2022-00489 Planned Development

Design Review and Planned Development

PROPERTY ADDRESS: 54, 28, and 18 W 700 S
PARCEL ID: 15-12-228-020-0000, 15-12-228-019-0000, 15-12-228-014-0000
MASTER PLAN: Downtown Master Plan
ZONING DISTRICT: D-2 (Downtown Support) District

REQUEST:

A request by Lotus Greenline LLC for Design Review and Planned Development approval for a mixed-use building at approximately 28 W 700 S. The project site is in the D-2 (Downtown Support) zoning district and is approximately 80,311 square feet in size. The proposed building is approximately 76 feet in height. There are 214 units, ranging from 1 to 3 bedrooms. The building will have two structured parking levels with 250 parking stalls and 5 levels of apartment units above. The proposed project incorporates a public midblock pedestrian walkway that runs north-south along the eastern property line.

The applicant is requesting a Design Review for:

- Buildings over 65 feet in height must go through the Design Review process. The applicant is proposing approximately 76 feet.
- Modification of the maximum length of a street-facing façade from 200 feet to 293 feet.

The applicant is requesting Planned Development to:

- Exceed the maximum parking allowed from 214 parking spaces to 250 parking spaces.

RECOMMENDATION:

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the request with the following conditions:

1. Final approval of the details for landscaping, site signage, development and site lighting, street lighting, streetscape details, and sidewalk paving to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Master Plan.

2. Any signage on the building or property will require sign permits which must meet all zoning standards and ground floor signs shall be designed to be pedestrian oriented.
3. The proposed midblock walkway must be clear and open providing access to pedestrians through the block. It may not be walled in or gated at any time.
4. A public easement and development agreement between Salt Lake City and the property owner will be recorded on the property for the midblock walkway.
5. Materials not classified as durable, including metal, are subject to Planning Director determination of durable.

ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Applicant Narrative](#)
- C. [ATTACHMENT C: Plan Set](#)
- D. [ATTACHMENT D: Property and Vicinity Photos](#)
- E. [ATTACHMENT E: D-2 Zoning Standards](#)
- F. [ATTACHMENT F: Design Review Standards](#)
- G. [ATTACHMENT G: Planned Development Standards](#)
- H. [ATTACHMENT H: Public Process & Comments](#)
- I. [ATTACHMENT I: Department Review Comments](#)

PROJECT DESCRIPTION

The proposed building is a 6-story above-ground, 214-unit multi-family residential apartment building. The subject property is approximately 1.84 acres (80,311 square feet) and is located in the D-2 Downtown Support Zoning District. The building will include approximately 9,750 square feet of commercial space and 2,000 square feet of lobby and leasing space fronting 700 South. The applicant is requesting a building height of approximately 76 feet. The D-2 zone allows



Quick Facts

Height: 75 feet 2 inches
(6 stories above-ground)

Number of Residential Units: 214 units

Exterior Materials:
Brick, concrete, stone veneer, vertical metal siding, wood tone fiber cement, stucco

Parking: 250 stalls










Review Process & Standards: Planned Development, Design Review, D-2 zoning

for an increase in building height from 65 feet to a maximum of 120 feet with Design Review approval from the Planning Commission. Additionally, the applicant is requesting to exceed the maximum street façade length of 200’ for a total length of 293’. Through the Planned Development process the applicant is requesting to exceed the maximum parking allowed from 214 parking spaces using Transportation Demand Management strategies to 250 spaces total. This creates a parking ratio of 1.17 parking stalls per dwelling unit. The applicant is requesting additional parking to accommodate a shared parking agreement with the neighboring office building.

Building Details:

The building would replace a large surface parking lot and two automotive repair/sales buildings. The property consists of three parcels, however an application to consolidate the parcels has been submitted by the applicant.

The building's street-facing ground-level façade will consist of a light stone veneer base with floor-to-ceiling ground-floor windows. Black metal trim is used as an accent material surrounding the ground-level windows in vertical bands to highlight the windows. The garage screening will be a horizontal metal screening. The upper 5 levels of the street-facing façade will include brick, dark metal paneling, and fiber cement wood tone siding. There is a small amount of stucco proposed on the street-facing façade that is recessed behind the balconies. The building materials and colors are thoughtfully proposed in a way to visually break up the mass of the building, with distinct vertical sections of lighter-colored brick and wood paneling on the edges of the building and dark metal paneling in the middle. The building includes a recessed “U” shape to also break up the mass with a glass sky bridge setback of approximately 31 feet.

-  BRICK - RUNNING
COLOR: LIGHT
-  CONCRETE MASONRY
COLOR: NATURAL
-  CAST-IN-PLACE CONCRETE
COLOR: NATURAL
-  COLOR 1 - STONE VENEER
COLOR: LIGHT
-  COLOR 2 - VERTICAL METAL SIDING
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-  COLOR 4 - STUCCO
COLOR: MEDIUM
-  COLOR 5 - DOORS, STOREFRONT, WINDOW TRIM
COLOR: DARK
-  COLOR 6 - METAL AWNINGS & HANDRAILS
COLOR: DARK



South/Street Facing Elevation

The eastern building façade, which borders the midblock walkway, will consist mostly of stone veneer, brick, metal paneling, and glass. Vertical metal siding is used in the interior of the elevation and lighter colors are used on the corners of the building to visually break the mass of the building. Operable glass doors and landscape planter boxes provide interest in front of the live/work units and provide a transition from the public midblock walkway to the semi-private front porch areas. The remaining facades include a similar mix of materials and colors.



East/Midblock Walkway Elevation

Tenant amenities include the amenity deck on the 2nd level that includes a pool, fitness facility, and clubhouse. Additionally, the project includes a courtyard, pet facilities, and a walking track.

Project Accessibility:

Parking garage access is via one entry point off 700 South, which is located below the skybridge and amenity deck. While the parking structure entrance is prominent, it provides a visual break in the street front by alternating materials and colors and providing a void among the ground floor façade.

Midblock Walkway:

The Downtown Master Plan identified a midblock walkway on the eastern portion of the subject property. The proposed walkway is intended to create a north-south pedestrian connection from 600 South to 700 South. The midblock walkway will connect to the 650 Main Office building midblock walkway and will complete the midblock connection. The midblock walkway map below shows the proposed connection. The proposed midblock walkway includes landscaped planter boxes, lighting, trees, and benches. The midblock walkway is also adjacent to 6 live/work units.



Proposed Midblock Walkway



General Midblock Walkway Connections

APPROVAL PROCESS AND COMMISSION AUTHORITY

Per section 21A.55.030 of the Zoning Ordinance, the Planning Commission may approve a Planned Development as proposed or may impose conditions necessary or appropriate for the Planned Development to comply with the standards. The Planning Commission may deny an application for a Planned Development if it finds that the proposal does not meet the intent of the base zoning district (D-2), does not meet the purpose of a Planned Development, or is not consistent with the standards and factors as set forth in section 21A.55.

The Planning Commission shall approve a Design Review project if it finds that the proposal complies with the purpose of the zoning district and applicable Overlay District(s), the purpose of the individual design standards that are applicable to the project, and the project is compliant with the applicable design review objectives. The Commission may also add conditions or modifications if it determines the modifications are necessary to comply with applicable standards.

KEY CONSIDERATIONS

The key considerations listed below have been identified through the analysis of the project, neighbor and community input, and department review comments.

1. How the proposal helps implement city goals and policies identified in adopted plans
2. Modifications to Maximum Building Façade Length
3. Modifications to Building Height
4. Modification to the Maximum Parking

Consideration 1: How the proposal helps implement city goals and policies identified in adopted plans.

Downtown Master Plan (2016)

The project site is located within the Central 9th District of the Downtown Master Plan. The Downtown Master Plan encourages providing additional housing choices and increasing the number of housing units in the downtown area. It also encourages increasing residential density to allow for a more even ratio of jobs and housing in the community. The proposed mixed-use development accomplishes this by providing additional residential housing with an increase in density in the area and by increasing housing in an area with existing infrastructure that can support the greater density.

The master plan also encourages a, “high amount of transparency for ground floors uses and a mix of uses to activate sidewalks and provide rhythm to the pedestrian experience”. The ground floor along the south building façade accomplishes this initiative by exceeding the void-to-wall ratio required in the design standards from 40% to 52%. Further, all commercial spaces on the ground floor will be at the same grade as the sidewalk and building entrances are proposed to be highlighted for clear accessibility into the building. A greater amount of fenestration and number of balconies for residents will allow for increased visibility onto the street, and with the proposed mix of uses in the building a safer and more active public realm is created. The Master Plan also calls out encouraging a mix of low-rise and mid-rise housing along main corridors. The proposed additional height meets this designation.

The Downtown Master Plan encourages housing choice that activates the interior of blocks, while keeping main streets commercial. The mid-rise building meets the development vision for the area and the additional residential density is supported by the existing infrastructure and nearby public transit.

The master plan also encourages a, “high amount of transparency for ground floor uses and a mix of uses to activate sidewalks and provide rhythm to the pedestrian experience”. This proposal accomplishes this initiative by having commercial space and leasing offices on the ground floor, with an amenity deck on the second level which provides additional eyes on the street. Additionally, the first story of the building is 52% glass, which provides visual transparency between the public and private spaces. As the surrounding area develops, this orientation will provide more eyes on the street, increasing safety and encouraging pedestrian interactions.



Outdoor dining area and midblock walkway

The midblock walkway is adjacent to the restaurant space for the building, as well as 6 live/work units. The proposed use and design facilitate visual presence while increasing safety and visibility on the midblock walkway, and activates the area to a degree that is not currently present on the block.

The proposed mixed-use development maintains the purpose of the Downtown Master Plan in that the designs and configuration of the building allows for:

- Greater transparency on the ground floor
- Creation of additional housing choices
- Increased number of housing units
- Increased residential density
- Increased visibility and safety
- Midblock walkway
- Active ground floor uses

Plan Salt Lake (2015)

The project is also supportive of Plan Salt Lake, a citywide plan which guides the direction of the city as a whole. Plan Salt Lake includes goals directed toward housing, planning for future growth, transportation and mobility, and neighborhoods. Of the goals listed in these sections the proposed amendments are supported by the following initiatives:

- “Encourage a mix of land uses.

- Promote infill and redevelopment of underutilized land.
- Create a safe and convenient place for people to carry out their daily lives.
- Accommodate and promote an increase in the City’s population
- Promote high density residential in areas served by transit.
- Incorporate pedestrian oriented elements, including street trees, pedestrian scale lighting, signage, and embedded art, into our rights-of-way and transportation networks.”

The proposal meets the stated vision of the plan as it is a mid-rise building that will shape the street edge and provide residential and commercial development directly adjacent to the TRAX line. Given the compliance with the goals and initiatives focusing in both the Downtown Plan and Plan Salt Lake, Planning Staff is of the opinion that the applicant complies with the planned development Master Plan Implementation objective. The site layout, building orientation, and scale all harmonize well with the guiding master plans for the area.

Consideration 2: Request for Additional Building Height

As illustrated on the Vicinity and Zoning Map, the project is located at the northern edge of the D-2 zoning district. Properties directly north of the subject parcels are in the D-1 (Central Business District) which allows for a maximum height of 100’ in the midblock areas and up to 375’ through Design Review. As such, this proposed structure could serve well to transition between the far taller structures allowed in the D-1 zone to the shorter ones within the D-2 zone.

The underlying D-2 zoning district allows for an increase in building height from 65’ to a maximum 120’ with Design Review and a decision by the Planning Commission. The Lotus Alchemy project is proposing a new structure with a maximum height of 75’-2”; this height includes a 4’ parapet wall. Parapet walls are allowed to project 5’ into the maximum building height; elevator and stairwell bulkheads are permitted to extend 16’ into the maximum height. While the height of the building will be taller than some of the adjacent properties, it is anticipated that future redevelopment will follow this pattern. Additionally, it is significantly below the height of the recently constructed 650 Main Office building (174’) that is adjacent to the site to the northeast, which is located in the D-1 zoning district.



South Façade/700 South and East Façade/Midblock Walkway

The scale of the proposed building height is broken down through both horizontal and vertical building masses. The street-facing façade second story and above is stepped back approximately 31' for approximately 77' to create a break in the façade.

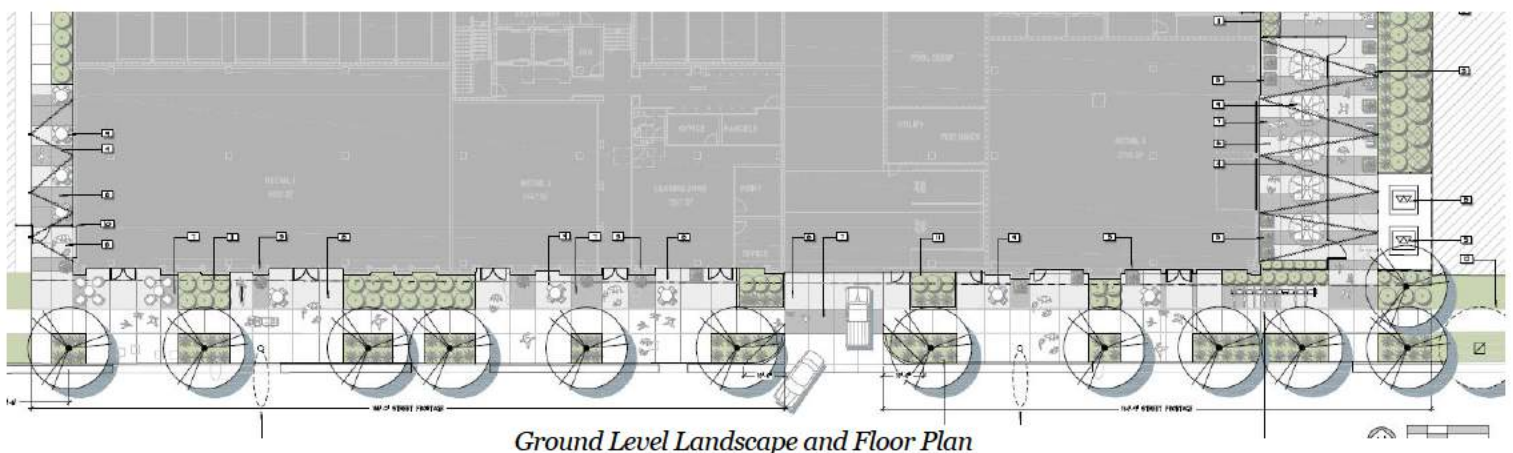
The intent of the Design Review standards is to break up the overall mass and scale of the building façade to provide for a human scale and pedestrian connectivity. Design Standard G specifically discusses creating a distinct base, middle, and top and creating a distinctive roofline. The building is designed with a transparent street facing base, mid-level vertical and horizontal elements, and the top is defined by windows that wrap around the south and east elevations. The solid-to-void ratio accommodates the goals and intent of the applicable master plans.

As reviewed in the Design Standard Analysis in Attachment F of this Staff report, Planning Staff has found the proposed building height modifications meet the directly applicable design standards to building height.

Consideration 3: Modification to Maximum Façade Length

The maximum allowed length of a street-facing façade in the D-2 zoning district is 200'. The Lotus Alchemy building is proposing a total length of approximately 293' on the south façade, which faces 700 South. The purpose of the maximum building façade length is to break up large expanses of building and to create spaces that are more human in scale and comfortable to the pedestrian. The proposed development seeks to accomplish this with the active uses on the ground floor, high levels of ground floor transparency, several changes in building plane across the frontage, and the deeply recessed area above the first floor where amenity areas are located. Additionally, the parking garage entrance is proposed to provide a break in the façade at the ground level below the upper floor break.

The existing property is 344 feet wide and the proposed building, in line with the intent of the zoning district, occupies nearly all of this street frontage with active ground floor uses with the remaining space primarily dedicated to amenities (outdoor dining and midblock walkway). The proposed occupant for the southeast corner space is a restaurant and this space has a large amount of glazing and an outdoor dining space that will add to the pedestrian experience for those walking by the site. The spaces to the west are to be occupied by retail uses and are punctuated by an entry to the structured parking. Above this level, the building is recessed to accommodate an amenity area. There are material changes and balconies that add visual interest to the units that face this area and are also visible from the street. Further west are additional retail spaces with ground floor building materials that differ from those to the east.



The proposed building with its active ground floor uses, high levels of transparency, changes in building plane coupled with the break for the entry to parking delineate the building into several sections and accomplish the intent of the maximum building length design standard. It is Staff's opinion that the intent of the D-2 district and the Design Standards are being met. The purpose of Design Review is to ensure the effect of any modifications to the permitted building length are mitigated and the orientation of the building is toward the human scale and interacts appropriately to the street. The integration of these elements appears to meet this standard.

Consideration 4: Exceed Maximum Parking

The project is proposing 250 parking stalls including 75 parking stalls that are part of a shared parking agreement with the building to the west (669 South Temple). In the D-2 zone, the maximum parking allowed is equal to the minimum. The minimum spaces required equal 107 parking spaces.

The applicant is intending to utilize the Transportation Demand Management (TDM) strategies in chapter 21A.44.050 of the zoning code to double the minimum parking stalls. Transportation Demand Management

Minimum/Maximum Parking Stalls: 107
Maximum Parking Granted Through TDM: 214
Parking Stalls Provided: 250

strategies are meant to reduce the overall number of miles driven within the city and reduce the associated impacts. While more parking stalls are potentially granted through this system, alternative transportation options are required to be provided by the applicant. Examples of some of those options include bicycle parking placed within the building, showers and lockers provided for bicycle commuters, installation of a full-service bus stop, on premises daycare, gym, food for purchase by employees, etc. The applicant plans to provide multiple services including interior bicycle parking, residential fitness facility, on-site restaurant, and a bicycle share program. The Transportation Division will confirm these strategies are met during the building permit review phase.

Even if the applicant utilizes the TDM strategies to double the minimum parking stalls allowed, the proposal still exceeds the maximum parking allowed and requires Planned Development approval. Because of the shared parking agreement, and that the parking stalls are internal to the building and will not have a visual impact, staff is of the opinion that the excess parking does not create a negative impact.

Of note, the current street parking in front of the development will be removed to accommodate the required fire access lane. This is a requirement related to the width of 700 South and the proposed height of the building. Any new development on the subject site over 30 feet in height would be subject to the same requirement.

STAFF RECOMMENDATION

In general, Staff is of the opinion that the proposal meets the intent of the D-2 zoning district, the objectives and standards of Design Review, Planned Development, and is compatible with the various master plans of the city. The additional height and façade length have been appropriately mitigated with the proposed design elements intended to enhance the pedestrian experience. Staff recommends approval of the proposed project

NEXT STEPS

Approval of the Request

If the petitions are approved by the Planning Commission, the applicant will need to comply with the conditions of approval, including any of the conditions required by City departments and the

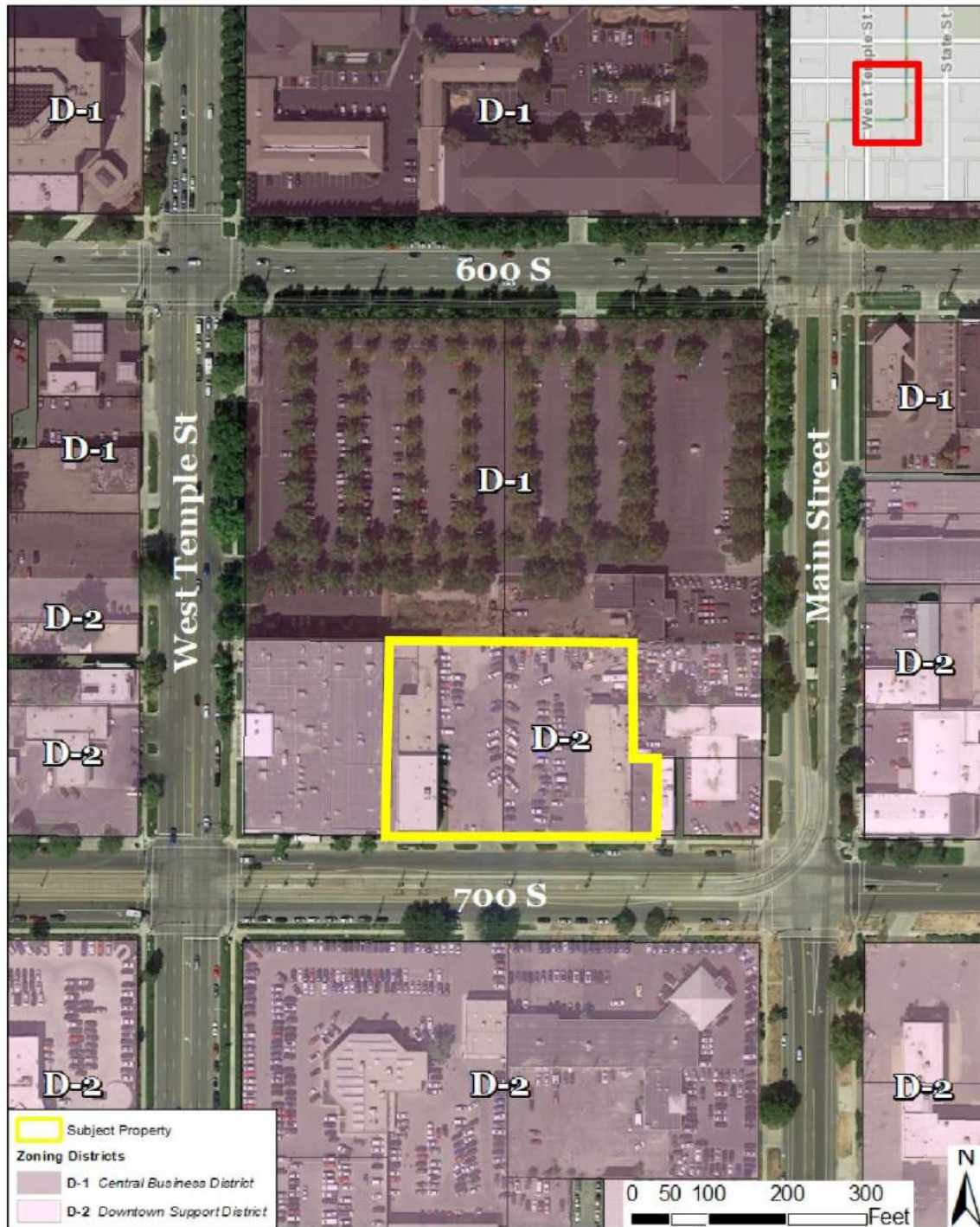
Planning Commission. A lot consolidation will need to be finalized and recorded with Salt Lake County. Unless specified in the zoning ordinance as a minor modification or through the conditions of approval, any modification to the development plan must be reviewed and approved by the Planning Commission.

Denial of the Request

If the petitions are denied, the applicant would be required to meet the base zoning code for building height, façade length, and parking.

ATTACHMENT A: Vicinity Map

54, 28, & 18 W 700 S



Salt Lake City Planning Division 6/2/2022

ATTACHMENT B: Applicant Narrative



LOTUS™



- 1 PROJECT DESCRIPTION
- 2 DESIGN REVIEW ANALYSIS
- 3 CITY REVIEW COMMENTS
- 4 DESIGN REVIEW EXHIBITS
- 5 EXISTING CONDITIONS
- 6 SITE PLAN
- 7 RENDERINGS
- 8 FLOOR PLANS & ELEVATIONS
- 9 MEET THE TEAM



Project Vision

Lotus Alchemy is a 214 Unit rental mixed-use development, located in downtown Salt Lake City within the D-2 Zoning District. The Project is located on 700 South between West Temple and Main Street. The site consists of three parcels totaling 1.84 acres (80,311 s.f.). The location sits in the heart of a burgeoning downtown district, with easy access to public transport. The Development will feature rich common area amenities catered towards an urban resident.

The project will feature 5-levels over a 2-level parking structure with 250 stalls. There will be a variety of floor plan options ranging from 1 to 3-bedroom units averaging 903 SF/Unit. The ground level will feature 3 commercial spaces totaling 9,746 s.f., and a lobby/leasing office of 1,997 s.f. The apartment component of the project will be a 5-level Type 3a wood-framed structure over a 2-levels of concrete/masonry podium Type 1a parking structure.

The development will house ample amenities such as a large amenity deck on the 2nd level of the building that will feature a pool, a 2-level fitness facility, and a 2-level luxury clubhouse. Additionally, the project will offer a spacious courtyard amenity area which includes pet facilities, game areas, and a walk path/track feature. With an iconic luxury skybridge hovering over a second level amenity courtyard that is visible from the street, the Lotus Alchemy will compliment the neighborhood and elevate the downtown Salt Lake City skyline.

The Lotus Alchemy project will be an iconic architectural marvel. At the Lotus Company we achieve our project goals with the vision to **Build** With Integrity, **Create** With Intention, and **Enhance** The Cities We Call Home.

Project Goals

Below are the project goals:

- Design an innovative mixed-use multifamily development to compliment the downtown masterplan and enhance the quality of living in the D-2 zoning district.
- Create a pedestrian friendly environment by offering a privately-owned public midblock walkway to influence engagement of neighborhood amenities.
- Provide amenities both residents and public pedestrians will enjoy. The project will feature 2 retail spaces, a restaurant space, and 6 Live/Work units.

Design Review Highlights

The Design Review Application is for the modifications of standards:

- The project building height of 75'-2" exceeds the design review standard of 65 ft. but is below the maximum 120 ft height. The additional height is to accommodate more square footage for public/resident enjoyment of the ground level amenities.
- The proposed project has a façade length of 292'-21", which exceeds the 200 ft. maximum façade. However, on the ground level the 700 South façade has multiple breaks, several material changes, and building massing changes.
- The project site has a midblock walkway identified in the Downtown-Central 9th District Master Plan. The proposed midblock walkway will connect to the 650 Main Office building and will continue to run south along the far east property boundary line to 700 South Street.

ZONING CODES

DISTRICT: D-2 DOWNTOWN SUPPORT DISTRICT

ALLOWED USES: COMMERCIAL, OFFICE, RESIDENTIAL
 MAXIMUM HEIGHT: 120'

SETBACKS:
 FRONT YARD 0'
 SIDE INTERIOR 0'
 REAR 0'

MID-BLOCK WALKWAY: 10' WIDE WITH A MINIMUM 6' WIDE UNOBSTRUCTED PATH

PARKING:
 RESIDENTIAL 1/2 PER DU
 NONRESIDENTIAL 0 SPACES UP TO 25000 SF USABLE FLOOR AREA

STREET FACING BUILDING FACADE:

GROUND FLOOR USE: 75% MINIMUM
 GROUND FLOOR MATERIALS: 80% DURABLE MATERIALS
 UPPER FLOOR MATERIALS: 50% DURABLE MATERIALS
 GLAZING: GROUND FLOOR 40% MINIMUM
 UPPER FLOOR 25% MINIMUM
 BLANK WALL MAXIMUM 15'
 STREET FACING FACADE: 200' MAXIMUM LENGTH

GROSS SITE AREA	1.77	AC	PARKING SP PROVIDED	250	SP
DWELLING UNITS	214	DU	PARKING RATIO	1.17	SP / DU
DENSITY	121	DU/AC			
CONSTRUCTION TYPE	5 OVER 1	III A / IA			

TYPE	SF	#	AVG MIX	MIX	LSF	AVG UNIT SF
1A	653	55	100	47%	35,915	902.8
1B	701	28			19,628	
1B-A	701	2			1,402	
1B.1	677	5			3,385	
1C-LW	723	5			3,615	
1C-LW-A	723	1			723	
1D	767	3			2,301	
1E	772	1	772			
2A	1,120	4	101	47%	4,480	
2B	1,065	30			41,535	
2C	1,063	5			5,315	
2D	1,030	18			19,570	
2D-A	1,030	1			1,030	
2E	1,095	3			3,285	
2F	1,088	25			27,200	
2F.1	1,079	5	5,395			
3A	1,339	5	13	6%	6,695	
3B	1,341	3			4,023	
3C	1,385	4			5,540	
3C-A	1,385	1			1,385	
TOTAL		214		100%	193,194	

AREA	SF	TOTAL
PODIUM FLOOR AMENITY 1	1,817	3,036
PODIUM FLOOR AMENITY 2	1,219	
RETAIL 1	4,548	9,748
RETAIL 2	1,462	
RETAIL 3	3,736	
LOBBY/ LEASING	1,997	1,997

PARKING PROVIDED

PARKING SUMMARY	DU	REQ SP / DU	TOTAL REQ	TOTAL PROVIDED
P1	214	0.5	107	140
P2				110
				250

SEC.	DESCRIPTION	RESPONSE	SHEET REFERENCE
A.	Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.	Compliant: The Lotus Alchemy project complies with zoning regulations within the D-2 zoning district and the Downtown-Central 9th master plan. The project will be a mixed-use sustainable development in accordance with the D-2 purpose statement. The project will accommodate both residential, commercial, plus live-work units.	Sheet 4
B.	Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.	Compliant: The development is primarily oriented to the sidewalk with a landscape strip buffering between the sidewalk and 700 South Street. The storefronts that house the retail, restaurant and lobby/leasing are oriented toward the sidewalk along 700 South St. The primary vehicle and pedestrian access will be located on the primary facade facing 700 South Street. The structured parking is located within the interior of the podium structure.	Sheet 24
B.1.	Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).	Compliant: The Lotus Alchemy is designed to emphasize the ground floor retail & restaurant spaces as one of the primary attractions of the project. The project has two retail spaces totalling 6,010 SF, a restaurant space totalling 3,736 SF, and a lobby/leasing office space totalling 1,997 SF. The primary vehicle and pedestrian entrances will face the public sidewalk along 700 South Street and the secondary entrances will face the midblock walkway and interior of the building.	Sheet 24-25, 30
B.2.	Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.	Compliant: The development will utilize the no setback minimum in the D-2 zoning district to follow the public sidewalk and the development patterns of the neighborhood. The Lotus Alchemy project will align with the Central 9th transit-oriented development vision by enhancing the walkability to the nearby TRAX Station on Main Street.	Sheet 24-25, 30
B.3	Parking shall be located within, behind, or to the side of buildings.	Compliant: The Lotus Alchemy will have two levels of internal covered parking within a podium parking structure. Level 1 parking will include 140 stalls and Level 2 parking will include 110 stalls for a total parking count of 250 stalls provided. The structured parking will be located in the interior of the podium hidden by retail and residential amenities.	Sheet 25, 29-30
C.	Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.	Compliant: The Lotus Alchemy façade is designed to include a substantial amount of floor-to-ceiling storefront and fenestration along the entire 700 South frontage. This fenestration and storefront will facilitate the interest and interaction desired to activate the 3 new retail/restaurant pads and leasing office that will occupy the ground level frontage.	Sheet 34-37
C.1.	Locate active ground floor uses at or near the public sidewalk.	Compliant: The active ground floor uses adjacent to the public sidewalk will include a lobby/leasing office space (1,997 s.f.), 2 retail spaces (6,010 s.f.), and a potential restaurant space (3,736 s.f.) that wraps around the corner and spills into the midblock walkway which is fronted with 6 live/work units.	Sheet 24, 30
C.2.	Maximize transparency of ground floor facades.	Compliant: The ground floor facades will incorporate a high level of glazing for transparency along the 700 South Street frontage. An initiative of the project is to attract both residents and public pedestrians to enjoy the retail and restaurant spaces offered at the ground level of Lotus Alchemy. The transparency on the ground level will compliment the 2nd level with the glass railing bordering the amenity pool deck overlooking 700 South Street. The Live/Work units will include large operable glass/aluminum garage doors visible from the midblock walkway to encourage pedestrian interaction with small business owners.	Sheet 34-37

SEC.	DESCRIPTION	RESPONSE	SHEET REFERENCE
C.3.	Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.	Compliant: The mostly masonry ground level street frontage will have recessed floor to ceiling storefront windows with clerestory glazing, and feature integrated metal awnings that provide signage opportunities, shade and create a more intimate pedestrian scale. Singage blades are also proposed between the storefronts for additional retail visibility.	Sheet 34-37
C.4 .	Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.	Compliant: Lotus Alchemy will have three primary outdoor spaces which have a direct visual connection to street frontage along 700 South Street. The first outdoor space is the midblock walkway which encourages pedestrian engagement with 700 South Street. The second will be the exterior restaurant dining patio space located at the southeast corner of the building. The third outdoor space is the more private luxury amenity pool deck and clubhouse which overlooks 700 South Street from the second level amenity deck area.	Sheet 24-25, 28
D.	Large building masses shall be divided into heights and sizes that relate to human scale.	Compliant: The building massing along our 700 South frontage is divided into 3 distinct masses which are further broken down through changes in plane and material into smaller scale components. The central mass features a recessed skybridge with a 31ft stepback which spans 77ft. A mass to the east that is roughly 70ft long is broken down through varying roof heights as well as changes in plane and material. And a mass to the west of the bridge that spans 145ft and is further broken up into several masses through change in plane, roof height and materials.	Sheet 19, 34-37
D.1.	Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.	Compliant: Lotus Alchemy will compliment the existing neighboring buildings through an emphasis on building orientation, scale, and design. The development is designed to improve the neighborhood appearance and attract pedestrian walkability. The Lotus Alchemy structure will be six stories above grade. Nearby developments such as the Seven O2 Main apartments is five stories above grade, and the 650 Main office building is ten stories in height, thus establishing a vertical emphasis in the neighborhood. The Lotus Alchemy mid-rise building will be an excellent addition by providing an efficient amount of density to accommodate the Downtown-Central 9th masterplan vision.	Sheet 19, 34-37
D.2.	Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.	Compliant: The Lotus Alchemy project will provide several changes to the building heights and widths by creating an spacious amenity desk space on the second floor. The clubhouse and pool deck space will reduce the visual width and height of the structure from 700 South Street.	Sheet 19, 34-37
D.3.	Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.	Compliant: Lotus Alchemy will feature large apartment balconies with high-end laminated glass/stainless steel railings and large unit windows/doors. The project will also feature operable glass/metal overhead garage doors located along the east ground-floor live/work frontage. Additionally, a steel skybridge will be installed above the 700 South frontage and project amenity deck with extensive glass & glazing along the entire bridge span. The project will provide several different material elements in the buildings context to reduce visual width or height.	Sheet 19, 34-37
D.4.	Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.	Compliant: The Lotus Alchemy will help improve the character of the neighborhood by providing a balanced solid-to-void ratio. The neighborhoods solid-to-void ratio varies with the difference uses. The 650 Main office building is primarily all glass windows and the Six69 Office building directly west of the project site is mostly concrete with some windows facing West Temple Street.	Sheet 19, 34-37

SEC.	DESCRIPTION	RESPONSE	SHEET REFERENCE
E.	Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:	Compliant: The Lotus Alchemy has an overall façade length of 292'-21", which exceeds the 200 ft. maximum façade. However, the 700 South façade has multiple significant plane changes, facade relief elements, stepbacks, several material changes, and roof height changes.	Sheet 24
E.1.	Changes in vertical plane (breaks in facade);	Compliant: The building design is vertically broken down through variation in roof heights, balconies, changes in plane and material transitions as well as a 31ft stepback at the skybridge.	Sheet 24, 27, 34-37
E.2.	Material changes; and	Compliant: The development will utilize different design materials such as brick veneer, architectural stone veneer, hardie board siding, and metal to enhance plus define specific sections of the structure. The materials are designed to create variety and generate interest in the facades.	Sheet 24, 27, 34-37
E.3.	Massing changes.	Compliant: The Lotus Alchemy is separated into several different building massing changes. The two primary masses that compose the north and south towers of the structure above the podium level are connected via the elegant skybridge structure. This dynamic massing break will provide interest, relief, and a significant aesthetic appeal along the 700 South frontage.	Sheet 24, 27, 34-37
F.	If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:	Compliant: The Lotus Alchemy will feature a privately-owned public midblock walkway, which shall include benches for sitting space, landscape, and outdoor dining area at the ground level restaurant space.	Sheet 18, 24-25, 28
F.1.	Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");	Compliant: The midblock walkway will span an estimated 244 linear feet (2,440sf) and will include a sitting space.	Sheet 18, 24-25, 28
F.2.	A mixture of areas that provide seasonal shade;	Compliant: Multiple steel awning structures will be installed along the 700 South façade to provide shade both inside the retail/restaurant areas as well as the pedestrian walkway.	Sheet 18, 24-25, 28
F.3.	Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;	Compliant: The 700 South frontage and east midblock walkway will include landscaping to enhance and encourage pedestrians to utilize the privately-owned public midblock. Trees installed throughout these areas will be a minimum 2" caliper and the quantity of trees installed will comply with the 800sf minimum requirement.	Sheet 18, 24-25, 28
F.4.	Water features or public art;	No water features are currently in the plans, but some public art may be determined later in the design process.	
F.5.	Outdoor dining areas; and	Compliant: The restaurant located at the ground level of the southwest corner facing 700 South Street will have a outside dinning area that both residents and public pedestrians can enjoy.	Sheet 18, 24-25, 28
F.6.	Other amenities not listed above that provide a public benefit.	Compliant: The midblock will be a public benefit, and will provide access to the Lotus Alchemy live/work units, a restaurant space, and retail spaces. Connecting the Lotus Alchemy midblock to the 650 Main office building midblock will give pedestrians a safe walkway from 600 South Street to 700 South Street.	Sheet 18, 24-25, 28

SEC.	DESCRIPTION	RESPONSE	SHEET REFERENCE
G.	Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.	Compliant: The Lotus Alchemy building height will compliment neighboring developments, and will elevate the architectural design standards of the downtown D-2 zoning. With innovative design features like the luxury skybridge and amenity spaces, the Lotus Alchemy will be a iconic piece of architecture improving Salt Lake City's skyline.	Sheet 34-37
G.1.	Human scale:		
G.1.a	Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.	Compliant: The building design features a 31ft stepback in the primary facade that spans 75'-2".	Sheet 34-37
G.1.b	For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.	Compliant: The Lotus Alchemy base, middle, and top sections of the building are defined through different material usage and breaks in the façade to reduce the sense of apparent height. The base will be comprised of spaces with taller floor to ceiling heights house resident amenities, ground level retail, restaurant, and live/work units with unique and differentiating facade elements, such as large storefront glazing, canopies and masonry veneer. The middle section will consist of a transition in materials and a visual break in the facade at the pool deck amenity space and skybridge. The top level includes a variation in parapet and awning articulation, material as well as roof elevation changes. The building is thoughtfully designed to a vertical height of 75'-2" to accommodate a spacious floor to ceiling height for the ground level amenity spaces.	Sheet 34-37
G.2.	Negative impacts:		
G.2.a	Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.	Compliant: Compliant: Lotus Alchemy will compliment the existing neighboring buildings through an emphasis on building orientation, scale, and design. The development is designed to improve the neighborhood appearance by providing an innovative skybridge and amenity spaces. The Lotus Alchemy building height will be comparable to nearby developments such as the 5-story Seven O2 Main apartments and the 3-story Six69 Office building.	Sheet 34-37
G.2.b	Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.	Compliant: As shown in the shade study exhibits, the project illustrates minimal shadow impacts on the public realm along the 700 South Street southern facing façade. The west facing facade will have zero negative impacts to the Six69 Office building. The project's east facing privately-owned public midblock will have an efficient amount of lighting fixtures to accommodate late evening shadows. In comparison, the Lotus Alchemy project demonstrates minimal shadow impacts compared to the northern neighboring property 10-story 650 Main office building.	Sheet 20
G.2.c	Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.	Compliant: The Lotus Alchemy is designed with an appropriate amount of stepbacks and vertical/horizontal dimensions to minimize potential wind impacts on public and private spaces.	Sheet 34-37
G.3.	Cornices and rooflines:		
G.3.a	Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.	Compliant: The rooflines are designed to be cohesive with each defined building massing. The Lotus Alchemy is designed to achieve a sleek, modern look with crisp lines and sophisticated aesthetics to elevate the Downtown-Central 9th district's characteristics.	Sheet 34-37
G.3.b	Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.	Compliant: Lotus Alchemy will complement the surrounding buildings. Similar to neighboring redevelopments, the project will continue the cohesiveness by providing a modern aesthetic and sleek roof lines.	Sheet 21, 34-37

SEC.	DESCRIPTION	RESPONSE	SHEET REFERENCE
G.3.c.	Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.	Compliant: The project will include a well landscaped amenity courtyard on the third level. The lush landscaping will be designed to establish a healthier lifestyle for apartment tenants.	
H.	Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.	Compliant: Lotus Alchemy will provide a single vehicular access point from 700 South Street, which will be setback from the active public sidewalks creating a safe pedestrian experience.	Sheet 27, 29
I.	Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)	Compliant: All of the project's waste and recycling containers, mechanical equipment, storage areas, and loading docks will be fully screened from public view and will incorporate compatible building materials.	Sheet 29
J.	Signage shall emphasize the pedestrian/mass transit orientation.	Compliant: The ground level amenities and midblock walkway will have the appropriate amount of signage to promote a safe and friendly pedestrian experience.	Sheet 24-25, 34-37
J.1.	Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.	Compliant: The Lotus Alchemy signage will be included across the face of the building skybridge, and each ground level retail/restaurant space will incorporate signage to attract a vibrant pedestrian environment.	Sheet 24-25, 34-37
J.2.	Coordinate signage locations with appropriate lighting, awnings, and other projections.	Compliant: Signage will be strategically located throughout the building with appropriate lighting and protection.	Sheet 24-25, 34-37
J.3.	Coordinate sign location with landscaping to avoid conflicts.	Compliant: Signage will be provide to clearly define Lotus Alchemy landscaping.	Sheet 24-25, 34-37
K.	Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.	Compliant: Pedestrian comfort and safety is a project priority. The development will provide an efficient amount of lighting with an emphasis on entrances, the parking garage, corridors, amenity spaces, and the midblock walkway.	Sheet 2, 24-25, 34-37
K.1.	Provide street lights as indicated in the Salt Lake City Lighting Master Plan.	Compliant: Street lighting will be in accordance with the Salt Lake City Master Plan.	Sheet 2, 24-25, 34-37
K.2.	Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.	Compliant: The Lotus Alchemy electrical engineer will diligently work to generate a comprehensive lighting plan, which is designed for low-level illumination and minimal glare. Downward lighting will be provided along the 700 South Street façade.	Sheet 2, 24-25, 34-37
K.3.	Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.	Compliant: The Lotus Alchemy will provide the necessary lighting for a safe and comfortable pedestrian environment. The project lighting will provide a cohesiveness between architecture, signage, and pedestrian circulation.	Sheet 2, 24-25, 34-37
L.	Streetscape improvements shall be provided as follows:		
L.1.	One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.	Compliant: The Lotus Alchemy has designed the landscape to include an estimated 11 new trees planted every 30 ft. along the 700 South Street frontage. The existing project site has zero trees along the 700 South Street.	Sheet 25

SEC.	DESCRIPTION	RESPONSE	SHEET REFERENCE
L.2.	Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:	Compliant: The Lotus Alchemy will differentiate the privately-owned public midblock from public spaces. Any public sidewalks replaced during construction will follow the applicable design standards. The project will comply with all permitted materials.	Sheet 24-25
L.2.a.	Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.	Compliant: Please See Response Section-L.2.	Sheet 24-25
L.2.b.	Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.	Compliant: Please See Response Section-L.2.	Sheet 24-25
L.2.c.	Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).	Compliant: Please See Response Section-L.2.	Sheet 24-25
L.2.d.	Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.	Compliant: The Lotus Alchemy's diverse materials of stone, brick, metal, and hardie board wood will compliment neighoring developments, and elevate the architectural design standards of the downtown D-2 zoning. With innovative design features like the luxury skybridge and amenity spaces, the Lotus Alchemy will be a iconic piece of architecture enhancing Salt Lake City's skyline.	Sheet 24-25
L.2.e.	Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.	Compliant: Please See Response Section-L.2.	Sheet 24-25
L.2.f.	Asphalt shall be limited to vehicle drive aisles. (Ord. 14-19, 2019)	Compliant: The project currently has no asphalt in the design plans.	Sheet 24-25

SEC.	DESCRIPTION	RESPONSE	SHEET REFERENCE
A.	Purpose Statement: The purpose of the D-2 Downtown Support Commercial District is to provide an area that fosters the development of a sustainable urban neighborhood that accommodates commercial, office, residential and other uses that relate to and support the Central Business District. Development within the D-2 Downtown Support Commercial District is intended to be less intensive than that of the Central Business District, with high lot coverage and buildings placed close to the sidewalk. This district is appropriate in areas where supported by applicable master plans. Design standards are intended to promote pedestrian oriented development with a strong emphasis on a safe and attractive streetscape.	Compliant: The Lotus Alchemy mixed-use project will be built with sustainability in mind, and will include high efficiency materials plus all electric appliances. The project will accommodate both residential, commercial, plus live-work units. The development will incorporate high lot coverage by meeting the required setbacks and mid-block standards. The project is designed to encourage pedestrians to walk safely to neighboring office buildings and the retail spaces within the ground level spaces of the project.	Sheet 4
B.	Uses: Uses in the D-2 Downtown Support District, as specified in section 21A.33.050, "Table Of Permitted And Conditional Uses For Downtown Districts", of this title, are permitted subject to the general provisions set forth in section 21A.30.010 of this chapter and this section.	Compliant: The Lotus Alchemy is a mixed-use development which will include both dwelling multi-family, retail, and restaurant uses. All of the project uses are considered "Permitted Uses" under 21A.33.050 and are allowed within the D-2 District.	Sheet 4-5
C.	Lot Size Requirements: No minimum lot area or lot width shall be required.	Compliant: There is no minimum lot area or lot width required in the D-2 District.	Sheet 24
D.	Maximum Building Height: The maximum permitted building height shall not exceed one hundred twenty feet (120') subject to the following review process: Buildings over sixty five feet (65') in height are subject to design review according to the requirements of chapter 21A.59 of this title.	Compliant: The Lotus Alchemy is currently designed to 75'-2" tall, which is well below the maximum height of 120 feet. The additional floor plate height is to accommodate more square footage for the ground level retail & restaurant spaces, which will provide a more comfortable open floor plan that is inviting to both residents and the public.	Sheet 34-37
E.	Minimum Yard Requirements:		
E.1.	Front And Corner Side Yard: There is no minimum setback. The maximum setback is ten feet (10').	Compliant: The development is within the maximum front yard and corner side yard setback of 10 ft. The front setback on the southern property boundary line is 1.50 ft. near the restaurant space and 3.30 ft. along the retail frontage. The variation in setbacks is to incorporate breaking up the building's front facade to not exceed the 200ft. facade maximum as stated in the Design Review Standards 21A.59.050 Sec.E.	Sheet 24
E.2.	Interior Side Yards: No minimum side yard is required except a minimum of fifteen feet (15') side yard is required when the side yard is adjacent to a single or two family residential zoning district.	Compliant: Since the Lotus Alchemy is not adjacent to a single or two family residential zoning district, there is no minimum side yard setback requirement in the D-2 District. The project's interior side yard setbacks are an estimated 10ft. on the east and west property boundary lines.	Sheet 24
E.3.	Rear Yard: No minimum rear yard is required except a minimum of twenty five feet (25') rear yard is required when the rear yard is adjacent to a single or two family residential district.	Compliant: Since the Lotus Alchemy is not adjacent to a single or two family residential zoning district, there is no minimum rear yard setback requirement in the D-2 District. The project's rear yard setbacks are an estimated 10ft. to 13ft. on the north property boundary lines.	Sheet 24
E.4.	Buffer Yards: Any lot abutting a lot in a residential district shall conform to the buffer yard requirements of Chapter 21A.48 of this title.	Not Required: The Lotus Alchemy does "not" abut to a residential district.	
F.	Landscape Yard Requirements: If a front or corner side yard is provided, such yard shall be maintained as a landscaped yard. The landscaped yard can take the form of outdoor dining, patio, courtyard or plaza, subject to site plan review approval.	Compliant: The front and corner side yard will have landscape abutting the sidewalk along 700 South Street. Additionally, the project will have landscape, benches, and lighting along the mid-block walkway to provide a inspiring and safe pedestrian experience.	Sheet 25
G.	Parking Lot Setbacks: If a front or corner side yard is provided surface parking is prohibited in those areas. Surface parking lots that are not located completely behind the primary structure shall maintain a twenty foot (20') landscaped yard from the front and corner side yard property lines.	Compliant: The development includes zero surface parking along the front and corner side yard.	Sheet 29

SEC.	DESCRIPTION	RESPONSE	SHEET REFERENCE
H.	Mid-Block Walkways: Any new development shall provide a midblock walkway if a midblock walkway on the subject property has been identified in a master plan that has been adopted by the city. The following standards apply to the midblock walkway:	Compliant: The project site has a midblock walkway as identified in the Downtown-Central 9th District Master Plan. The Lotus Alchemy proposed midblock walkway will connect to the 650 Main Office building and will continue to run south along the far east property boundary line to 700 South Street. The midblock is designed with both residents and public pedestrians in mind. The midblock will offer a safe passage to our several live-work units, a restaurant, and retail spaces along 700 South Street. The midblock will incorporate landscape and lighting along the walkway for pedestrian safety.	Sheet 18, 24-25, 28
H.1.	The midblock walkway must be a minimum of ten feet (10') wide and include a minimum six foot (6') wide unobstructed path.	Compliant: The midblock walkway is 10 ft. wide with a 6 ft. wide unobstructed path, which is reflected on our attached civil site plans.	Sheet 18, 24-25, 28
H.2.	The midblock walkway may be incorporated into the building provided it is open to the public. A sign shall be posted indicating that the public may use the walkway.	Compliant: The midblock walkway will "not" be incorporated into the building, but will be located on the exterior of the building running along the east property boundary line. The midblock is designed to welcome public access by connecting to the 650 Main Office midblock from 700 South Street.	Sheet 18, 24-25, 28
I.	Ground Floor Uses: To activate the ground floor of structures, retail goods establishments, retail service establishments, public service portions of businesses, restaurants, taverns/ brewpubs, bar establishments, art galleries, theaters or performing art facilities are required on the ground floor of structures facing State Street, Main Street, 800 South and 900 South.	Not Required: The project is "not" facing State Street, Main Street, 800 South and 900 South.	
J.	Existing Vehicle Sales Or Lease Lots:		
J.1.	Vehicle Display Area: The parking provided in the vehicle display area will not be counted as off street parking when computing maximum parking requirements and is not considered to be a surface parking lot when determining required setbacks in this section.	Not Required: The project will "not" include vehicle display areas.	
J.2.	Design Standards: Structures associated with accessory uses such as but not limited to repair shops or vehicle washing do not need to meet required design standards and may exceed the maximum front and corner side yard setbacks. Primary structures that contain sales floors and auto display areas must meet all design standards and setbacks.	Not Required: The project will not include any accessory uses or auto display areas.	
J.3.	Landscaping: A landscaped yard of at least ten feet (10') in depth is required along any portion of the street frontage of the property that is not occupied by a permanent structure. All other landscaping requirements in Chapter 21A.48 remain applicable.	Compliant: The project will be occupied by permanent structure and will comply with the landscape requirements in Chapter 21A.48.	Sheet 25
J.4.	Multiple Buildings: Vehicle sales or lease lots may have multiple buildings on a parcel subject to all buildings being associated with the use of the lot as vehicles sales or lease. (Ord. 44-19, 2019: Ord. 14-19, 2019: Ord. 66-13, 2013: Ord. 15-13, 2013: Ord. 12-11, 2011: Ord. 88-95 § 1 (Exh. A), 1995: Ord. 26-	Not Required: No vehicle sales planned for development.	

STANDARD (CODE SECTION)	DISTRICT	RESPONSE
Ground floor use (%) (21A.37.050A1)	75	Compliant : 82% of the ground floor use is activated by retail, restaurant, and lobby/leasing office.
Ground floor use + visual interest (%) (21A.37.050A2)	60/25	Compliant : Please see response above.
Building materials: ground floor (%) (21A.37.050B1)	80	Compliant : The entire ground floor facing 700 South Street will be a combination of 60% durable materials (stone veneer, fiber cement, exposed concrete, and metal siding)
Building materials: upper floors (%) (21A.37.050B2)	50	Compliant : The upper floor facing 700 South Street will consists of 67% flush metal panels, fiber cement, and brick veneer
Glass: ground floor (%) (21A.37.050C1)	40	Compliant : The ground floor facing 700 South Street will consists of 52% glass
Glass: upper floors (%) (21A.37.050C2)	25	Compliant : The upper floors facing 700 South Street will consists of 42% glass
Building entrances (feet) (21A.37.050D)	50	Compliant : The parking lot is located in the interior of the building, the window to wall ratio is greater than the required standards, and the development interacts with the sidewalk through sitting spaces and landscaping.
Blank wall: maximum length (feet) (21A.37.050E)	15	Compliant : No blank walls are in the design plans.
Street facing facade: maximum length (feet) (21A.37.050F)	200	Compliant : The ground level the 700 South façade has multiple breaks, several material changes, and building massing changes.
Upper floor step back (feet) (21A.37.050G)	N/A	N/A
Lighting: exterior (21A.37.050H)	X	Compliant : All exterior lightening along the 700 South Street façade will be downward or inward lighting fixtures
Lighting: parking lot (21A.37.050I)	X	Not Required : This requirement does not apply to interior podium garage structures.
Screening of mechanical equipment (21A.37.050J)	X	Compliant : All mechanical equipment will include the required screening.
Screening of service areas (21A.37.050K)	X	Compliant : All service areas will include the required screening.
Ground floor residential entrances (21A.37.050L)	N/A	Compliant : The project will provide two residential entrances along the 700 South Street façade
Parking garages or structures (21A.37.050M)	X	Compliant : The podium parking structure will be incorporated into the overall design of the building.

No.	BUILDING COMMENTS	RESPONSE
1.	Building Department has no concerns with this plan as submitted here.	Not Required
ENGINEERING COMMENTS by Scott Weiler		RESPONSE
1.	Work in the public way requires a public way permit and must follow APWA Standards.	APWA standards shown on the Civil Site Plans
FIRE COMMENTS by Douglas Bateman		RESPONSE
1.	Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into; and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Applicant will need to submit for an alternate means and methods due to exceeding this distance and interior courtyard for additional fire protection measures.	<p>An alternative Means & Method (AM&M) is being pursued. The building will be equipped throughout with fire sprinklers and smoke detection will be utilized in common areas and corridors as well.</p>
2.	Fire apparatus access roads shall have an unobstructed width of not less than 20 feet for buildings 30-feet or less, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Buildings greater than 30 feet shall have a road width of not less than 26 feet. Fire apparatus access roads with fire hydrants on them shall be 26-feet in width; at a minimum of 20-feet to each side of the hydrant in the direction of road travel.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
3.	Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (80,000 pounds) and shall be surfaced to provide all-weather driving capabilities.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
4.	The required turning radius of a fire apparatus access road shall be the following: Inside radius is 20 feet, outside is 45-feet	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
5.	Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. Turn areas for hammerhead are increased to 80-feet (160-feet total) to accommodate SLC Fire Department apparatus. See appendix D for approved turnarounds.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
6.	Buildings or portions of buildings constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Hydrants spaced not exceeding IFC appendix C.	<p>An existing hydrant can be found on 700 S just west of the proposed building. The proposed development will be equipped with a fire suppression system.</p>
7.	Fire department connections shall be located on the street address side of buildings, fully visible and recognizable from the street, and have a fire hydrant within 100-feet on the same side of the street.	<p>Fire Riser Room is located along 700 S Street.</p>
8.	Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
9.	Aerial fire apparatus access roads shall be provided where the highest roof surface exceeds 30 feet measured from grade plane. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Some exceptions have been added by SLC; those can be obtained from this office.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
10.	Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Aerial access routes shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
11.	Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>

TRANSPORTATION COMMENTS by Michael Barry

RESPONSE

1. I have no comments on the zoning modifications. The applicant should provide parking calculations showing minimum parking requirements for passenger vehicles (21A.44.030), ADA (21A.44.020), electric vehicles (21A.44.050), and bicycle parking (21A.44.050) as well as the maximum parking allowance (21A.44.030). Electric vehicle parking spaces were not shown on the plan and the stalls should be designated for electric vehicles only. The applicant must show the location of the bicycle parking and provide a detail of the bike racks. The parking layout must meet dimensional standards of 21A.44.020. The applicant must show the ten-foot sight distance triangles at the egress of the parking structure. Please let me know if you have any questions.

Parking calculations have been provided in the Architectural Plans.

POLICE COMMENTS by LaMar Ewell

RESPONSE

1. Police Department has no concerns with this plan as submitted here.

Not Required

PUBLIC UTILITIES COMMENTS by Jason Draper

RESPONSE

1. No utility objection to the increased height or increased parking.

2. The façade has some potential concerns with not having room for meters or utility vaults, grease interceptors, etc. Utility recommendations a break in the façade with set back to allow room for utilities.

3. Additionally, the site design does not provide an area for stormwater retention and Green Infrastructure / LID. Breaking up the building mass may make room for this requirement.

Meters locations called out on plans. Vaults grease interceptors will be located below the building with access from the garage/commercial spaces.

Stormwater design is included in the Civil Site Plans.

URBAN FORESTRY COMMENTS by Rick Nelson

RESPONSE

1. Urban Forestry has no concerns with this plan as submitted here.

Not Required

ZONING COMMENTS by Krissy Gilmore

RESPONSE

1. Primary concern is with the parking being a central feature of the façade. I think the design needs to be adjusted to provide better hierarchy of pedestrian vs single-occupancy vehicles. Essentially the parking garage entrance should be better camouflaged.

2. Site plan/Plan set: Overall, the site plan and elevations are missing a lot of labels. I know you have the information in your narrative, but it should also be on the plan set.

- A lot consolidation is required
- Add a label that shows at least 6’ of unobstructed walkway on mid-block walkway.
- Label on the site plan the total depth of the active ground floor use (25’ is required).
- I see that a new fence is proposed. Please provided details (height, material, etc.)

- Design Standards:
 - o B. Building Materials: Label percentage of each material on elevation drawings.
 - o C. Ground Floor/Upper Floor Glass: Add the ground level glass percentage (between 3-8 feet) and percentage for upper floors.
 - o D. Building Entrances: The site plan should show the distance between each building entrance to confirm the standard is met.
 - o F. Street Facing Façade: Please clearly label the length of the street facing façade on the site plan.

3. Parking: I discussed this with the Zoning Administrator and we determined that because the language of the code is not clear, you can refer to either of the two minimum tables when determining the maximum parking in the D-2. If you refer to the district-specific minimum table, then yes, you will need to make the modification request. Please also calculate the required parking by using the general parking table (https://export.amlegal.com/media/c5473f6d38e6ef223a7fd852610f05af97fec1d/DAT_AOJECTS/0-0-0-9780.pdf) too. I suspect that you might be okay when this calculation is done, but I’m not sure unless I see the parking requirements broken down by unit type. Please let me know if you need clarification.

4. I’m having trouble locating the transformers/utility equipment for the development. Please indicate where those are located.

The garage entry has been modified to reduce the emphasis on the garage and make the streetscape more pedestrian oriented. Site and courtyard landscaping has been increased and modified to minimize the focus on the garage entry.

Labels have been added to the Civil Site Plans.

Lot Consolidation application has been submitted on July 11, 2022.

Labels have been added to the Civil Site Plans.

Active use dimension shown on the Civil Site Plans.

The proposed fence will be approximately 8ft. tall with metal 4 x 4 post every 8ft. on center. The fence infill will be a slatted wood with stained 6" cedar slat every 12" on center.

Material percentages added to the Architectural Plans.

Glazing percentage added to the Architectural Plans.

Dimensions have been added to the Civil Site Plans.

Label added on the Civil Site Plans.

A parking increase for Min & Max of 1/2 Space per unit is being requested. 1/2 per unit parking space calculations are shown on the Architectural Plans.

See utility sheet on the Civil Site Plans.

Central 9th District – Masterplan Initiatives

VISION:

The Lotus Alchemy will contribute to the Central 9th Districts vision of providing mixed-use mid-rise housing with higher density near main streets.

...IS CONNECTED

The Lotus Alchemy will support the emphasis of transit-oriented developments by providing convenient access to the nearby TRAX station on Main Street and public transit.

...IS WALKABLE

The project site has a midblock walkway identified in the Downtown-Central 9th District Master Plan. The proposed midblock walkway will connect to the 650 Main Office building and will continue to run south along the far east property boundary line to 700 South Street. The Lotus Alchemy is designed with an emphasis on providing a pedestrian friendly environment by offering ground level retail, restaurant space, and live/work units.

...IS RICH IN ARTS & CULTURE

The Lotus Alchemy will inspire a community culture with a vibrant urban experience. The development will feature live/works units to provide opportunities for small businesses, and the ground level retail spaces will give local businesses the opportunity to expand into a growing neighborhood.

...IS PROSPEROUS

The intended use of the Lotus Alchemy development is to influence and encourage a cohesiveness throughout the Central 9th District.



Source: www.slcdocs.com/Planning/MasterPlansMaps/Downtown

Midblock Walkway

EXISTING SITE MIDBLOCK

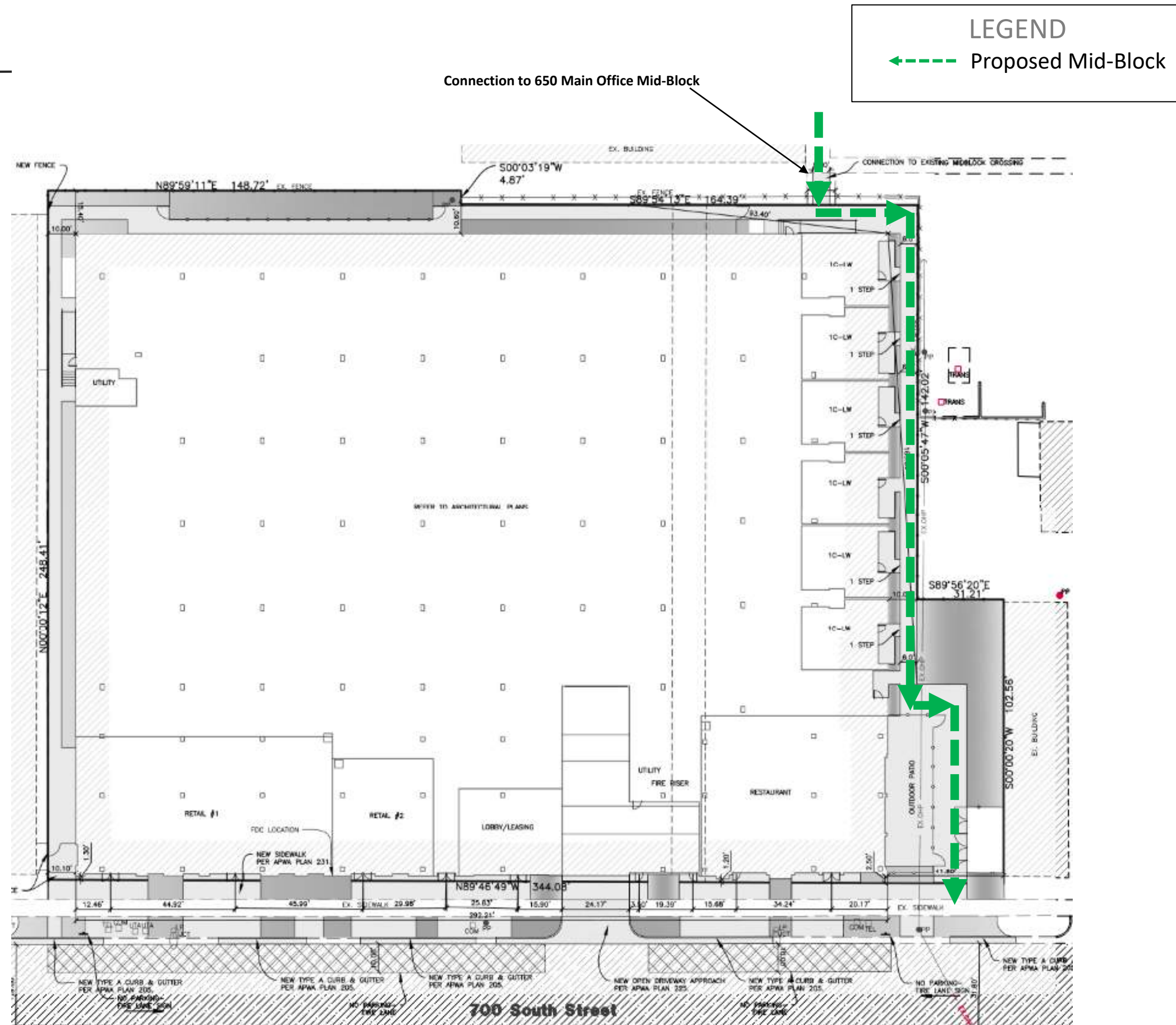
Currently the project site has a midblock walkway identified in the Downtown-Central 9th District Master Plan. As illustrated on the downtown masterplan, the midblock runs North to South down the middle of parcels 28 W 700 S and 54 W 700 S. The intended use is to provide a privately-owned public walkway for pedestrians to connect to 600 South Street and 700 South Street.

NEIGHBORING SITE MIDBLOCK

Immediately North of the proposed project site is the newly constructed 650 Main Office building. The Class A office building is 10-stories in height and offers over 300,000 s.f. of leasable space. The 650 Main office developers were able to receive approval for relocating the shared midblock approximately 154 ft. from the initial masterplan location.

PROPOSED SITE MIDBLOCK

The Lotus Alchemy proposed midblock walkway will connect to the 650 Main Office building and will continue to run south along the far east property boundary line to 700 South Street. The continuation of the 650 Main Office midblock walkway will define the identity of the shared midblock location and provide cohesiveness within the downtown masterplan. The development strategically designed the location of the midblock to allow public access to local restaurants, retail shops, and workplaces. The Lotus Alchemy project recognizes the midblock walkway as a valuable neighborhood amenity, which will provide a vibrant pedestrian experience for both the public and residents to enjoy.



Base | Middle | Top Sections

BASE SECTION

The distinct base of the building has a taller floor to floor height and is clad in Masonry Veneer. The 700 South street level facade, and the entire ground level frontage along the midblock walkway are lined with retail and live-work units that feature full height storefront, glass roll-up doors, and outdoor seating areas, designed to engage the street at a pedestrian scale. Above the base are a variety of masses that are organized horizontally in a hierarchy of corner-middle-corner.

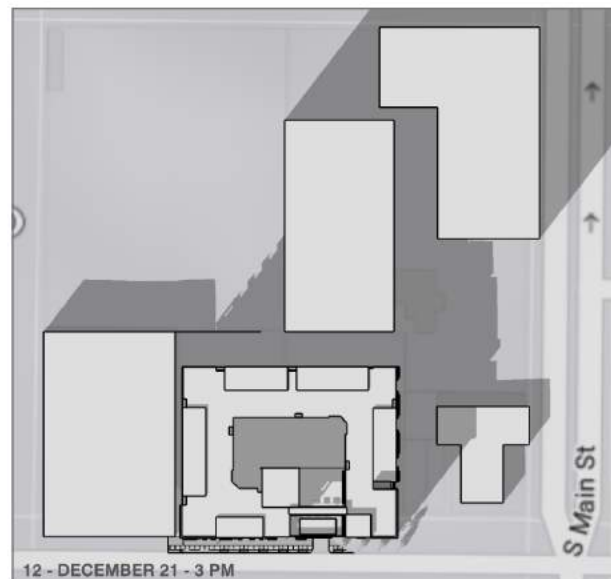
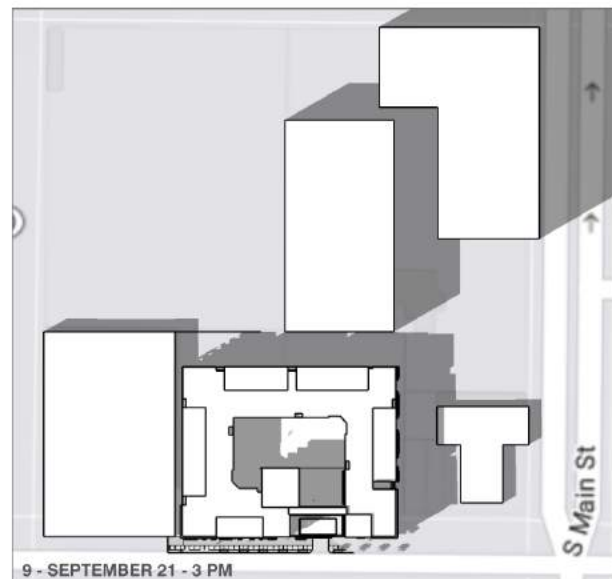
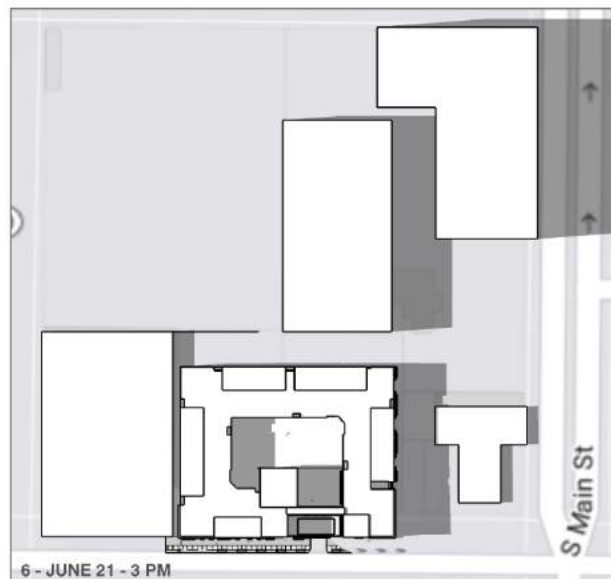
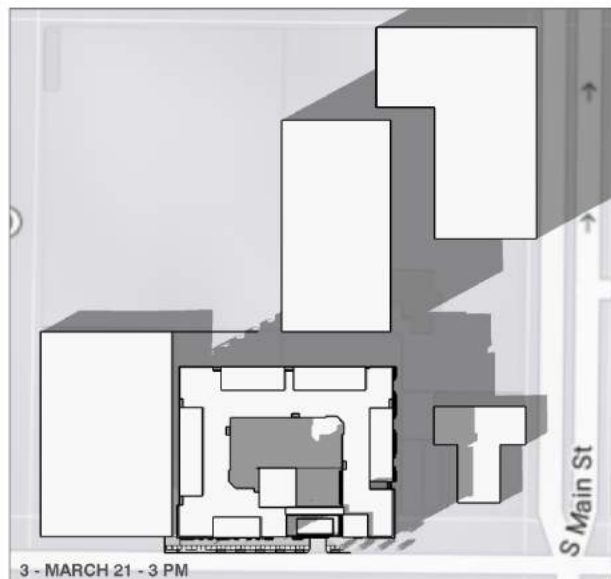
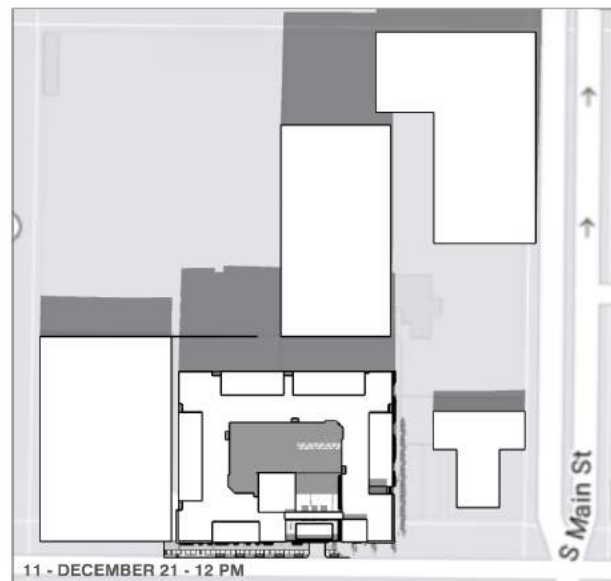
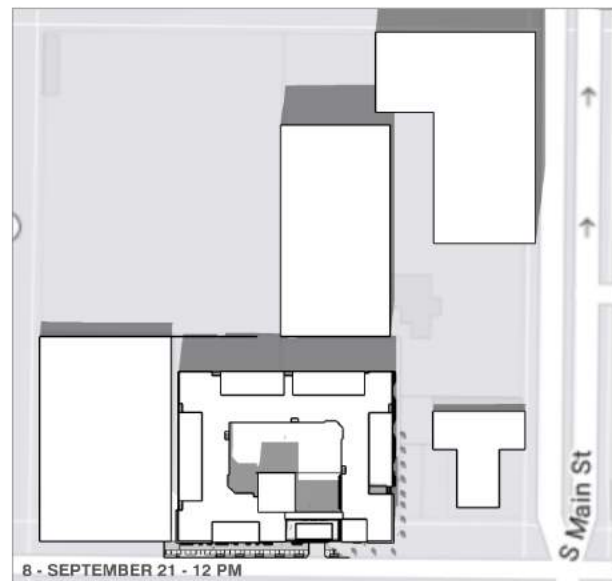
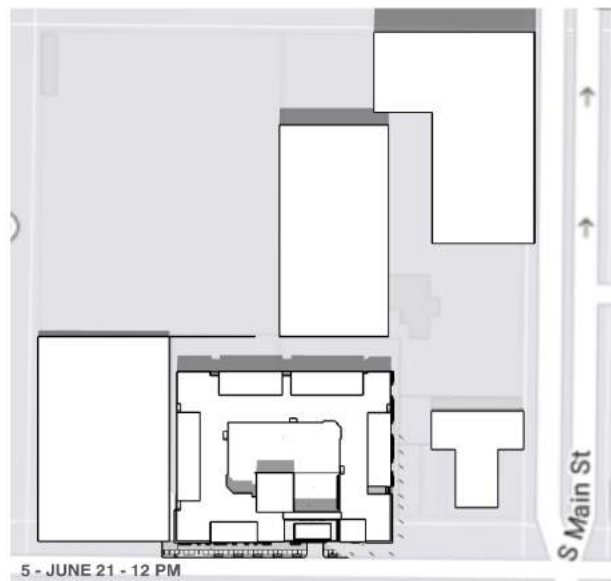
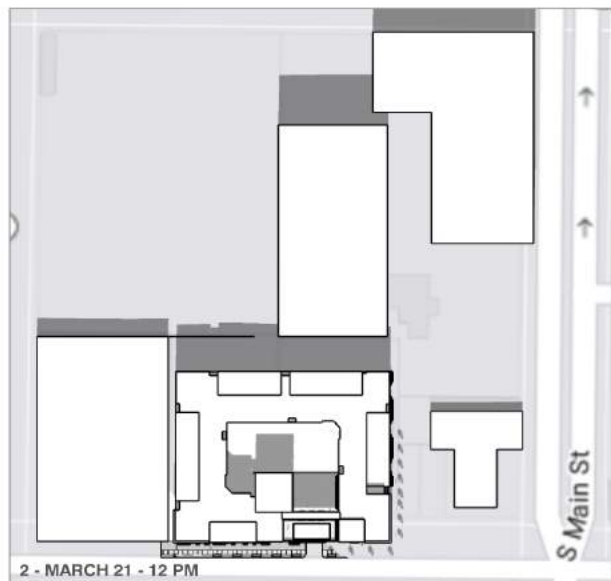
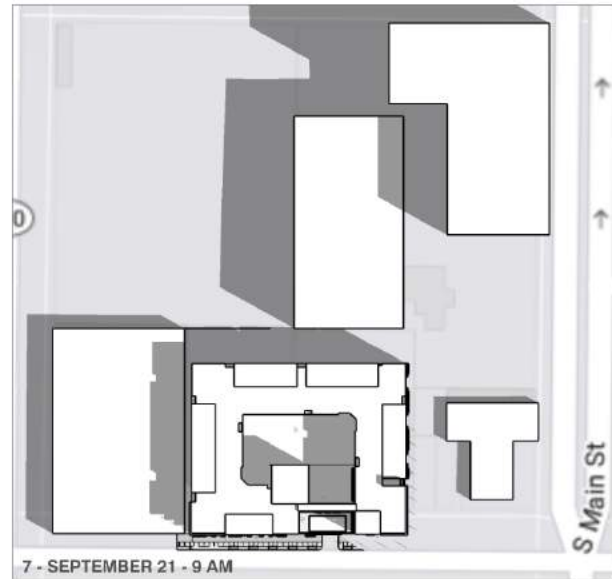
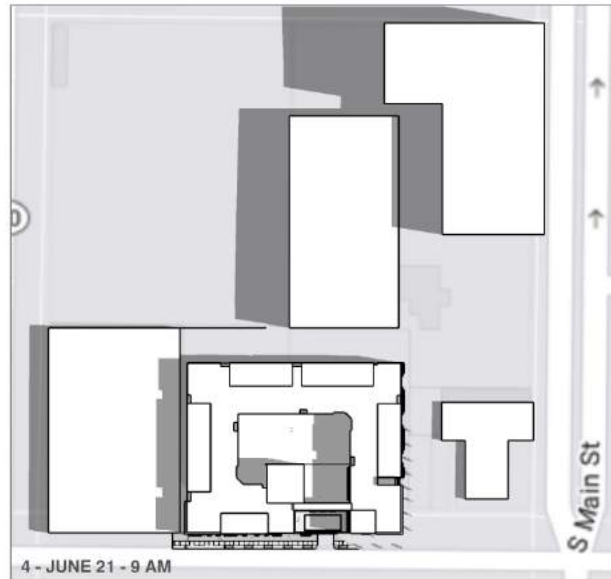
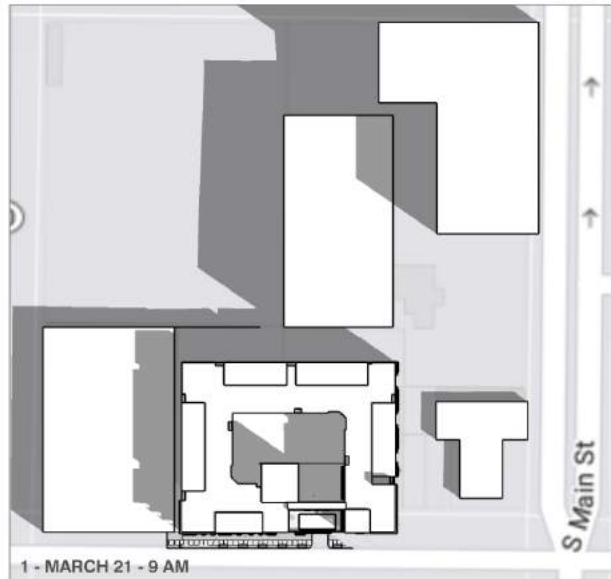
MIDDLE SECTION

The middle portion fronting 700 South is delineated into two separated volumes framing a skybridge that spans 77 ft and steps back 31ft from the podium edge to accommodate an amenity pool deck overlooking the street. The volumes are vertically delineated with different material expressions, and changes in the vertical planes.

TOP SECTION

The top elements are strongly established at the corner volumes through changes in materials, subtle setbacks, and are capped by metal cornices.





SUN STUDY

EXISTING SITE CONDITIONS

Currently the property is being occupied by Valley Collision – Rick Warner Body Shop which is an auto collision repair shop. The shop is located on the far East portion of the project site.

Additionally, directly West of the is the Autograff Motor Works is an auto mechanic shop. Majority of the existing site is a surface parking lot.

NEIGHBORING SITE CONDITIONS

Immediately East of the proposed project site is the Hein Atelier of Traditional Art and a Master Muffler automotive shop.

Directly West of the project site is the 669 W Temple Class B 131,000 SF office building, which is occupied by tenants such as Task Easy and Venue 6SIX9.

Northeast of the proposed project site is 650 Main Class A Office building which was recently completed. The building consists of an estimated 320,000 SF which is currently under lease-up phase.

PROPOSED SITE CONDITIONS

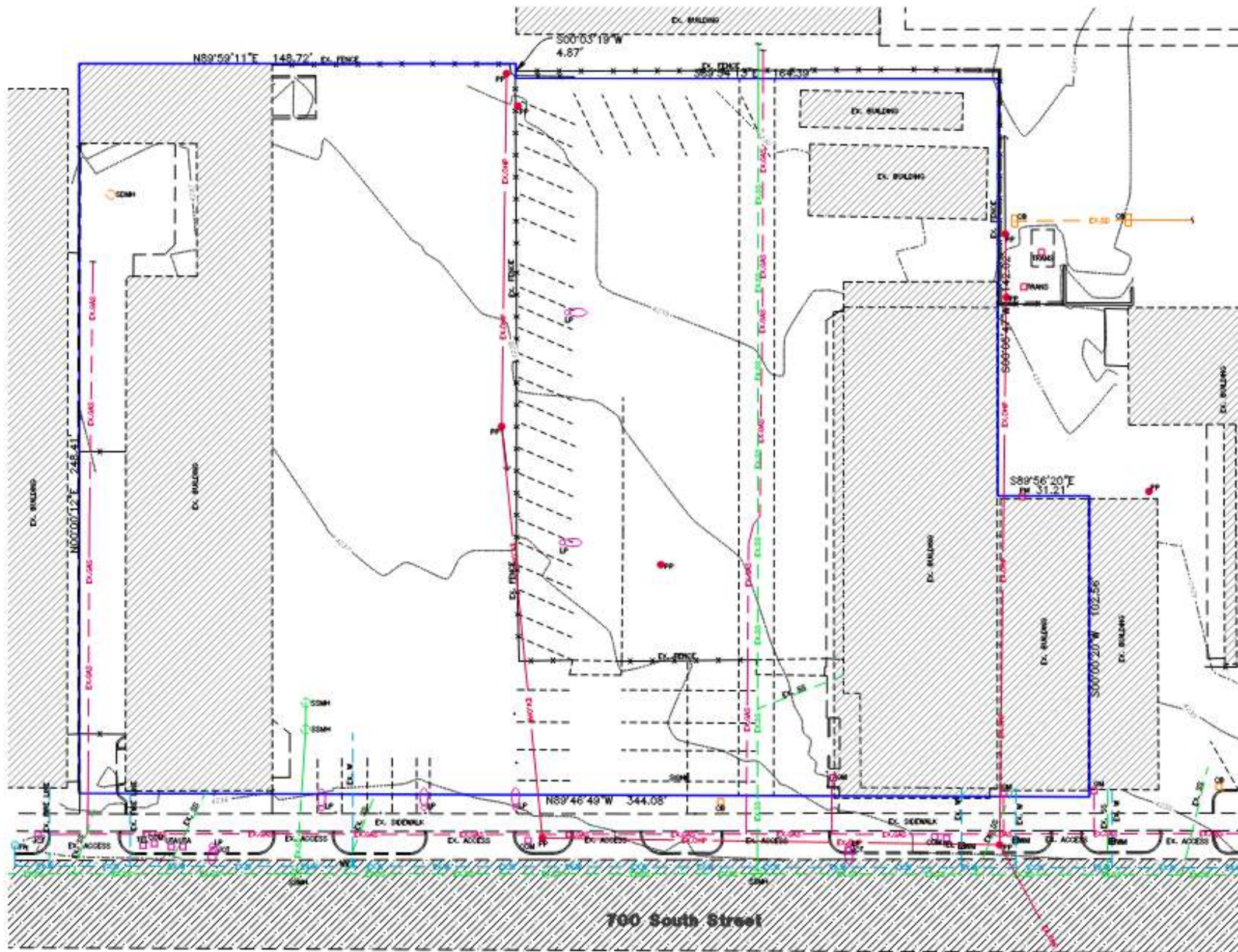
The Lotus Alchemy will compliment the neighboring buildings by offering convenient housing within walkable distances to future tenant's place of work. In addition, the project will offer retail space for potential local shops and a restaurant space for both residents and the public to enjoy.



Source: www.earth.google.com



Legend



- SW LAT = PROPOSED SECONDARY WATER LATERAL
- LD LAT = PROPOSED LAND DRAIN LATERAL
- W LAT = PROPOSED WATER LATERAL
- SS LAT = PROPOSED SEWER LATERAL
- W/8 = PROPOSED CULINARY WATER LINE
- - - EX.W = EXISTING CULINARY WATER LINE
- SW/8 = PROPOSED SECONDARY WATER LINE
- - - EX.SW = EXISTING SECONDARY WATER LINE
- SS/8 = PROPOSED SANITARY SEWER LINE
- - - EX.SS = EXISTING SANITARY SEWER LINE
- SD/15 = PROPOSED STORM DRAIN LINE
- - - EX.SD = EXISTING STORM DRAIN LINE
- LD/8 = PROPOSED LAND DRAIN LINE
- - - EX.LD = EXISTING LAND DRAIN LINE
- IRR/18 = PROPOSED IRRIGATION LINE
- - - EX.IRR = EXISTING IRRIGATION LINE
- x - x - x = EXISTING FENCE LINE
- ○ ○ ○ ○ = PROPOSED FENCE LINE
- - - = DRAINAGE SWALE
- OHP = OVERHEAD POWER LINE
- = PROPOSED FIRE HYDRANT
- = EXISTING FIRE HYDRANT
- = PROPOSED MANHOLE
- = EXISTING MANHOLE
- = PROPOSED SEWER CLEAN-OUT
- X = PROPOSED GATE VALVE
- X = EXISTING GATE VALVE
- ⊥ = PLUG & BLOCK
- ⊙ = AIR VAC ASSEMBLY
- = DUAL SECONDARY METER
- = EXISTING ASPHALT PAVEMENT
- = PROPOSED ASPHALT PAVEMENT
- = PROPOSED CONCRETE
- = PROPOSED GRAVEL
- 4800 = EXISTING CONTOUR GRADE
- 4800 = PROPOSED CONTOUR GRADE
- = PROPOSED WATER METER
- = EXISTING WATER METER
- ▶ = PROPOSED REDUCER
- ▶ = EXISTING REDUCER
- = PROPOSED CATCH BASIN
- = EXISTING CATCH BASIN
- ⊕ = PLUG W/ 2" BLOW-OFF
- = STREET LIGHT
- = SIGN
- = POWER POLE
- BFE = BASEMENT FLOOR ELEVATION
- BLDG = BUILDING
- BOS = BOTTOM OF STAIRS
- BOW = BOTTOM OF WALL
- BP = BEGINNING POINT
- C&G = CURB & GUTTER
- CB = CATCH BASIN
- CF = CUBIC FEET
- CFS = CUBIC FEET PER SECOND
- EP = ENDING POINT
- FF = FINISH FLOOR
- FFE = FINISH FLOOR ELEVATION
- FG = FINISHED GRADE
- FH = FIRE HYDRANT
- FL = FLOW LINE
- GB = GRADE BREAK
- INV = INVERT
- LF = LINEAR FEET
- NG = NATURAL GRADE
- OHP = OVERHEAD POWER
- PC = POINT OF CURVATURE
- PP = POWER/UTILITY POLE
- PRC = POINT OF RETURN CURVATURE
- PT = POINT OF TANGENCY
- PUE = PUBLIC UTILITY EASEMENT
- RCP = REINFORCED CONCRETE PIPE
- RIM = RIM OF MANHOLE
- ROW = RIGHT-OF-WAY
- SD = STORM DRAIN
- SS = SANITARY SEWER
- TBC = TOP BACK OF CURB
- TOA = TOP OF ASPHALT
- TOC = TOP OF CONCRETE
- TOFF = TOP OF FINISHED FLOOR
- TOS = TOP OF STAIRS
- TOW = TOP OF WALL
- TSW = TOP OF SIDEWALK
- UGP = UNDERGROUND POWER
- W = CULINARY WATER
- WM = WATER METER

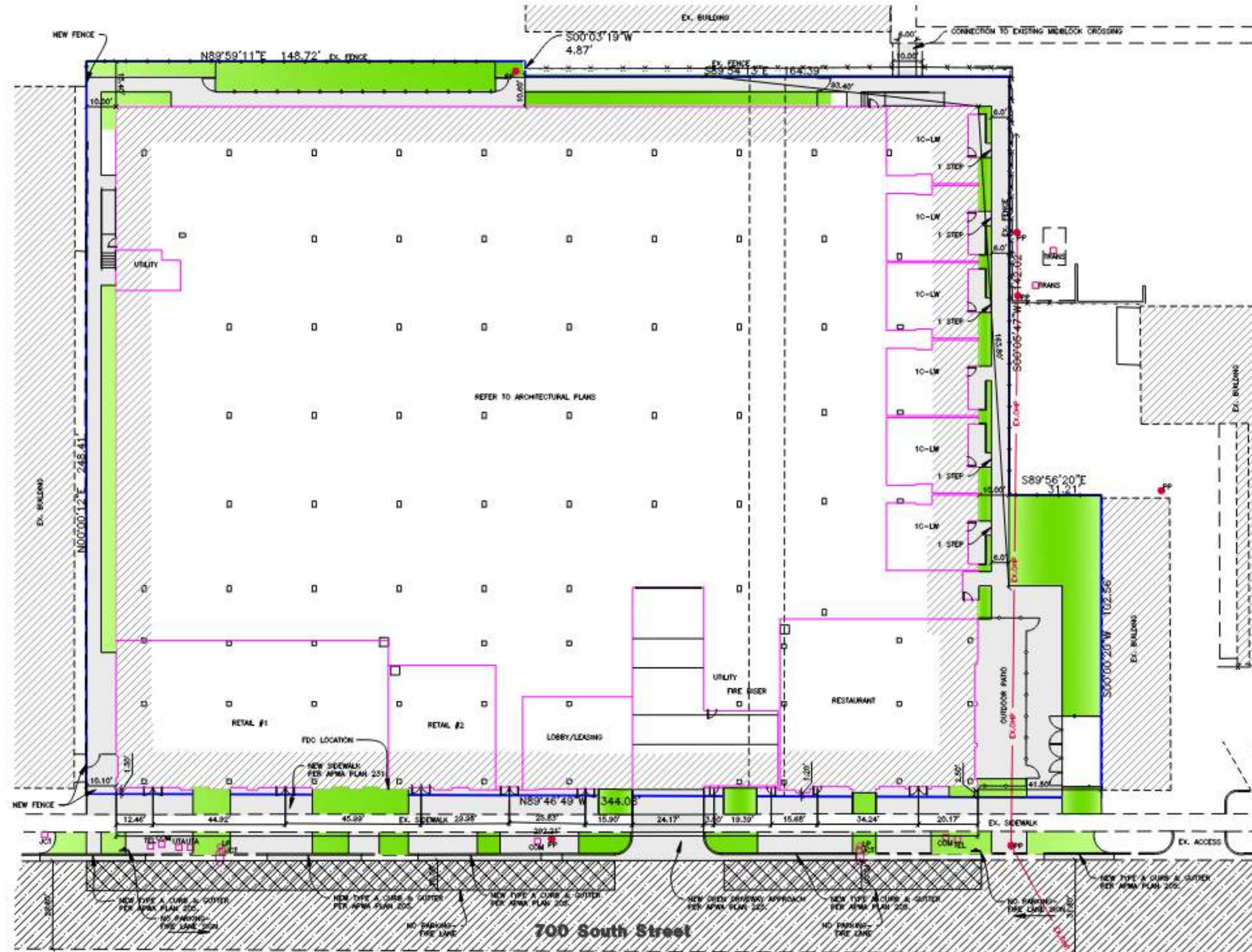
Site Plan Highlights

Acres: 1.84

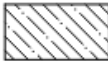



Lot Sq. Ft.: 80,311

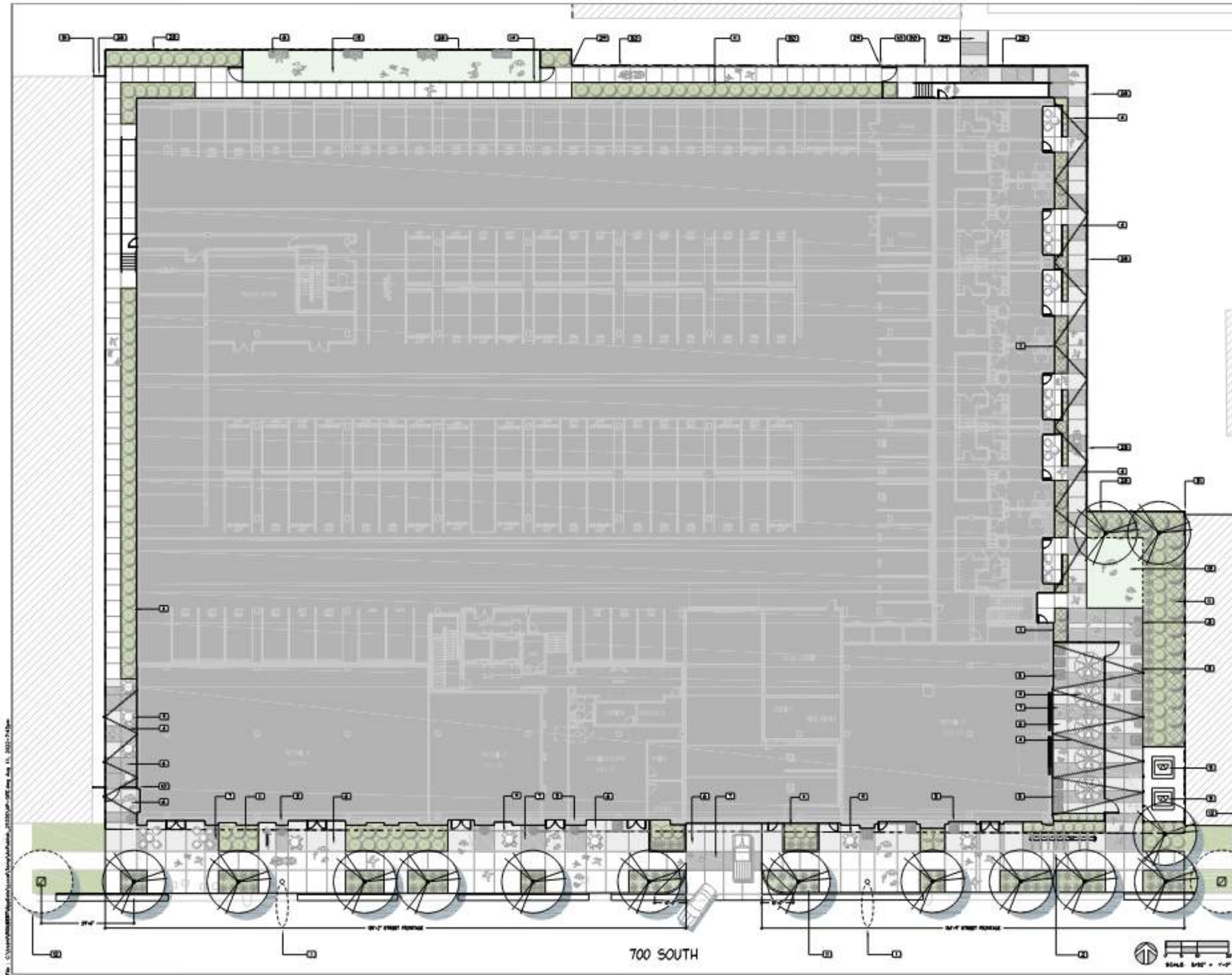
Setbacks: No minimum lot area or lot width required in the D-2 District.

The development will utilize the no setback minimum in the D-2 zoning district to follow the public sidewalk and the development patterns of the neighborhood. The Lotus Alchemy project will align with the Central 9th transit-oriented development vision by enhancing the walkability to the nearby TRAX Station on Main Street.



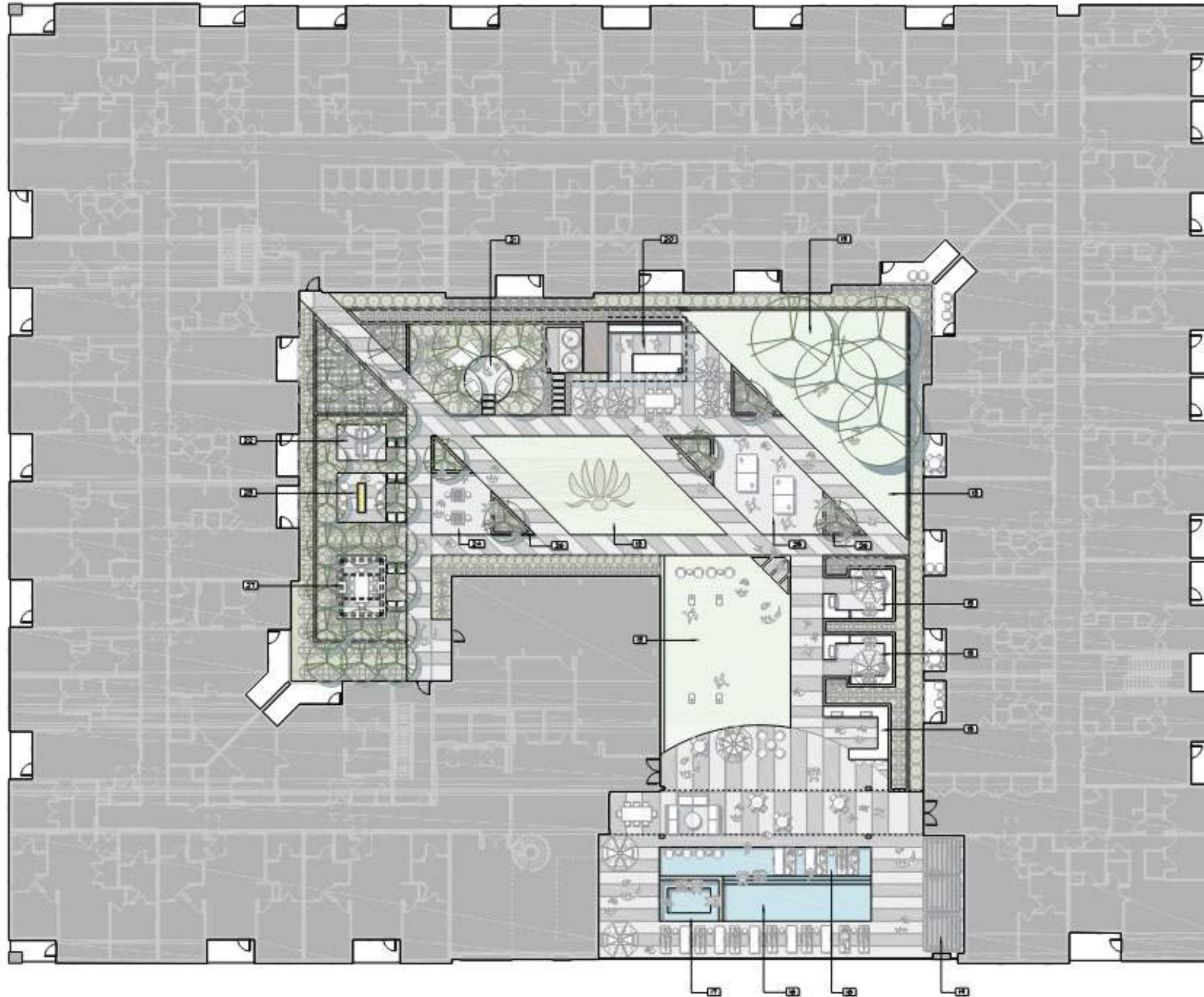
Legend

-  = EXISTING ASPHALT PAVEMENT
-  = PROPOSED ASPHALT PAVEMENT
-  = PROPOSED CONCRETE
-  = PROPOSED GRAVEL







PLANT SCHEDULE - LEVEL 1			B
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
DECIDUOUS TREES Koeleria paniculata / Golden Rain Tree Zelkova serrata 'Green Vase' / Sawleaf Zelkova	3 INCH CALIPER	14	
EXISTING TREES Off Site - For Reference Only		2	
EVERGREEN SHRUBS Buxus microphylla koreana 'Green Velvet' / Korean Boxwood Taxus x media 'Hicksii' / Hicks Yew	5 CONT.	36	
GRASS Calamagrostis acutifolia 'Karl Foerster' / Foerster's Reed Grass Miscanthus sinensis 'Gracillimus' / Maiden Grass Miscanthus sinensis 'Zebrinus' / Zebra Grass Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	5 CONT.	132	
DECIDUOUS SHRUBS Ribes alpinum / Alpine Currant Rhamnus frangula 'Colonnaris' / Tall-hedge Buckthorn Viburnum x rhytidophyloides 'Alleghany' / Alleghany Viburnum Cornus sanguinea 'Arctic Fire' / Arctic Fire Dogwood	5 CONT.	141	
PERENNIALS Anemone x hybrida / Japanese Anemone Aster x frikartii 'Monch' / Monch Aster Echinacea purpurea / Purple Coneflower Gaura lindheimeri 'Crimson Butterfly' / Crimson Butterfly Handflower Iris sibirica / Siberian Iris Penstemon cyananthus / Wasatch penstemon Salvia superba 'Ivy Knight' / Perennial Sage	1 CONT.	32	
* QUANTITY INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE TO VERIFY ALL QUANTITIES.			

REFERENCE NOTES SCHEDULE - LEVEL 1			E
SYMBOL	DESCRIPTION		
	1 STREET LIGHT		
	2 GREEN BIKE		
	3 PLANTER, TYP.		
	4 STRING LIGHTS		
	5 TRANSFORMER WITH ENCLOSURE		
	6 COLOR CONCRETE TYPE 1 - TAN, TYP.		
	7 COLOR CONCRETE TYPE 2 - CHARCOAL, TYP.		
	8 BENCH, TYP.		
	9 TABLE WITH CHAIRS, TYP.		
	10 GATE - MATCH EXISTING FENCE - REFER TO SHEET L-L100 DETAIL G		
	11 SHRUB BED WITH 3 INCHES OF BARK MULCH OVER 12 INCHES OF TOPSOIL, TYP.		
	12 EXISTING TREE - PROTECT IN PLACE		
	13 SYNTHETIC TURF		
	14 DOG RUN WITH 4 FOOT HIGH FENCE AND GATES		
	28 FENCE - 6 FOOT HIGH - MATCH EXISTING FENC ON NORTH PROPERTY LINE - REFER TO SHEET L-L100 DETAIL G		
	29 TIE INTO EXISTING FENCE		
	30 EXISTING FENCE - PROTECT IN PLACE		
	31 TIE FENCE INTO EXISTING BUILDING		



REFERENCE NOTES SCHEDULE - LEVEL 2		F
SYMBOL	DESCRIPTION	
13	SYNTHETIC TURF	
15	BBO STATION	
16	POOL	
17	HOT TUB	
18	SUN DECK	
19	POOL CABANAS	
20	COVERED PAVILION	
21	HAMMACK STATION	
22	LANDSCAPE SWING	
23	FIRE PIT	
24	CHESS TABLES	
25	PING PONG TABLES	
26	RAISED PLANTER WITH SEATING WALL	
27	PERGOLA	

PLANT SCHEDULE - LEVEL 2		C
	DECIDUOUS TREES Acer ginnala 'Flame'-multi / Amur Maple Multi-trunk Acer griseum / Paperbark Maple Koeleria paniculata / Golden Rain Tree Malus x 'Radiant' / Radiant Crab Apple	2 INCH CALIPER 35
	EVERGREEN SHRUBS Buxus microphylla koreana 'Green Velvet' / Korean Boxwood Taxus x media 'Hicksii' / Hicks Yew	5 CONT. 95
	GRASS Calamagrostis acutifolia 'Karl Foerster' / Foerster's Reed Grass Miscanthus sinensis 'Gracillimus' / Maiden Grass Miscanthus sinensis 'Zebrinus' / Zebra Grass Pennisetum alopecuroides 'Home' / Ham'n Dwarf Fountain Grass	5 CONT. 269
	DECIDUOUS SHRUBS Ribes alpinum / Alpine Currant Rhamnus frangula 'Columnaris' / Tall-hedge Buckthorn Viburnum x rhytidophylloides 'Alleghany' / Alleghany Viburnum Cornus sanguinea 'Arctic Fire' / Arctic Fire Dogwood	5 CONT. 231
* QUANTITY INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE TO VERIFY ALL QUANTITIES.		



700 SOUTH – STREET VIEWS



MID-BLOCK WALKWAY

Parking Requirements/Info

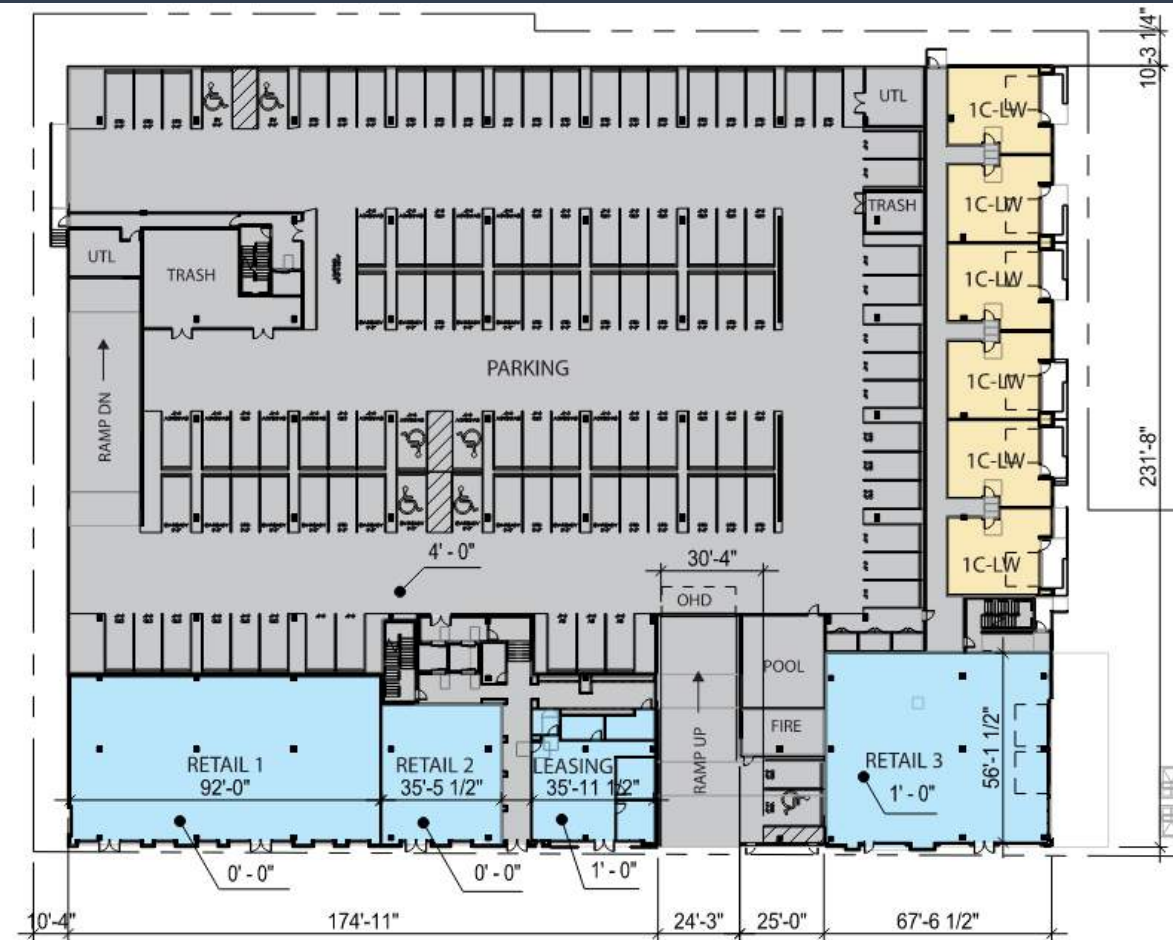
The D-2 district has a requirement of ½ space per dwelling unit for residential. The maximum parking allowed in D-2 zone is equivalent to the minimum. The proposed parking is double what is allowed in the D-2 zoning district due to a shared parking agreement with the owner of the neighboring Six69 Office building equaling to 75 parking stalls. Additional parking will have to be allowed through the Planned Development process.

Off-Street Parking Requirements (Chapter 21A.44)

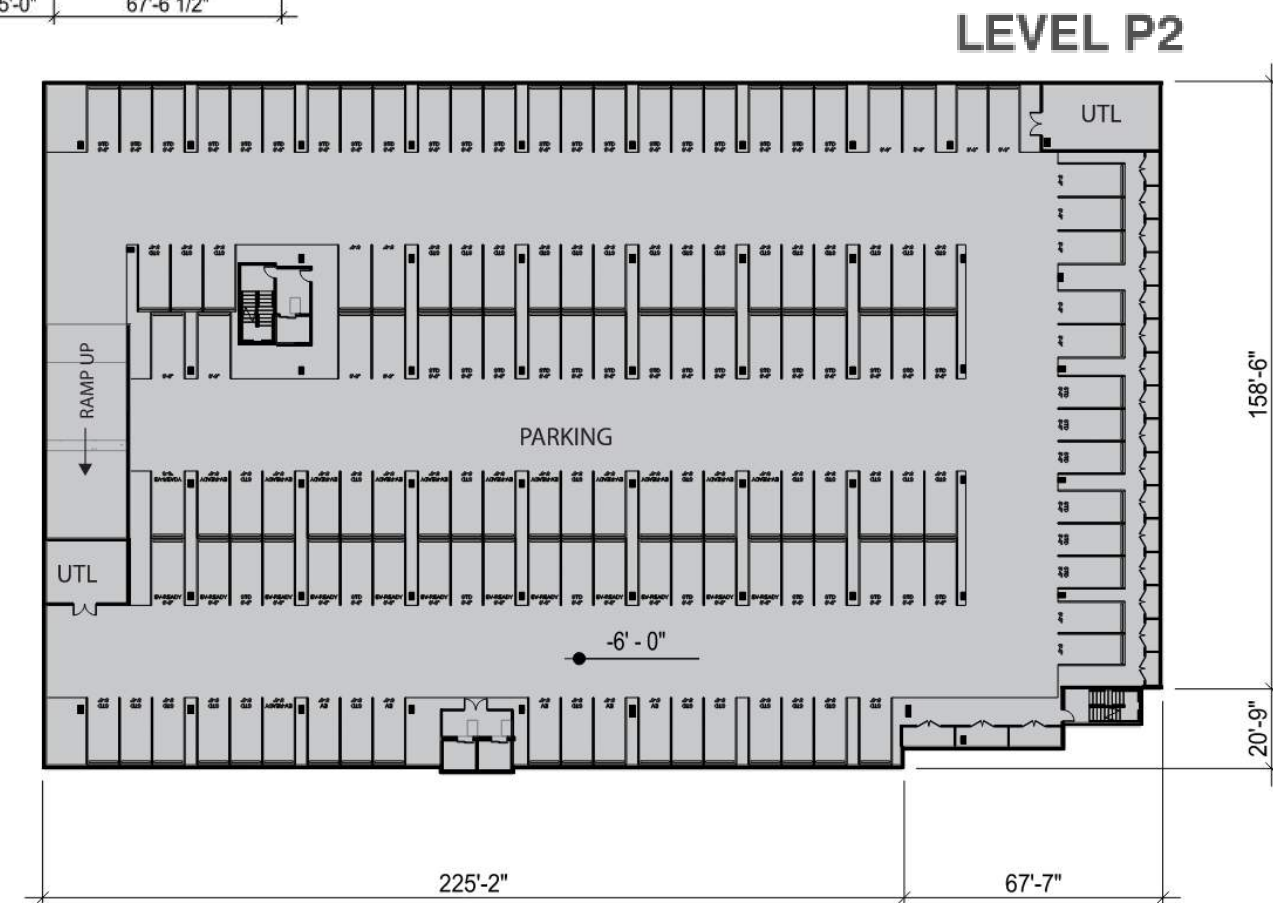
- Minimum Parking Requirements (1/2 stall per dwelling unit)
- Maximum Parking Requirements (equivalent to minimum)
- Transportation Demand Management (Section 21A.44.050(C)(3)(b)) allows for additional parking (up to double of maximum) if a parking incentive is provided.
- Required minimum total in parking lot spaces of 201 to 300 requires 7 parking spaces accessible to persons with disabilities.
- Additional parking will be requested through the Planned Development process.

Lotus Alchemy Parking

- 250 Parking Stalls (9' x 18') Inc. 75 shared parking
- 7 ADA Parking Stalls
- 1 Short Loading Area (15' x 36')



LEVEL L1/ P1



LEVEL P2



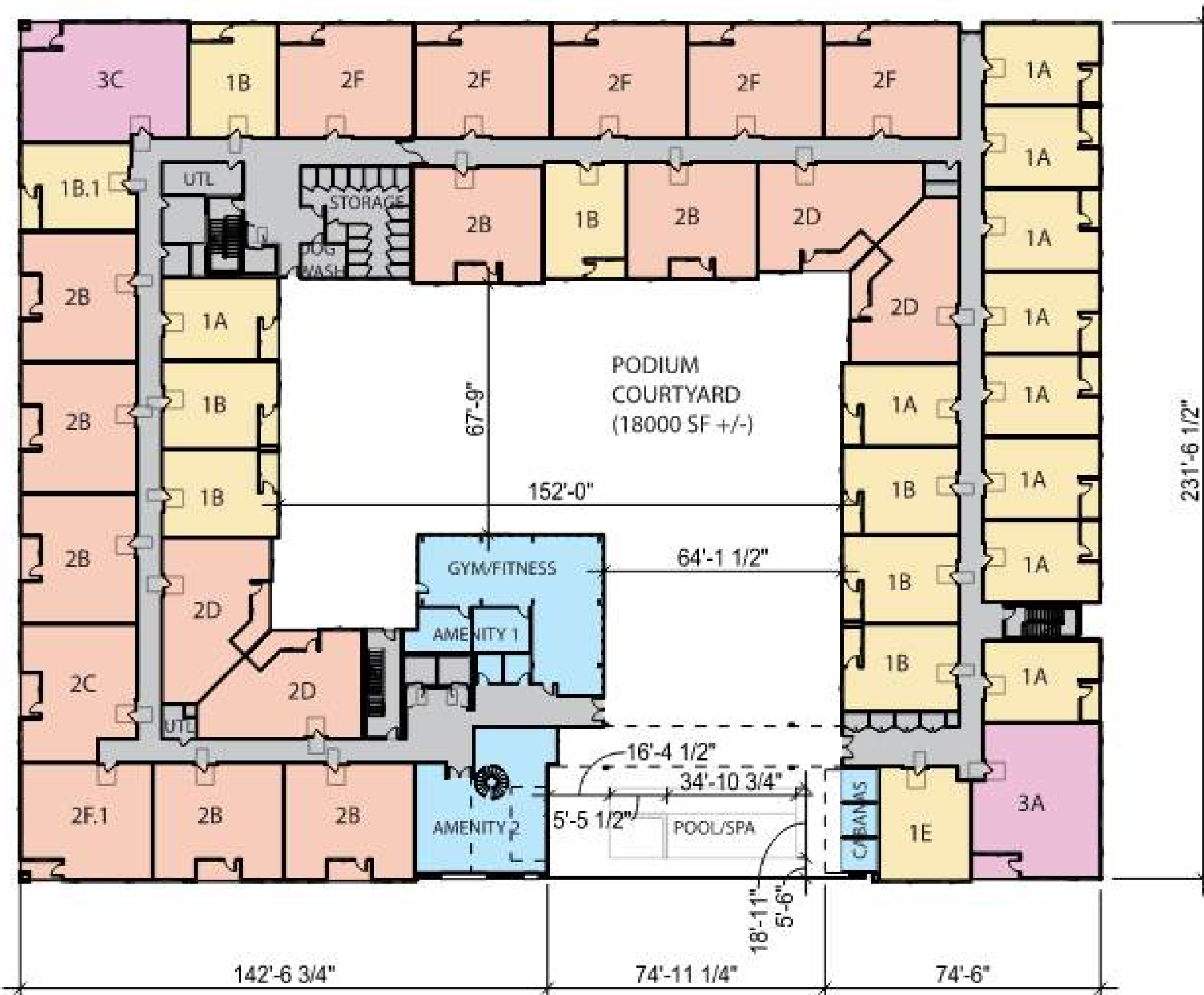
Level 1 | Floor Plan

Commercial Units

- Lobby/Leasing: 1,997 SF
- Retail 1: 4,548 SF
- Retail 2: 1,462 SF
- Retail 3: 3,736 SF

Apartment Units

- Live/Work - 1-Bedroom: 6 units



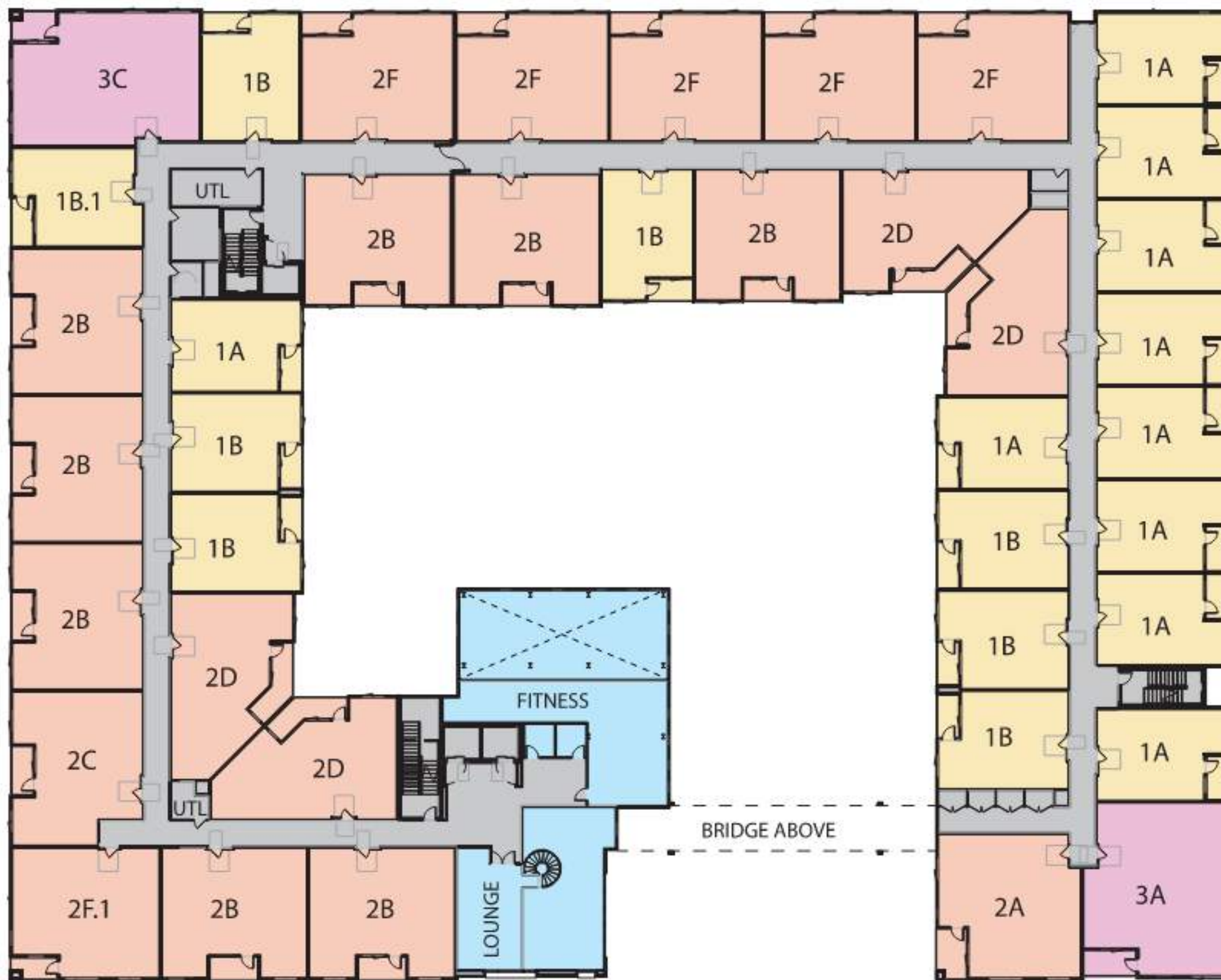
Level 2 | Floor Plan

Amenity Spaces

- Amenity 1: Gym/ Wellness – 1,817 SF
- Amenity 2: Clubhouse – 1,219 SF
- Podium Courtyard – 18,000 SF +/-
- Pool + Spa

Apartment Units

- 1-Bedroom: 19 units
- 2-Bedroom: 18 units
- 3-Bedroom: 2 units



Level 3 | Floor Plan

Apartment Units

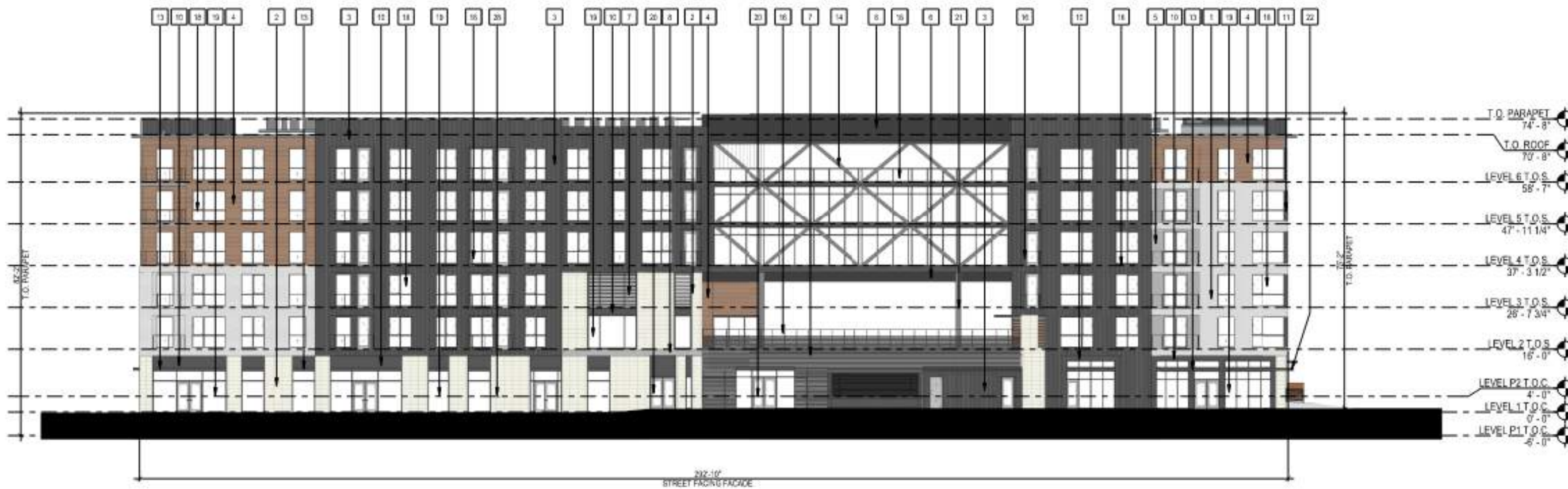
- 1-Bedroom: 18 units
- 2-Bedroom: 20 units
- 3-Bedroom: 2 units

ELEVATION LEGEND

-  BRICK - RUNNING
COLOR: LIGHT
-  CONCRETE MASONRY
COLOR: NATURAL
-  CAST-IN-PLACE CONCRETE
COLOR: NATURAL
-  COLOR 1 - STONE VENEER
COLOR: LIGHT
-  COLOR 2 - VERTICAL METAL SIDING
COLOR: DARK
-  COLOR 3 - HORIZONTAL FIBER CEMENT SIDING
COLOR: WOOD TONE
-  COLOR 4 - STUCCO
COLOR: MEDIUM
-  COLOR 5 - DOORS, STOREFRONT, WINDOW TRIM
COLOR: DARK
-  COLOR 6 - METAL AWNINGS & HANDRAILS
COLOR: DARK

KEYNOTES - ELEVATION

- 1 BRICK - RUNNING - COLOR 1 (LIGHT)
- 2 STONE VENEER - COLOR 1 (LIGHT)
- 3 VERTICAL METAL SIDING - COLOR 3 (DARK)
- 4 HORIZONTAL FIBER CEMENT SIDING - COLOR 4 (WOOD TONE)
- 5 STUCCO - COLOR 5 (MEDIUM)
- 6 FIBER CEMENT PANEL - COLOR 3 (DARK)
- 7 HORIZONTAL METAL SCREEN - COLOR 3 (DARK)
- 8 CONCRETE MASONRY - EXPOSED FINISH
- 9 CAST-IN-PLACE CONCRETE - EXPOSED FINISH
- 10 METAL TRIM - COLOR 3 (DARK)
- 11 FIBER CEMENT TRIM - COLOR 3 (DARK)
- 12 LANDSCAPE PLANTER BOX
- 13 METAL AWNING
- 14 METAL CHANNEL
- 15 METAL RAILING
- 16 GLASS RAILING
- 17 OVERHEAD GARAGE DOOR
- 18 VINYL WINDOW
- 19 STOREFRONT
- 20 BUILDING ENTRY
- 21 COLUMN
- 22 EXTERIOR MECHANICAL VENT
- 24 METER LOCATION
- 28 FDC



SOUTH ELEVATION

ELEVATION LEGEND

-  BRICK - RUNNING
COLOR: LIGHT
-  CONCRETE MASONRY
COLOR: NATURAL
-  CAST-IN-PLACE CONCRETE
COLOR: NATURAL
-  COLOR 1 - STONE VENEER
COLOR: LIGHT
-  COLOR 2 - VERTICAL METAL SIDING
COLOR: DARK
-  COLOR 3 - HORIZONTAL FIBER CEMENT SIDING
COLOR: WOOD TONE
-  COLOR 4 - STUCCO
COLOR: MEDIUM
-  COLOR 5 - DOORS, STOREFRONT, WINDOW TRIM
COLOR: DARK
-  COLOR 6 - METAL AWNINGS & HANDRAILS
COLOR: DARK

KEYNOTES - ELEVATION

- 1 BRICK - RUNNING - COLOR 1 (LIGHT)
- 2 STONE VENEER - COLOR 1 (LIGHT)
- 3 VERTICAL METAL SIDING - COLOR 3 (DARK)
- 4 HORIZONTAL FIBER CEMENT SIDING - COLOR 4 (WOOD TONE)
- 5 STUCCO - COLOR 5 (MEDIUM)
- 6 FIBER CEMENT PANEL - COLOR 3 (DARK)
- 7 HORIZONTAL METAL SCREEN - COLOR 3 (DARK)
- 8 CONCRETE MASONRY - EXPOSED FINISH
- 9 CAST-IN-PLACE CONCRETE - EXPOSED FINISH
- 10 METAL TRIM - COLOR 3 (DARK)
- 11 FIBER CEMENT TRIM - COLOR 3 (DARK)
- 12 LANDSCAPE PLANTER BOX
- 13 METAL AWNING
- 14 METAL CHANNEL
- 15 METAL RAILING
- 16 GLASS RAILING
- 17 OVERHEAD GARAGE DOOR
- 18 VINYL WINDOW
- 19 STOREFRONT
- 20 BUILDING ENTRY
- 21 COLUMN
- 22 EXTERIOR MECHANICAL VENT
- 24 METER LOCATION
- 28 FDC



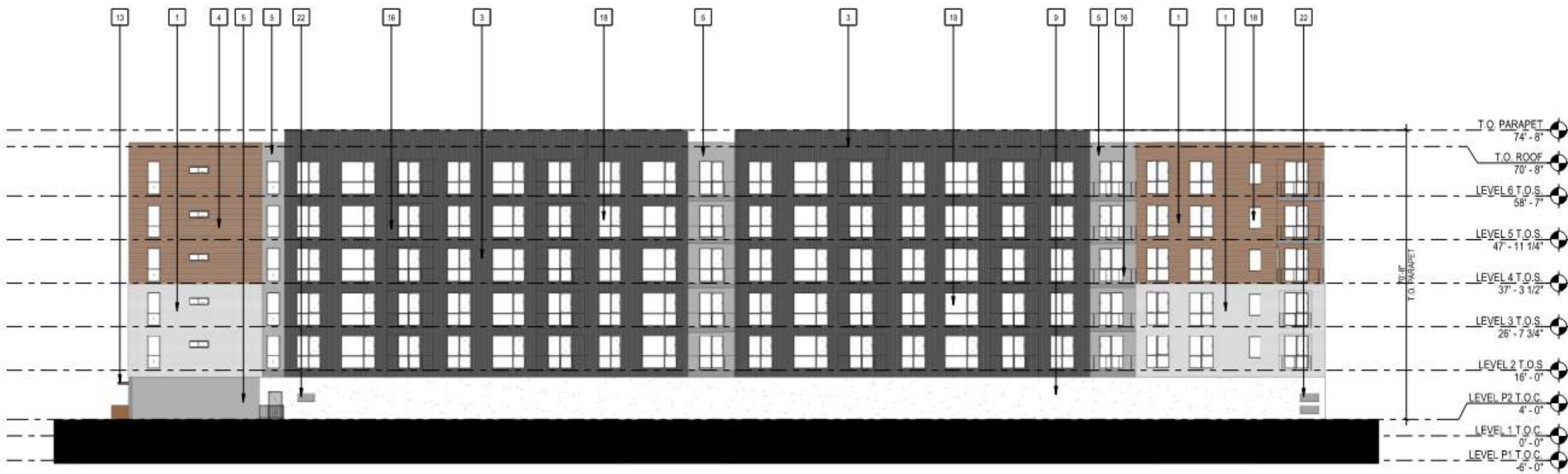
EAST ELEVATION

ELEVATION LEGEND

	BRICK - RUNNING COLOR: LIGHT
	CONCRETE MASONRY COLOR: NATURAL
	CAST-IN-PLACE CONCRETE COLOR: NATURAL
	COLOR 1 - STONE VENEER COLOR: LIGHT
	COLOR 2 - VERTICAL METAL SIDING COLOR: DARK
	COLOR 3 - HORIZONTAL FIBER CEMENT SIDING COLOR: WOOD TONE
	COLOR 4 - STUCCO COLOR: MEDIUM
	COLOR 5 - DOORS, STOREFRONT, WINDOW TRIM COLOR: DARK
	COLOR 6 - METAL AWNINGS & HANDRAILS COLOR: DARK

KEYNOTES - ELEVATION

- 1 BRICK - RUNNING - COLOR 1 (LIGHT)
- 2 STONE VENEER - COLOR 1 (LIGHT)
- 3 VERTICAL METAL SIDING - COLOR 3 (DARK)
- 4 HORIZONTAL FIBER CEMENT SIDING - COLOR 4 (WOOD TONE)
- 5 STUCCO - COLOR 5 (MEDIUM)
- 6 FIBER CEMENT PANEL - COLOR 3 (DARK)
- 7 HORIZONTAL METAL SCREEN - COLOR 3 (DARK)
- 8 CONCRETE MASONRY - EXPOSED FINISH
- 9 CAST-IN-PLACE CONCRETE - EXPOSED FINISH
- 10 METAL TRIM - COLOR 3 (DARK)
- 11 FIBER CEMENT TRIM - COLOR 3 (DARK)
- 12 LANDSCAPE PLANTER BOX
- 13 METAL AWNING
- 14 METAL CHANNEL
- 15 METAL RAILING
- 16 GLASS RAILING
- 17 OVERHEAD GARAGE DOOR
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- 21 COLUMN
- 22 EXTERIOR MECHANICAL VENT
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- 28 FDC



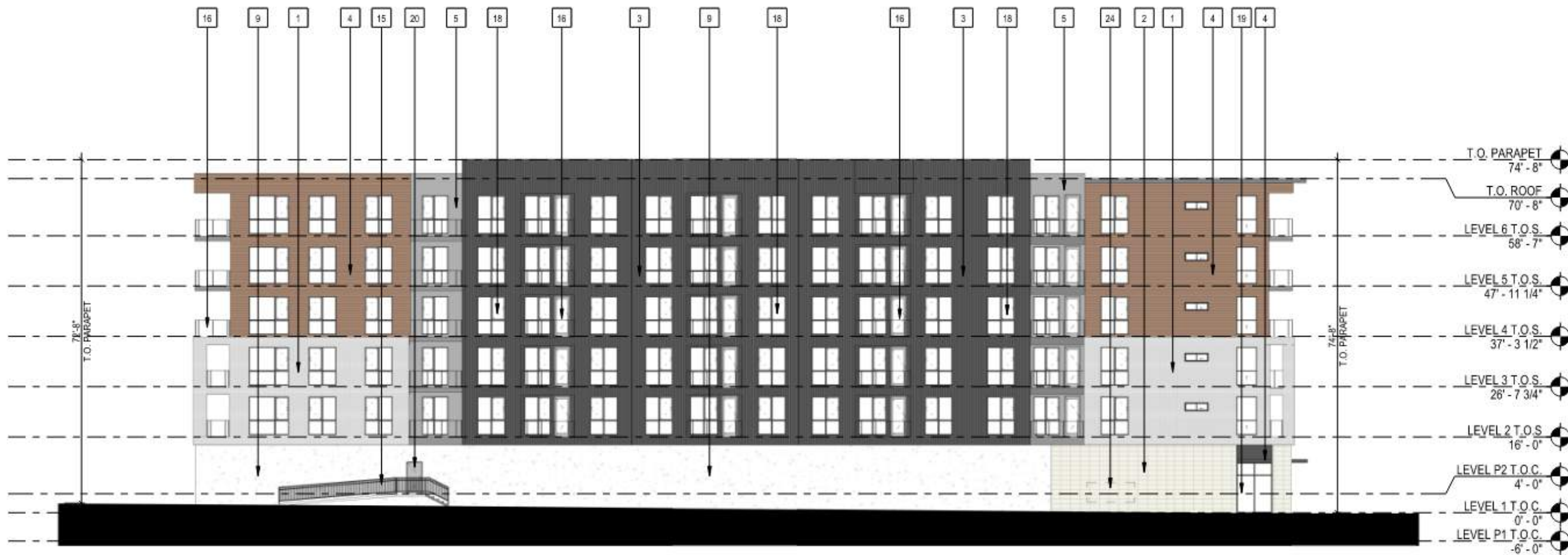
NORTH ELEVATION

ELEVATION LEGEND

-  BRICK - RUNNING
COLOR: LIGHT
-  CONCRETE MASONRY
COLOR: NATURAL
-  CAST-IN-PLACE CONCRETE
COLOR: NATURAL
-  COLOR 1 - STONE VENEER
COLOR: LIGHT
-  COLOR 2 - VERTICAL METAL SIDING
COLOR: DARK
-  COLOR 3 - HORIZONTAL FIBER CEMENT SIDING
COLOR: WOOD TONE
-  COLOR 4 - STUCCO
COLOR: MEDIUM
-  COLOR 5 - DOORS, STOREFRONT, WINDOW TRIM
COLOR: DARK
-  COLOR 6 - METAL AWNINGS & HANDRAILS
COLOR: DARK

KEYNOTES - ELEVATION

- 1 BRICK - RUNNING - COLOR 1 (LIGHT)
- 2 STONE VENEER - COLOR 1 (LIGHT)
- 3 VERTICAL METAL SIDING - COLOR 3 (DARK)
- 4 HORIZONTAL FIBER CEMENT SIDING - COLOR 4 (WOOD TONE)
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- 11 FIBER CEMENT TRIM - COLOR 3 (DARK)
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- 13 METAL AWNING
- 14 METAL CHANNEL
- 15 METAL RAILING
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- 17 OVERHEAD GARAGE DOOR
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WEST ELEVATION





Bryan Wrigley | Founder & Chief Executive Officer



Since its inception in 2007, Lotus Company has evolved into a dynamic and award-winning property venture and hospitality organization with a ground-up asset portfolio in excess of \$200M, and a current \$315M development pipeline encompassing some of the most diverse and engaging projects along the Wasatch Front.

Prior to forming Lotus Company, Bryan held executive management, project management, partnership and acquisition advisory roles in multiple real estate organizations from a NYSE-traded real estate investment trust, to a regional investment company and a New York City boutique developer. Bryan has acted as principal or in a principal-advisory role in property

acquisitions, dispositions and financing valued at more than \$700M over the course of his 22-year career in real estate development and investment.

Bryan holds a Master's Degree with an emphasis in Real Estate Development and Finance from Columbia University. Additionally, Bryan earned a Bachelor's Degree from the University of Utah. In 2014, Bryan was recognized by Utah Business Magazine as one of Utah's top business executives under the age of 40.

Bryan enjoys sharing his passion for travel with his three beautiful children whenever life affords him the opportunity.

Joe Torman | President of Construction and Development



Joining Lotus Company in 2018, Joe brings with him over 20 years of experience in the construction and development industries. After graduating with a degree in Construction Management from Brigham Young University, Joe began his career with Kier Construction where he managed pre-construction services for multi-family, industrial and commercial projects ranging in value from \$5M to over \$50M.

Following his successful 11-year tenure with Kier, Joe joined Parleys Partners as Director of Construction, where he oversaw multiple \$15M+ multi-phase apartment projects as a partner. In alignment with Lotus' goal of sustainable and intentional development, Joe is LEED accredited and has successfully managed the

implementation of Enterprise Green Communities and Energy Star Certification on over 1,200 dwelling units.

Joe and his family enjoy the natural splendor of their home state whenever possible; skiing, snowboarding and canyoneering along the Wasatch Front.



LOTUS COMPANY

34 South 600 East
Salt Lake City, Utah 84102
(801) 834-0456
LOTUSCOMPANY.COM



LOTUS™



- 1 PROJECT DESCRIPTION
- 2 PLANNED DEVELOPMENT ANALYSIS
- 3 CITY REVIEW COMMENTS



Project Vision

Lotus Alchemy is a 214 Unit rental mixed-use development, located in downtown Salt Lake City within the D-2 Zoning District. The Project is located on 700 South between West Temple and Main Street. The site consists of three parcels totaling 1.84 acres (80,311 s.f.). The location sits in the heart of a burgeoning downtown district, with easy access to public transport. The Development will feature rich common area amenities catered towards an urban resident.

The project will feature 5-levels over a 2-level parking structure with 256 stalls. There will be a variety of floor plan options ranging from 1 to 3-bedroom units averaging 903 SF/Unit. The ground level will feature 3 commercial spaces totaling 9,746 s.f., and a lobby/leasing office of 1,997 s.f. The apartment component of the project will be a 5-level Type 3a wood-framed structure over a 2-levels of concrete/masonry podium Type 1a parking structure.

The development will house ample amenities such as a large amenity deck on the 2nd level of the building that will feature a pool, a 2-level fitness facility, and a 2-level luxury clubhouse. Additionally, the project will offer a spacious courtyard amenity area which includes pet facilities, game areas, and a walk path/track feature. With an iconic luxury skybridge hovering over a second level amenity courtyard that is visible from the street, the Lotus Alchemy will compliment the neighborhood and elevate the downtown Salt Lake City skyline.

The Lotus Alchemy project will be an iconic architectural marvel. At the Lotus Company we achieve our project goals with the vision to **Build** With Integrity, **Create** With Intention, and **Enhance** The Cities We Call Home.

Project Goals

Below are the project goals:

- Design an innovative mixed-use multifamily development to compliment the downtown masterplan and enhance the quality of living in the D-2 zoning district.
- Create a pedestrian friendly environment by offering a privately-owned public midblock walkway to influence engagement of neighborhood amenities.
- Provide amenities both residents and public pedestrians will enjoy. The project will feature 2 retail spaces, a restaurant space, and 6 Live/Work units.

Planned Development Highlights

The Planned Development Application is for the modification of standards:

- The D-2 zoning district has a minimum/maximum requirement of ½ space per dwelling unit for residential developments. The proposed Lotus Alchemy parking exceeds what is allowed in the D-2 zoning district due to a shared parking agreement with the owner of the neighboring Six69 Office building equaling to 75 parking stalls. By offering additional parking plus a midblock walkway to residents and the local retail tenants will enhance the Lotus Alchemy's accessibility and mobility to the neighborhood amenities.
- The Lotus Alchemy development is determined to deliver all methods of transportation to align with the Downtown Central 9th masterplan vision of transit-oriented developments. The project will support the emphasis of transit-oriented developments by providing convenient access to the nearby public transit, the TRAX station on Main Street, participation in a bicycle sharing program, and a midblock walkway.

ZONING CODES

DISTRICT: D-2 DOWNTOWN SUPPORT DISTRICT

ALLOWED USES: COMMERCIAL, OFFICE, RESIDENTIAL
 MAXIMUM HEIGHT: 120'

SETBACKS:
 FRONT YARD 0'
 SIDE INTERIOR 0'
 REAR 0'

MID-BLOCK WALKWAY: 10' WIDE WITH A MINIMUM 6' WIDE UNOBSTRUCTED PATH

PARKING:
 RESIDENTIAL 1/2 PER DU
 NONRESIDENTIAL 0 SPACES UP TO 25000 SF USABLE FLOOR AREA

STREET FACING BUILDING FACADE:

GROUND FLOOR USE: 75% MINIMUM
 GROUND FLOOR MATERIALS: 80% DURABLE MATERIALS
 UPPER FLOOR MATERIALS: 50% DURABLE MATERIALS
 GLAZING: GROUND FLOOR 40% MINIMUM
 UPPER FLOOR 25% MINIMUM
 BLANK WALL MAXIMUM 15'
 STREET FACING FACADE: 200' MAXIMUM LENGTH

GROSS SITE AREA	1.77	AC	PARKING SP PROVIDED	250	SP
DWELLING UNITS	214	DU	PARKING RATIO	1.17	SP / DU
DENSITY	121	DWAC			
CONSTRUCTION TYPE	5 OVER 1	III A / IA			

TYPE	SF	#	AVG MIX	MIX	LSF	AVG UNIT SF
1A	653	55	100	47%	35,915	902.8
1B	701	28			19,628	
1B-A	701	2			1,402	
1B.1	677	5			3,385	
1C-LW	723	5			3,615	
1C-LW-A	723	1			723	
1D	767	3			2,301	
1E	772	1	772			
2A	1,120	4	101	47%	4,480	
2B	1,065	30			41,535	
2C	1,063	5			5,315	
2D	1,030	18			19,570	
2D-A	1,030	1			1,030	
2E	1,095	3			3,285	
2F	1,088	25			27,200	
2F.1	1,079	5	5,395			
3A	1,339	5	13	6%	6,695	
3B	1,341	3			4,023	
3C	1,385	4			5,540	
3C-A	1,385	1			1,385	
TOTAL		214		100%	193,194	

AREA	SF	TOTAL
PODIUM FLOOR AMENITY 1	1,817	3,036
PODIUM FLOOR AMENITY 2	1,219	
RETAIL 1	4,548	9,748
RETAIL 2	1,462	
RETAIL 3	3,736	
LOBBY/ LEASING	1,997	1,997

PARKING PROVIDED

PARKING SUMMARY	DU	REQ SP / DU	TOTAL REQ	TOTAL PROVIDED
P1	214	0.5	107	140
P2				110
				250

SEC.	DESCRIPTION	RESPONSE
A.	<p>Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.</p>	<p>Compliant: The Lotus Alchemy project will be requesting a modification to the Salt Lake City zoning ordinance through the planned development process for additional parking (21A.44). The project site is located in the D-2 district which has a parking requirement of 1/2 space per dwelling unit for residential developments. Per the code, the required parking allowable is 107 stalls for 214 dwelling units. The Lotus Alchemy proposed parking is currently 250 stalls including 7 ADA stalls and 1 Short Loading Area for a 1.20 stall per unit parking ratio. Additionally, 75 of the 250 parking stalls is dedicated shared parking established through a parking agreement with the owners of the neighboring Six69 Office building, which reduces the overall parking ratio to 0.82 stalls per dwelling unit. By offering additional parking plus a midblock walkway to residents and the local retail tenants will enhance the Lotus Alchemy's accessibility and mobility to the neighborhood amenities. The Lotus Alchemy development is determined to deliver all methods of transportation to align with the Downtown Central 9th masterplan vision of transit-oriented developments.</p>
B.	<p>Master Plan Compatibility: The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.</p>	<p>Compliant: The Lotus Alchemy will contribute to the Central 9th Districts vision of providing mixed-use mid-rise housing with higher density near main streets. The project will support the emphasis of transit-oriented developments by providing convenient access to the nearby TRAX station on Main Street and public transit. The Lotus Alchemy is thoughtfully designed to create a pedestrian friendly environment by offering ground level retail, restaurant space, and live/work units. The intended use of the Lotus Alchemy development is to influence and encourage a cohesiveness throughout the Central 9th District.</p>
C.	<p>Design And Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:</p>	<p>Compliant: Lotus Alchemy will compliment the existing neighboring buildings through an emphasis on building orientation, scale, and design. The development is designed to improve the neighborhood appearance and attract pedestrian walkability.</p>
C.1.	<p>Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;</p>	<p>Compliant: The Lotus Alchemy structure will be six stories above grade. Nearby developments such as the Seven O2 Main apartments is five stories above grade, and the 650 Main office building is ten stories in height, thus establishing a vertical emphasis in the neighborhood. The Lotus Alchemy mid-rise building will be an excellent addition by providing an efficient amount of density to accommodate the Downtown-Central 9th masterplan vision.</p>
C.2.	<p>Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;</p>	<p>Compliant: The Lotus Alchemy will help improve the character of the neighborhood by providing a balanced solid-to-void ratio. The neighborhoods solid-to-void ratio varies with the difference uses. The 650 Main office building is primarily all glass windows and the Six69 Office building directly west of the project site is mostly concrete with some windows facing West Temple Street. The development will utilize design materials such as brick veneer, architectural stone veneer, hardie board siding, and metal to enhance plus define specific sections of the structure. The materials are designed to create variety and generate interest in the facades.</p>
C.3.	<p>Whether building setbacks along the perimeter of the development:</p>	
C.3.a.	<p>Maintain the visual character of the neighborhood or the character described in the applicable Master Plan.</p>	<p>Compliant: The Lotus Alchemy is separated into several different building massing changes. The two primary masses that compose the north and south towers of the structure above the podium level are connected via the elegant skybridge structure. This dynamic massing break will provide interest, relief, and a significant aesthetic appeal along the 700 South frontage.</p>
C.3.b.	<p>Provide sufficient space for private amenities.</p>	<p>Compliant: The development will include ample amenities such as a large amenity deck on the 2nd level of the building that will feature a pool, a 2-level fitness facility, and a 2-level luxury clubhouse. Additionally, the project will offer a spacious courtyard amenity area which includes pet facilities, game areas, and a walk path/track feature. With an iconic luxury skybridge hovering over a second level amenity courtyard that is visible from the street, the Lotus Alchemy will compliment the D-2 Zoning District and elevate the amenity standards in downtown Salt Lake City.</p>

SEC.	DESCRIPTION	RESPONSE
C.3.c.	Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.	Compliant: The development is primarily oriented to the sidewalk with a landscape strip buffering between the sidewalk and 700 South Street. The storefronts that house the retail, restaurant and lobby/leasing are oriented toward the sidewalk along 700 South St. The primary vehicle and pedestrian access will be located on the primary facade facing 700 South Street. The structured parking is located within the interior of the podium structure.
C.3.d.	Provide adequate sight lines to streets, driveways and sidewalks.	Compliant: The midblock walkway, 700 South Street drive access way, and sidewalks will be clearly defined with adequate sight lines.
C.3.e.	Provide sufficient space for maintenance.	Compliant: The development will include sufficient maintenance storage located on the parking level within the interior of the podium structure.
C.4.	Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;	Compliant: The ground floor facades will incorporate a high level of glazing for transparency along the 700 South Street frontage. An initiative of the project is to attract both residents and public pedestrians to enjoy the retail and restaurant spaces offered at the ground level of Lotus Alchemy. The transparency on the ground level will compliment the 2nd level with the glass railing bordering the amenity pool deck overlooking 700 South Street. The Live/Work units will include large operable glass/aluminum garage doors visible from the midblock walkway to encourage pedestrian interaction with small business owners.
C.5.	Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;	Compliant: Pedestrian comfort and safety is a project priority. The development will provide an efficient amount of lighting with an emphasis on entrances, the parking garage, corridors, amenity spaces, and the midblock walkway. The Lotus Alchemy electrical engineer will diligently work to generate a comprehensive lighting plan, which is designed for low-level illumination and minimal glare. Downward lighting will be provided along the 700 South Street façade.
C.6.	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	Compliant: All of the project's waste and recycling containers, mechanical equipment, storage areas, and loading docks will be fully screened from public view and will incorporate compatible building materials.
C.7.	Whether parking areas are appropriately buffered from adjacent uses.	Compliant: The parking areas will be appropriately setback from active walkways and entrances providing a safe pedestrian experience.
D.	Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:	Compliant: The Lotus Alchemy will include landscaping along the 700 South Street façade, the midblock walkway, and the interior courtyard located on the 2nd level of the building. The landscape will be designed to promote a healthier lifestyle to enhance the experience for both the residents and public can enjoy.
D.1.	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	Compliant: The Lotus Alchemy has designed the landscape to include an estimated 11 new trees planted every 30 ft. along the 700 South Street frontage. The existing project site has zero trees along the 700 South Street.
D.2.	Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;	Compliant: The existing site has minimal landscaping. The Lotus Alchemy front and corner side yard will have landscape abutting the sidewalk along 700 South Street. Additionally, the project will have landscape, benches, and lighting along the mid-block walkway to provide a inspiring and safe pedestrian experience.
D.3.	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	Compliant: Please See Response Section D.

SEC.	DESCRIPTION	RESPONSE
D.4.	Whether proposed landscaping is appropriate for the scale of the development.	Compliant: The Lotus Alchemy will incorporate a landscape design to compliment the scale of both the development and the neighboring properties.
E.	<p>Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:</p> <p>E.1. Whether drive access to local streets will negatively impact the safety, purpose and character of the street;</p> <p>E.2. Whether the site design considers safe circulation for a range of transportation options including:</p> <p>E.2.a. Safe and accommodating pedestrian environment and pedestrian oriented design;</p> <p>E.2.b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and</p> <p>E.2.c. Minimizing conflicts between different transportation modes;</p> <p>E.3. Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;</p> <p>E.4. Whether the proposed design provides adequate emergency vehicle access; and</p> <p>E.5. Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.</p>	<p>Compliant: The Lotus Alchemy will support the emphasis of transit-oriented developments by providing convenient access to the nearby TRAX station on Main Street and public transit. Pedestrian comfort and safety is a project priority. The development will include an efficient amount of lighting, signage, and landscaping to all public sidewalks and entrances to support Citywide transportation goals.</p> <p>Compliant: Lotus Alchemy will provide a single vehicular access point from 700 South Street, which will be setback from the active public sidewalks creating a safe pedestrian experience.</p> <p>Compliant: The Lotus Alchemy will support the emphasis of transit-oriented developments by providing convenient access to nearby TRAX station, public transit, public sidewalks and a privately-owned midblock walkway.</p> <p>Compliant: The Lotus Alchemy will establish a pedestrian friendly environment by offering a privately-owned public midblock walkway to influence engagement of neighborhood amenities. Additionally, the development will incorporate adequate lighting, signage, and landscaping to promote a safe and comfortable environment for pedestrians.</p> <p>Compliant: Since the Lotus Alchemy is conveniently located downtown, the development will pursue the participation of an approved bicycle sharing program located onsite to promote transit to nearby neighborhood amenities.</p> <p>Compliant: The Lotus Alchemy will provide a cohesiveness to the different transportation methods and will "not" disrupt the desired development patterns of the neighborhood.</p> <p>Compliant: With the addition of the privately-owned public midblock walkway the Lotus Alchemy will influence public engagement of neighborhood amenities.</p> <p>Compliant: Per the Lotus Alchemy DRT Fire Review Comments dated 3/29/2022, the development will provide a road width of not less than 26 feet.</p> <p>Compliant: Per the Schedule of Off Street Loading Requirement (21A.44.080), the multi-family usable floor area 100,000-200,000 SF and each additional 200,000 SF requires 1-Short Loading Area. The Lotus Alchemy has a total apartment 193,194 LSF and total retail/restaurant 9,746 SF, so the development includes 1-Short Loading Area within the parking structure.</p>
F.	Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.	Compliant: Currently the property is being occupied by a auto collision repair shop and a auto mechanic shop. The proposed Lotus Alchemy will compliment the neighboring buildings by offering convenient housing within walkable distances to neighborhood amenities. In addition, the project will offer retail space for potential local shops and a restaurant space for both residents and the public to enjoy.
G.	Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area. (Ord. 8-18, 2018)	Compliant: The Lotus Alchemy will comply with each provided utility service plan to ensure the development will not have a detrimental effect on the surrounding area.

SEC.	DESCRIPTION	RESPONSE
	<p>A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development incorporates special development characteristics that help to achieve City goals identified in adopted Master Plans and that provide an overall benefit to the community as determined by the planned development objectives. A planned development will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments. The City seeks to achieve at least one or any combination of the following objectives through the planned development process. Each objective includes strategies that are intended to be used to determine if an objective has been accomplished through a specific proposal:</p>	<p>Compliant: The Lotus Alchemy will be an innovative mixed-use multifamily development intended to compliment the downtown master plan and elevate the quality of living in the D-2 zoning district. The development is thoughtfully design to encompass the efficient use of land and resources to promote the Salt Lake City standards for planned development. The Lotus Alchemy will contribute to the Central 9th Neighborhood vision of providing mixed-use mid-rise housing with higher density near main streets. The project will support the emphasis of transit-oriented developments by providing convenient access to the nearby TRAX station on Main Street and public transit. The Lotus Alchemy is designed to create a pedestrian friendly environment by offering ground level retail, restaurant space, and live/work units. The intended use of the Lotus Alchemy development is to influence and encourage a cohesiveness throughout the Central 9th District.</p>
<p>D. D.1.</p>	<p>Mobility: Enhances accessibility and mobility: Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network.</p>	<p>Compliant: Please See Response Section D.1. Compliant: The Lotus Alchemy proposed midblock walkway will connect to the 650 Main Office building and will continue to run south along the far east property boundary line to 700 South Street. The continuation of the 650 Main Office midblock walkway will define the identity of the shared midblock location and provide cohesiveness within the downtown masterplan. The development strategically designed the location of the midblock to allow public access to local restaurants, retail shops, and workplaces. The Lotus Alchemy project recognizes the midblock walkway as a valuable neighborhood amenity, which will provide a vibrant pedestrian experience for both the public and residents to enjoy.</p>
<p>F. F.1.</p>	<p>Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal: A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features. (Ord. 8-18, 2018)</p>	<p>Compliant: Please See Response Section F.1. Compliant: The Lotus Alchemy will compliment the existing neighboring buildings through an emphasis on building orientation, scale, and design. The development is designed to improve the neighborhood appearance and attract pedestrian walkability. The Lotus Alchemy structure will be six stories above grade. Nearby developments such as the Seven O2 Main apartments is five stories above grade, and the 650 Main office building is ten stories in height, thus establishing a vertical emphasis in the neighborhood. The Lotus Alchemy mid-rise building will be an excellent addition by providing an efficient amount of density to accommodate the Downtown-Central 9th masterplan vision.</p>

SEC.	DESCRIPTION	RESPONSE
C.	Transportation Demand Management Parking Incentives:	
C.1.	Purpose: The following parking incentives are intended to encourage the use of transportation demand management strategies not regulated elsewhere in this subsection. These additional strategies are available to applicants who want to modify the amount of off street parking required by either decreasing the number of spaces below the minimum requirement or increasing the number of spaces beyond the maximum requirement.	<p>Compliant: The Lotus Alchemy project will be requesting a modification to the Salt Lake City zoning ordinance through the planned development process for additional parking. The Lotus Alchemy proposed parking is currently 250 stalls including 7 ADA stalls and 1 Short Loading Area for a 1.17 stall per unit parking ratio. Additionally, 75 of the 250 parking stalls is dedicated shared parking established through a parking agreement with the owners of the neighboring Six69 Office building, which reduces the overall parking ratio to 0.82 stalls per dwelling unit.</p>
C.2.	Applicability: The regulations of this subsection shall only apply to applicants intending to provide transportation demand management elements beyond the required strategies in exchange for modification to the number of required parking spaces. These incentives are available to all new residential and non-residential uses requiring at least five (5) parking spaces according to section 21A.44.030, table 21A.44.030 of this chapter.	<p>Compliant: The Lotus Alchemy will provide transportation demand management elements beyond the required strategies.</p>
C.3.b	Increase Of The Maximum Number Of Allowable Parking Spaces: The minimum number of off street parking spaces, as determined by subsection 21A.44.030G of this chapter, can be increased to double the minimum requirement under section 21A.44.030, table 21A.44.030 and "Table Of District Specific Minimum Off Street Parking Requirements", of this chapter provided the applicant fulfills at least one (1) of the major transportation demand management strategies and one (1) of the minor transportation demand management strategies listed in this subsection.	<p>Compliant: The Lotus Alchemy will comply with the Major transportation demand management strategy: C.4.a(6) An on premises gym or workout facility for residents or employees with at least four hundred (400) square feet of space dedicated to workout equipment. Minor transportation demand management strategies: C.4.b.(3) Participation in, investment in or sponsorship of an approved bicycle sharing program.</p>
C.4.	Eligible Transportation Demand Management Strategies: The strategies are available for use as part of the parking modification incentive process. Strategies not listed here, but demonstrated to meet the intent of this section, may be approved by the Planning Director.	<p>Compliant: Please See Below Responses.</p>
C.4.a.	Major transportation demand management strategies:	
C.4.a.(6)	An on premises gym or workout facility for residents or employees with at least four hundred (400) square feet of space dedicated to workout equipment.	<p>Compliant: Included in the Lotus Alchemy amenity package is a 2-Level 1,817 SF Fitness Center which includes a Yoga/Wellness Center. The development amenities are designed to promote a healthy lifestyle for residents to enjoy.</p>
C.4.b.	Minor transportation demand management strategies:	
C.4.b.(3)	Participation in, investment in or sponsorship of an approved bicycle sharing program.	<p>Compliant: The Lotus Alchemy will pursue the participation of an approved bicycle sharing program.</p>

No.	BUILDING COMMENTS	RESPONSE
1.	Building Department has no concerns with this plan as submitted here.	Not Required
ENGINEERING COMMENTS by Scott Weiler		RESPONSE
1.	Work in the public way requires a public way permit and must follow APWA Standards.	APWA standards shown on the Civil Site Plans
FIRE COMMENTS by Douglas Bateman		RESPONSE
1.	Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into; and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Applicant will need to submit for an alternate means and methods due to exceeding this distance and interior courtyard for additional fire protection measures.	<p>An alternative Means & Method (AM&M) is being pursued. The building will be equipped throughout with fire sprinklers and smoke detection will be utilized in common areas and corridors as well.</p>
2.	Fire apparatus access roads shall have an unobstructed width of not less than 20 feet for buildings 30-feet or less, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Buildings greater than 30 feet shall have a road width of not less than 26 feet. Fire apparatus access roads with fire hydrants on them shall be 26-feet in width; at a minimum of 20-feet to each side of the hydrant in the direction of road travel.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
3.	Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (80,000 pounds) and shall be surfaced to provide all-weather driving capabilities.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
4.	The required turning radius of a fire apparatus access road shall be the following: Inside radius is 20 feet, outside is 45-feet	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
5.	Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. Turn areas for hammerhead are increased to 80-feet (160-feet total) to accommodate SLC Fire Department apparatus. See appendix D for approved turnarounds.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
6.	Buildings or portions of buildings constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Hydrants spaced not exceeding IFC appendix C.	<p>An existing hydrant can be found on 700 S just west of the proposed building. The proposed development will be equipped with a fire suppression system.</p>
7.	Fire department connections shall be located on the street address side of buildings, fully visible and recognizable from the street, and have a fire hydrant within 100-feet on the same side of the street.	<p>Fire Riser Room is located along 700 S Street.</p>
8.	Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
9.	Aerial fire apparatus access roads shall be provided where the highest roof surface exceeds 30 feet measured from grade plane. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Some exceptions have been added by SLC; those can be obtained from this office.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
10.	Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Aerial access routes shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>
11.	Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.	<p>An alternative Means & Method (AM&M) is being pursued. (Please see Response #1)</p>

TRANSPORTATION COMMENTS by Michael Barry

1. I have no comments on the zoning modifications. The applicant should provide parking calculations showing minimum parking requirements for passenger vehicles (21A.44.030), ADA (21A.44.020), electric vehicles (21A.44.050), and bicycle parking (21A.44.050) as well as the maximum parking allowance (21A.44.030). Electric vehicle parking spaces were not shown on the plan and the stalls should be designated for electric vehicles only. The applicant must show the location of the bicycle parking and provide a detail of the bike racks. The parking layout must meet dimensional standards of 21A.44.020. The applicant must show the ten-foot sight distance triangles at the egress of the parking structure. Please let me know if you have any questions.

RESPONSE

Parking calculations have been provided in the Architectural Plans.

POLICE COMMENTS by LaMar Ewell

1. Police Department has no concerns with this plan as submitted here.

RESPONSE

Not Required

PUBLIC UTILITIES COMMENTS by Jason Draper

1. No utility objection to the increased height or increased parking.
2. The façade has some potential concerns with not having room for meters or utility vaults, grease interceptors, etc. Utility recommendations a break in the façade with set back to allow room for utilities.
3. Additionally, the site design does not provide an area for stormwater retention and Green Infrastructure / LID. Breaking up the building mass may make room for this requirement.

RESPONSE

Meters locations called out on plans. Vaults grease interceptors will be located below the building with access from the garage/commercial spaces.

Stormwater design is included in the Civil Site Plans.

URBAN FORESTRY COMMENTS by Rick Nelson

1. Urban Forestry has no concerns with this plan as submitted here.

RESPONSE

Not Required

ZONING COMMENTS by Krissy Gilmore

1. Primary concern is with the parking being a central feature of the façade. I think the design needs to be adjusted to provide better hierarchy of pedestrian vs single-occupancy vehicles. Essentially the parking garage entrance should be better camouflaged.
2. Site plan/Plan set: Overall, the site plan and elevations are missing a lot of labels. I know you have the information in your narrative, but it should also be on the plan set.
 - A lot consolidation is required
 - Add a label that shows at least 6’ of unobstructed walkway on mid-block walkway.
 - Label on the site plan the total depth of the active ground floor use (25’ is required).
 - I see that a new fence is proposed. Please provided details (height, material, etc.)
 - Design Standards:
 - o B. Building Materials: Label percentage of each material on elevation drawings.
 - o C. Ground Floor/Upper Floor Glass: Add the ground level glass percentage (between 3-8 feet) and percentage for upper floors.
 - o D. Building Entrances: The site plan should show the distance between each building entrance to confirm the standard is met.
 - o F. Street Facing Façade: Please clearly label the length of the street facing façade on the site plan.
3. Parking: I discussed this with the Zoning Administrator and we determined that because the language of the code is not clear, you can refer to either of the two minimum tables when determining the maximum parking in the D-2. If you refer to the district-specific minimum table, then yes, you will need to make the modification request. Please also calculate the required parking by using the general parking table (https://export.amlegal.com/media/c5473f6d38e6ef223a7fd852610f05af97fec1d/DAT_AOBJECTS/0-0-0-9780.pdf) too. I suspect that you might be okay when this calculation is done, but I’m not sure unless I see the parking requirements broken down by unit type. Please let me know if you need clarification.
4. I’m having trouble locating the transformers/utility equipment for the development. Please indicate where those are located.

RESPONSE

The garage entry has been modified to reduce the emphasis on the garage and make the streetscape more pedestrian oriented. Site and courtyard landscaping has been increased and modified to minimize the focus on the garage entry.

Labels have been added to the Civil Site Plans.

Lot Consolidation application has been submitted on July 11, 2022.

Labels have been added to the Civil Site Plans.

Active use dimension shown on the Civil Site Plans.

The proposed fence will be approximately 8ft. tall with metal 4 x 4 post every 8ft. on center. The fence infill will be a slatted wood with stained 6" cedar slat every 12" on center.

Material percentages added to the Architectural Plans.

Glazing percentage added to the Architectural Plans.

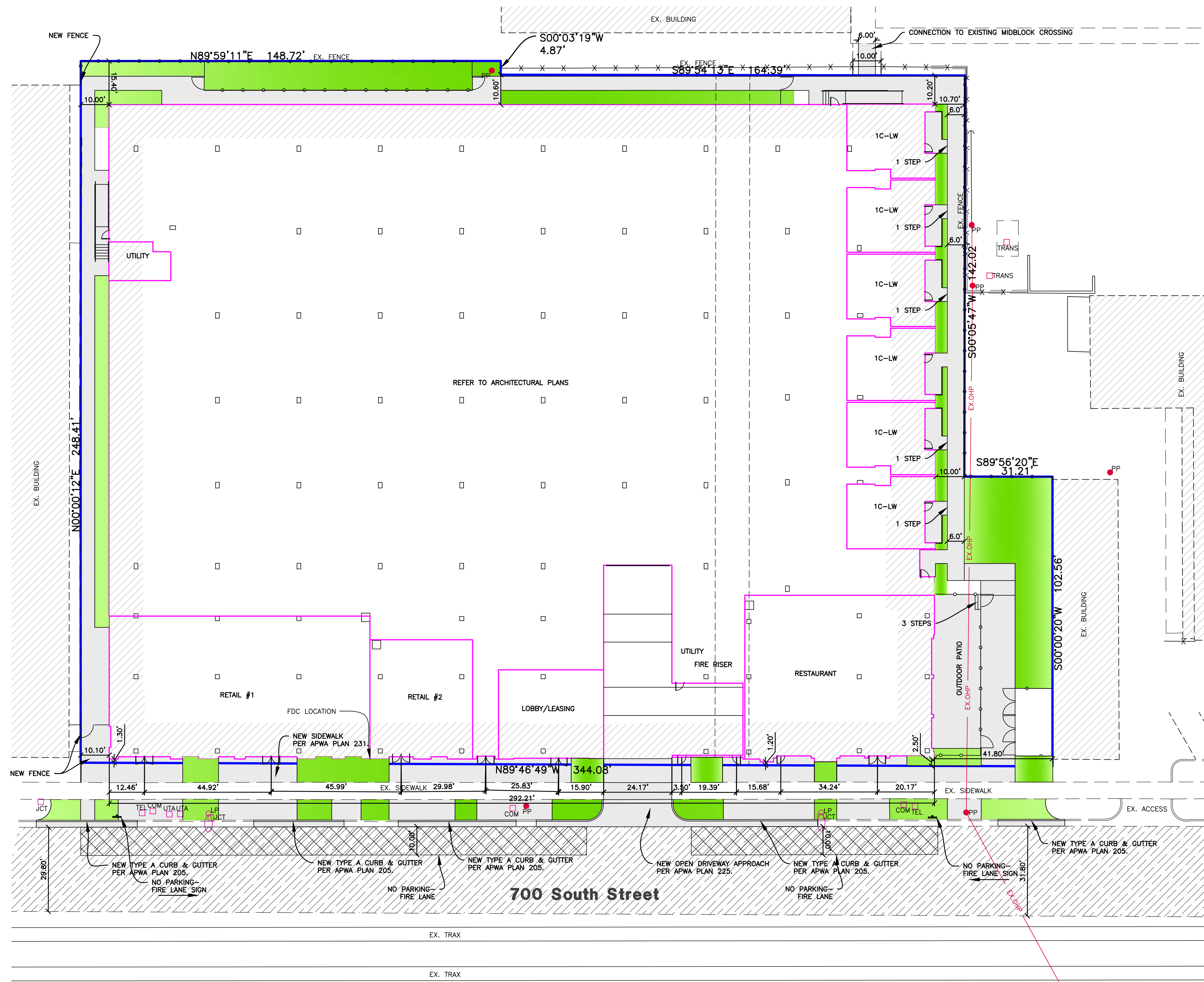
Dimensions have been added to the Civil Site Plans.

Label added on the Civil Site Plans.

A parking increase for Min & Max of 1/2 Space per unit is being requested. 1/2 per unit parking space calculations are shown on the Architectural Plans.

See utility sheet on the Civil Site Plans.

ATTACHMENT C: Plan Set



NOTES:
 1. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS, AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.

- Legend**
- = EXISTING ASPHALT PAVEMENT
 - = PROPOSED ASPHALT PAVEMENT
 - = PROPOSED CONCRETE
 - = PROPOSED GRAVEL

Notice:
 THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.

Elevation Datum:
 Site Benchmark:
 Found Brass Cap Monument located in the intersection of 700 South and Main.
 Elevation = 4238.775', NAVD per GPS Measurements.



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RA

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
	08-02-22	RH City Comments
	08-15-22	RH City Comments

Alchemy by Lotus
700 South
 SALT LAKE CITY, SALT LAKE COUNTY, UTAH

Proposed Site Plan



Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: R. HANSEN
 Begin Date: MARCH 7, 2022
 Name: LOTUS ALCHEMY
 Number: 7323-09



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XXXXX
XXXXX
CONTACT:
JOE TORMAN
joe@lotuscompany.com

LOTUS ALCHEMY
54, 28, 18 W 700 S,
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL
08.03.22	PLANNING RESUBMITTAL

OVERALL LOWER FLOOR PLAN

PROJECT NUMBER
21009

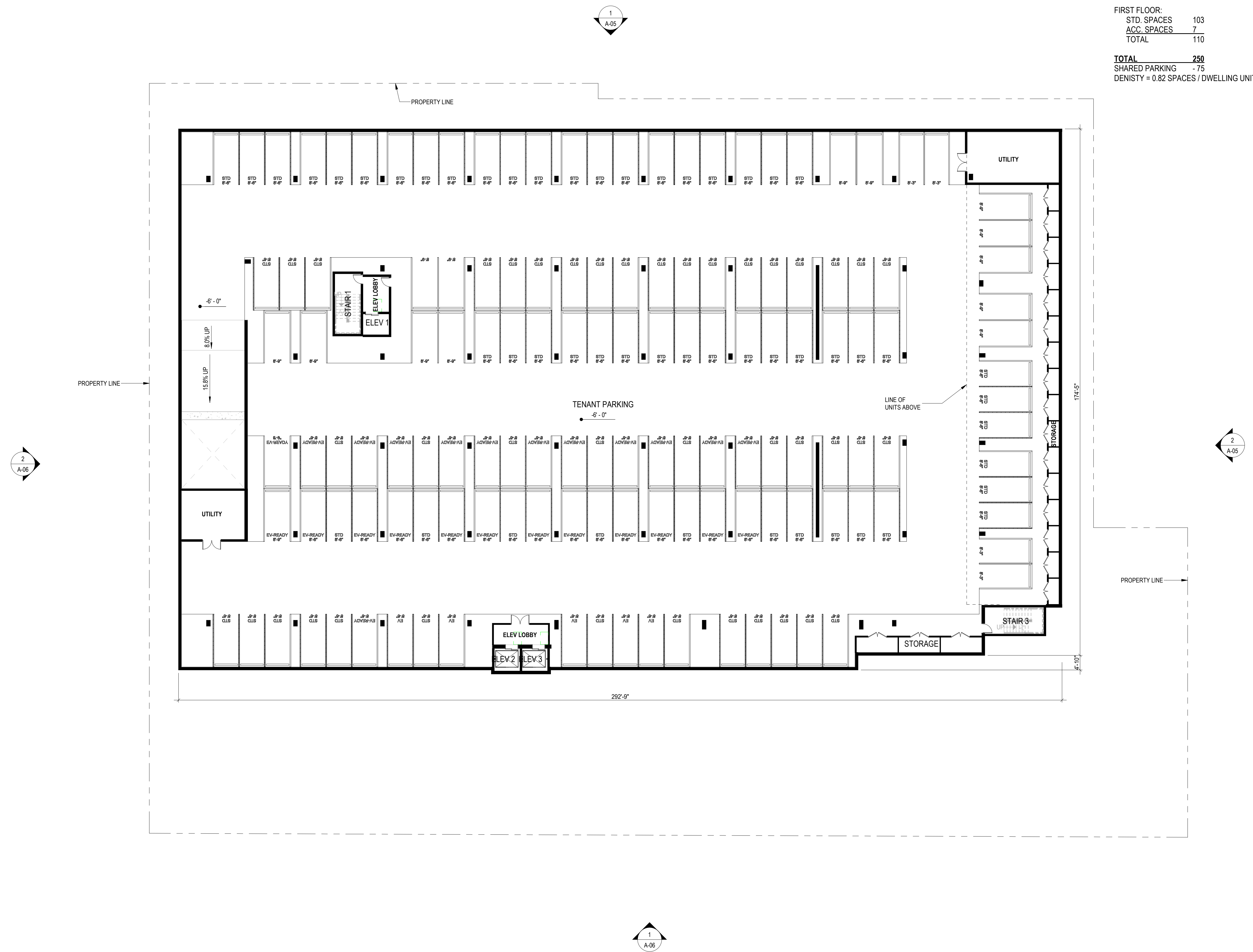
A-00

PARKING SUMMARY (0.5 SPACES / DWELLING UNIT REQ.)

LOWER FLOOR	
STD. SPACES	140
ACC. SPACES	0
TOTAL	140

FIRST FLOOR:	
STD. SPACES	103
ACC. SPACES	7
TOTAL	110

TOTAL 250
SHARED PARKING = 75
DENSITY = 0.82 SPACES / DWELLING UNIT



OVERALL LOWER FLOOR PLAN

SCALE:
1/16" = 1'-0"

1



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FOR:
LOTUS
XXXXX
XXXXX
CONTACT:
JOE TORMAN
joe@lotuscompany.com

LOTUS ALCHEMY
54, 28, 18 W 700 S,
SALT LAKE CITY, UTAH

DATE: ISSUED FOR:
08.06.21 SITE PLAN 01
01.05.22 PLANNING
RESUBMITTAL
08.03.22 PLANNING
RESUBMITTAL

OVERALL FIRST FLOOR
PLAN

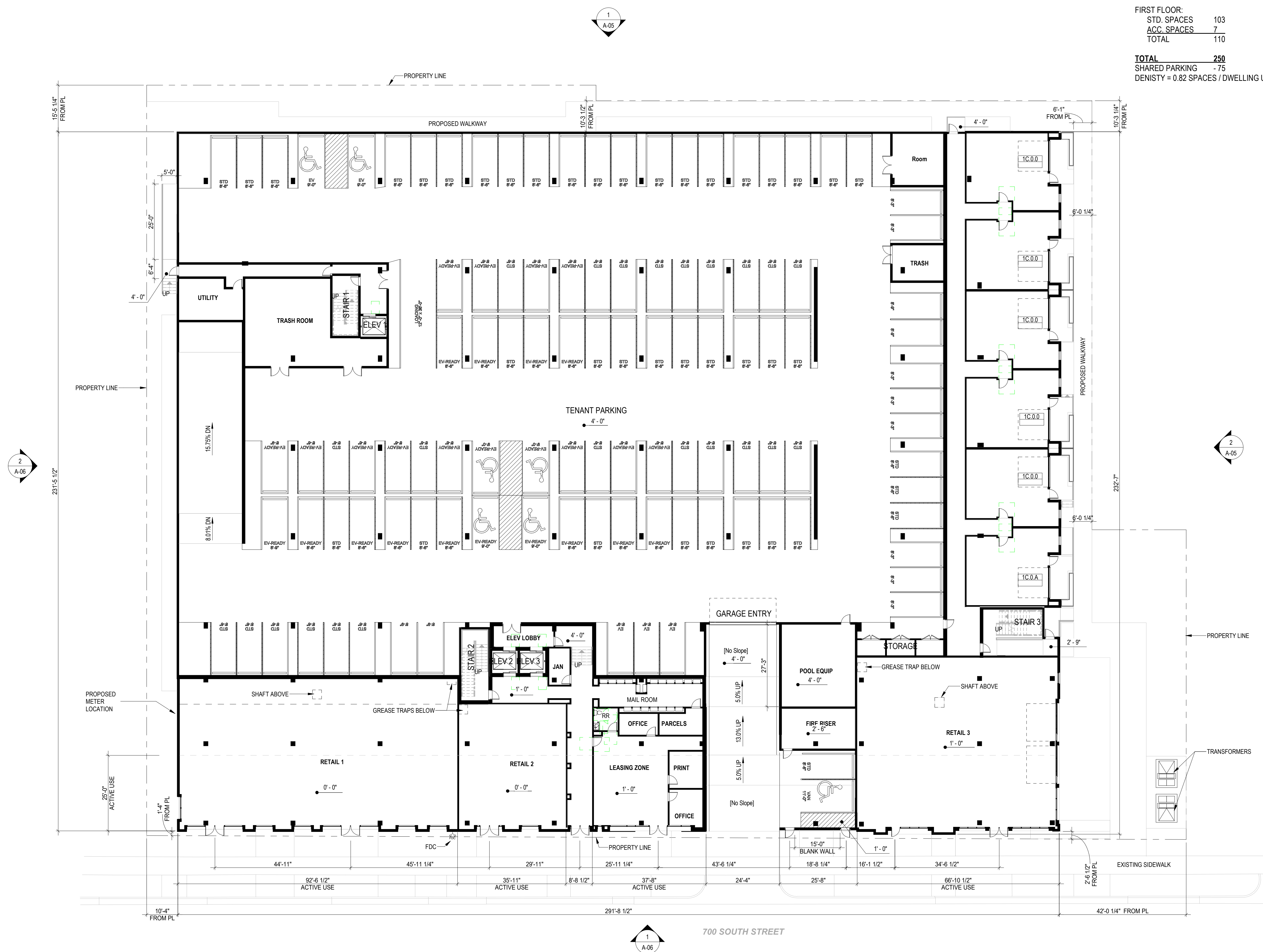
PROJECT NUMBER
21009

A-01

PARKING SUMMARY (0.5 SPACES / DWELLING UNIT REQ.)

LOWER FLOOR	
STD. SPACES	140
ACC. SPACES	0
TOTAL	140
FIRST FLOOR:	
STD. SPACES	103
ACC. SPACES	7
TOTAL	110

TOTAL 250
SHARED PARKING - 75
DENSITY = 0.82 SPACES / DWELLING UNIT



OVERALL FIRST FLOOR

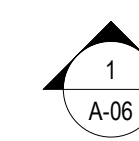
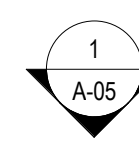
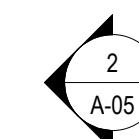
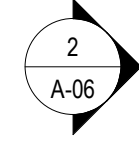
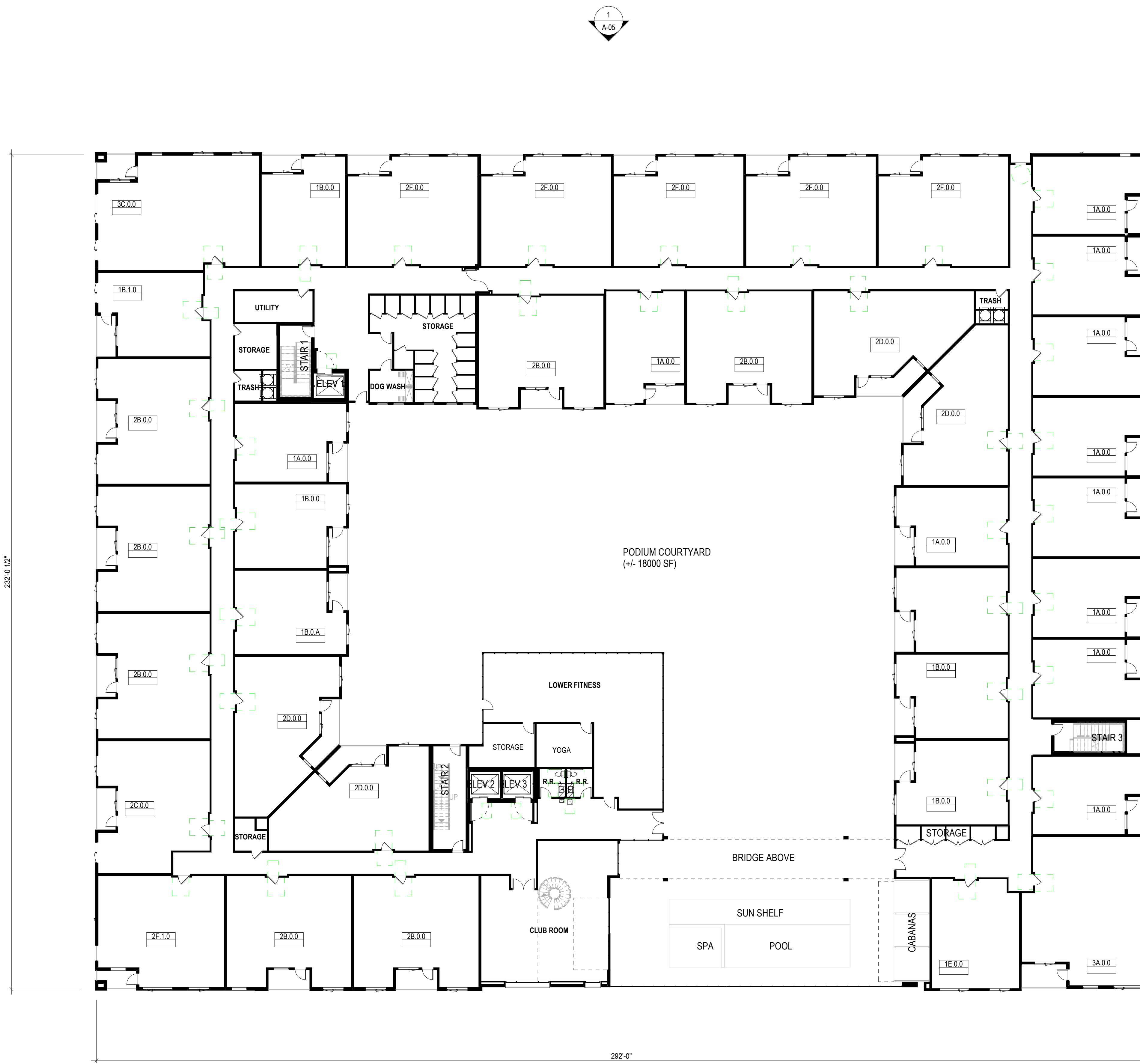
SCALE:
1/16" = 1'-0"

1

LOTUS ALCHEMY
54, 28, 18 W 700 S,
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL
08.03.22	PLANNING RESUBMITTAL

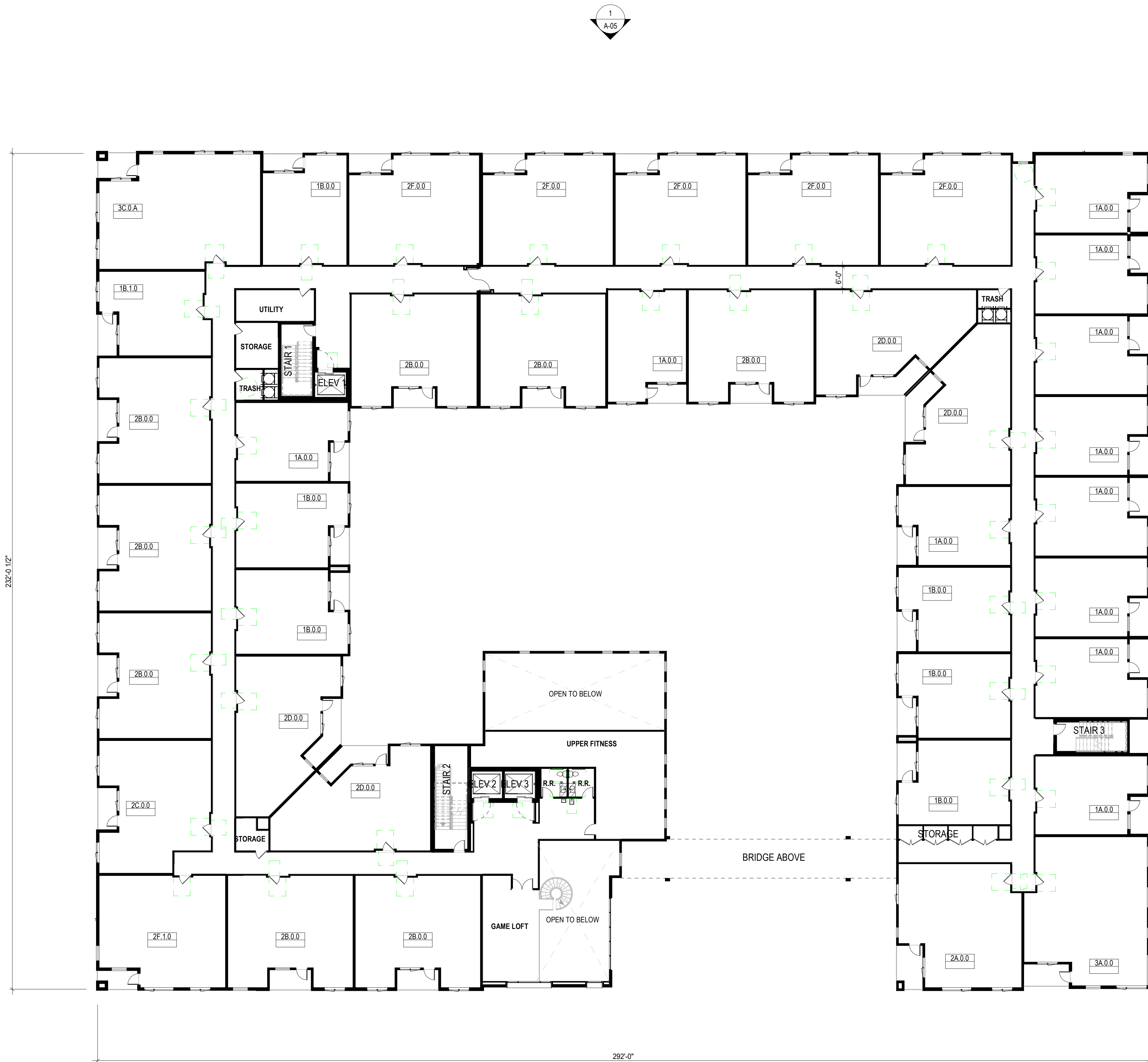
OVERALL SECOND FLOOR PLAN



LOTUS ALCHEMY
54, 28, 18 W 700 S,
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL
08.03.22	PLANNING RESUBMITTAL

OVERALL THIRD FLOOR PLAN

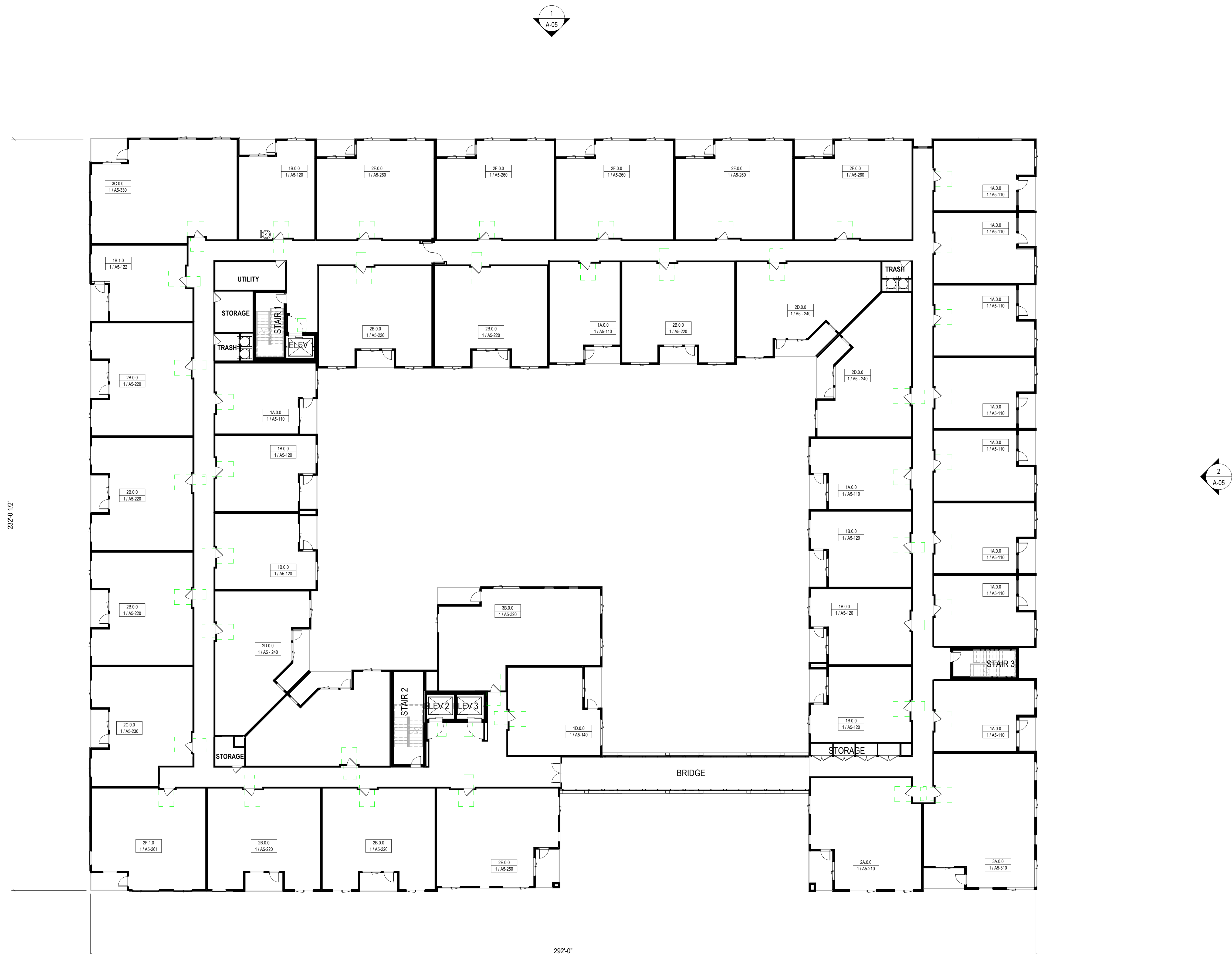


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OVERALL FOURTH - SIXTH FLOOR PLAN

PROJECT NUMBER
21009



OVERALL FOURTH - SIXTH FLOOR PLAN

SCALE:
1/16" = 1'-0"

1

A-04



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FOR:
LOTUS
XXXXX
XXXXX
CONTACT:
JOE TORMAN
joe@lotuscompany.com

ELEVATION LEGEND

- BRICK - RUNNING
COLOR: LIGHT
- CONCRETE MASONRY
COLOR: NATURAL
- CAST-IN-PLACE CONCRETE
COLOR: NATURAL
- COLOR 1 - STONE VENEER
COLOR: LIGHT
- COLOR 2 - VERTICAL METAL SIDING
COLOR: DARK
- COLOR 3 - HORIZONTAL FIBER CEMENT SIDING
COLOR: WOOD TONE
- COLOR 4 - STUCCO
COLOR: MEDIUM
- COLOR 5 - DOORS, STOREFRONT, WINDOW TRIM
COLOR: DARK
- COLOR 6 - METAL AWNINGS & HANDRAILS
COLOR: DARK

KEYNOTES - ELEVATION

- 1 BRICK - RUNNING - COLOR 1 (LIGHT)
- 2 STONE VENEER - COLOR 1 (LIGHT)
- 3 VERTICAL METAL SIDING - COLOR 3 (DARK)
- 4 HORIZONTAL FIBER CEMENT SIDING - COLOR 4 (WOOD TONE)
- 5 STUCCO - COLOR 5 (MEDIUM)
- 6 FIBER CEMENT PANEL - COLOR 3 (DARK)
- 7 HORIZONTAL METAL SCREEN - COLOR 3 (DARK)
- 8 CONCRETE MASONRY - EXPOSED FINISH
- 9 CAST-IN-PLACE CONCRETE - EXPOSED FINISH
- 10 METAL TRIM - COLOR 3 (DARK)
- 11 FIBER CEMENT TRIM - COLOR 3 (DARK)
- 12 LANDSCAPE PLANTER BOX
- 13 METAL AWNING
- 14 METAL CHANNEL
- 15 METAL RAILING
- 16 GLASS RAILING
- 17 OVERHEAD GARAGE DOOR
- 18 VINYL WINDOW STOREFRONT
- 19 STOREFRONT
- 20 BUILDING ENTRY
- 21 COLUMN
- 22 EXTERIOR MECHANICAL VENT
- 24 METER LOCATION
- 28 FDC



EAST ELEVATION OVERALL SCALE: 1/16" = 1'-0" **2**



NORTH ELEVATION OVERALL SCALE: 1/16" = 1'-0" **1**

LOTUS ALCHEMY
54, 28, 18 W 700 S,
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08.03.22	PLANNING RESUBMITTAL

NORTH & EAST ELEVATIONS

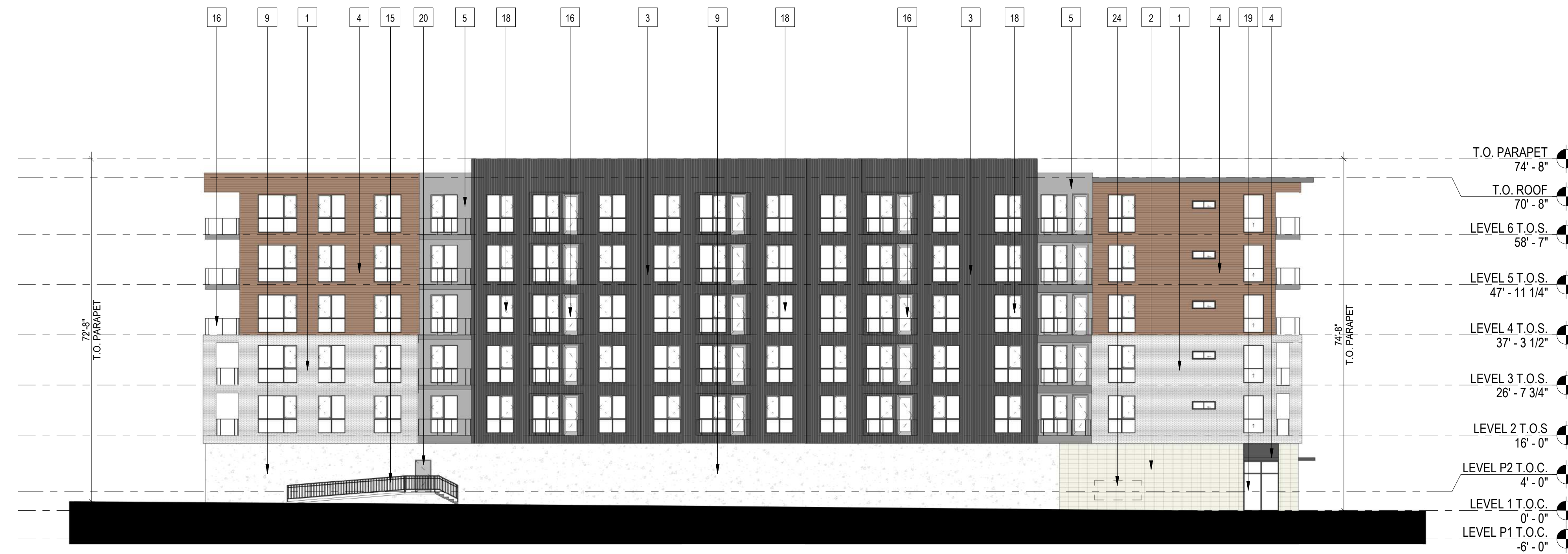
PROJECT NUMBER
21009

ELEVATION LEGEND

- BRICK - RUNNING
COLOR: LIGHT
- CONCRETE MASONRY
COLOR: NATURAL
- CAST-IN-PLACE CONCRETE
COLOR: NATURAL
- COLOR 1 - STONE VENEER
COLOR: LIGHT
- COLOR 2 - VERTICAL METAL SIDING
COLOR: DARK
- COLOR 3 - HORIZONTAL FIBER CEMENT SIDING
COLOR: WOOD TONE
- COLOR 4 - STUCCO
COLOR: MEDIUM
- COLOR 5 - DOORS, STOREFRONT, WINDOW TRIM
COLOR: DARK
- COLOR 6 - METAL AWNINGS & HANDRAILS
COLOR: DARK

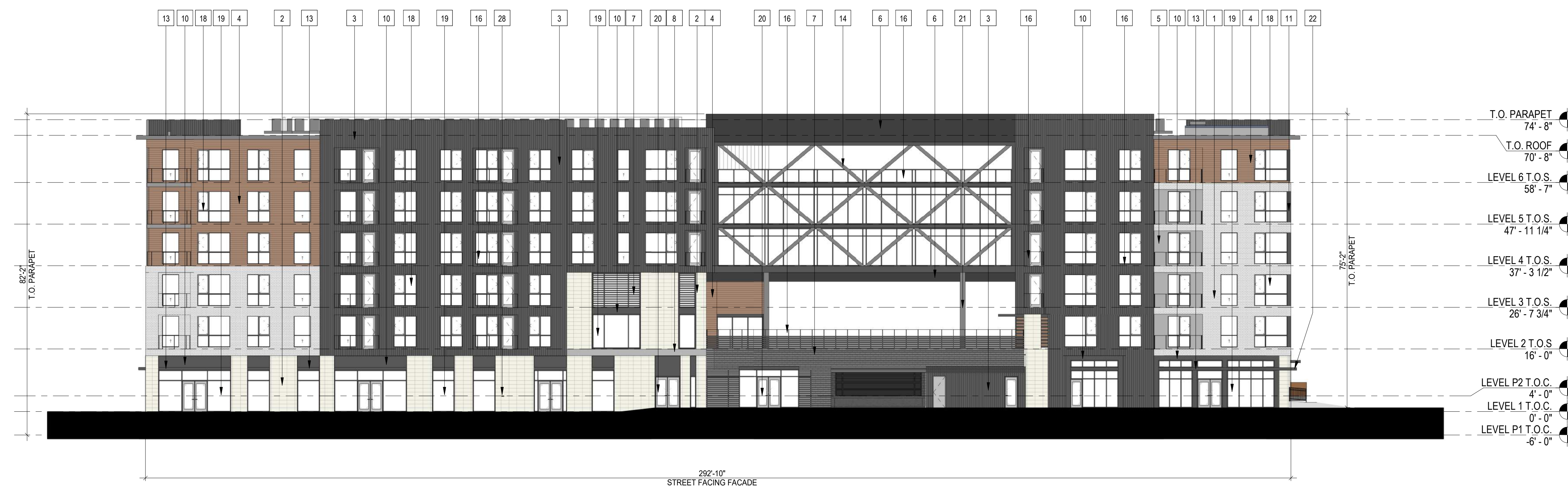
KEYNOTES - ELEVATION

- 1 BRICK - RUNNING - COLOR 1 (LIGHT)
- 2 STONE VENEER - COLOR 1 (LIGHT)
- 3 VERTICAL METAL SIDING - COLOR 3 (DARK)
- 4 HORIZONTAL FIBER CEMENT SIDING - COLOR 4 (WOOD TONE)
- 5 STUCCO - COLOR 5 (MEDIUM)
- 6 FIBER CEMENT PANEL - COLOR 3 (DARK)
- 7 HORIZONTAL METAL SCREEN - COLOR 3 (DARK)
- 8 CONCRETE MASONRY - EXPOSED FINISH
- 9 CAST-IN-PLACE CONCRETE - EXPOSED FINISH
- 10 METAL TRIM - COLOR 3 (DARK)
- 11 FIBER CEMENT TRIM - COLOR 3 (DARK)
- 12 LANDSCAPE PLANTER BOX
- 13 METAL AWNING
- 14 METAL CHANNEL
- 15 METAL RAILING
- 16 GLASS RAILING
- 17 OVERHEAD GARAGE DOOR
- 18 VINYL WINDOW STOREFRONT
- 19 STOREFRONT
- 20 BUILDING ENTRY
- 21 COLUMN
- 22 EXTERIOR MECHANICAL VENT
- 24 METER LOCATION
- 28 FDC



WEST ELEVATION OVERALL

SCALE: 1/16" = 1'-0" 2



SOUTH ELEVATION OVERALL

SCALE: 1/16" = 1'-0" 1

GLASS: GROUND FLOOR (40% MIN. REQ'D)

STOREFRONT: 704 SF
SOLID: 648 SF
TOTAL: 1,352 SF (52%)

GLASS: SECOND FLOOR (25% MIN. REQ'D)

STOREFRONT: 977 SF
SOLID: 1,353 SF
TOTAL: 2,330 SF (42%)

GLASS: THIRD FLOOR (25% MIN. REQ'D)

STOREFRONT: 753 SF
SOLID: 1,577 SF
TOTAL: 2,330 SF (31%)

GLASS: FOURTH-SIXTH FLOOR (25% MIN. REQ'D)

STOREFRONT: 918 SF
SOLID: 1,264 SF
TOTAL: 2,182 SF (42%)

EXTERIOR MATERIALS (SOUTH ELEVATION)

BRICK RUNNING - COLOR 1: 1,987 SF (14%)
CONCRETE MASONRY: 60 SF (1%)
CAST IN PLACE CONCRETE: 0 SF (0%)
STONE VENEER: 1,396 SF (10%)
VERTICAL METAL SIDING: 5,251 SF (37%)
HORIZONTAL FIBER CEMENT SIDING: 1,298 SF (9%)
STUCCO: 1,109 SF (8%)
FIBER CEMENT PANEL: 734 SF (5%)
HORIZONTAL METAL SCREEN: 1,039 SF (7%)
METAL TRIM: 949 SF (7%)
METAL CHANNEL: 244 SF (2%)
TOTAL: 14,067 SF

GLAZING (SOUTH ELEVATION)

STOREFRONT: 3,464 SF (48.2%)
VINYL WINDOWS: 3,725.5 SF (51.8%)
TOTAL: 7,189.5 SF

LOTUS ALCHEMY

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SOUTH & WEST ELEVATIONS

PROJECT NUMBER 21009

ATTACHMENT D: Property and Vicinity Photos



Project site looking northeast



Project site looking west



Project site. Blue building to be demolished. Gray building is adjacent to project site.



Building adjacent to project site to the east. White building is in the project site and is proposed to be demolished.



Adjacent parking structure to the north of project site



Midblock walkway connection from adjacent property looking toward the project site



Building across the street from project site



Car sales lot and service across the street from project site

ATTACHMENT E: D-2 Zoning Standards

D-2 (Downtown Support District)

Purpose Statement: The purpose of the D-2 Downtown Support Commercial District is to provide an area that fosters the development of a sustainable urban neighborhood that accommodates commercial, office, residential and other uses that relate to and support the Central Business District. Development within the D-2 Downtown Support Commercial District is intended to be less intensive than that of the Central Business District, with high lot coverage and buildings placed close to the sidewalk. This district is appropriate in areas where supported by applicable master plans. Design standards are intended to promote pedestrian oriented development with a strong emphasis on a safe and attractive streetscape.

Standard	Requirement	Proposed	Finding
Maximum Building Height	65 feet (without Design Review); 120 feet (with Design Review)	75 feet 2 inches to the top of the parapet	Additional height requested through the Design Review process
Front/Corner/Side/Rear Yard Setbacks	No minimum setbacks unless adjacent to a single or 2-family residential district. The maximum front yard setback is 10 feet.	Not adjacent to a residential district. Front – 1-foot setback at the ground level Western Side Yard – ~10’ Eastern Side Yard – ~10’ Rear – ~10’	Complies
Buffer Yard	Required when adjacent to a residential district.	Not adjacent to a residential district.	Complies
Lot Size	No minimum lot area or lot width shall be required.	Once consolidated, the lot will be approximately 1.84 acres (80,311 square feet) and 344 feet wide.	Complies
Midblock Walkway	The walkway must be a minimum of 10 feet wide and include a minimum 6-foot-wide unobstructed path. A midblock walkway is identified in the Downtown Master Plan. The property is located in the Central 9 th District, which prioritizes expanding	The proposed midblock walkway is along the eastern property line running north to south. The walkway is approximately 10 feet wide and contains a 6-foot-wide unobstructed path. The space is landscaped and is adjacent to the outdoor patio for the restaurant and the proposed live/work units. The walkway will include pedestrian-level lighting to increase safety.	Complies

	the midblock walkway network. The three principles include pedestrian priority, experience, and connectivity (p.98).	The walkway connects to the 650 Main Office building midblock walkway to complete the walkway from 600 South to 700 South.	
Refuse Control	Containers covered and stored within completely enclosed buildings or screened.	All refuse containers on the site will be integrated into the parking garage footprint.	Complies
Lighting	On site lighting, including parking lot lighting and illuminated signs, shall be located, directed or designed in such a manner so as not to create glare on adjacent properties.	All on-site lighting will be directed towards illuminating the structure or signage.	Complies
Off Street Parking & Loading (21A.44.030.H)	<p>Minimum off-street parking in the D-2 zone is 1/2 stall per residential unit. Maximum parking is equivalent to the minimum.</p> <p>The maximum number of allowable parking spaces may be increased to double the minimum if the project fulfills at least 1 of the major transportation demand strategies and 1 of the minor transportation demand strategies in 21A.44.050.C(4).</p>	<p>Parking stalls: 250 stalls proposed</p> <p>Minimum/Maximum: 107</p> <p>Maximum with TDM: Double the minimum is 214, so even with the TDM strategies the development still requires Planned Development approval.</p> <p>The applicant provided documentation that the proposal meets one Major and one Minor Transportation Demand Management strategy. These will be reviewed for final compliance during the building permit review phase.</p> <p>TDM – Major Strategy</p> <p><u>Proposal:</u> Provide an on-premises gym for residents of at least 400 square feet.</p> <p>TDM – Minor Strategy</p> <p><u>Proposal:</u> Participation in an approved bike share program.</p>	Complies with Planned Development Approval
Landscaping & Buffering (21A.48)	1 tree per 30 feet	11 street trees are required.	Complies

Signage (21A.46.110)		<p>Primary building signage will be integrated into the building's entrance canopies.</p> <p>As a condition of approval, the applicant will work with staff and Building Services to finalize the signage plan.</p>	Complies
Ground Floor Use	<p>The ground floor of a new principal building, a permitted or conditional use other than parking shall occupy a minimum portion of the length (75% not including parking entrance) of any street facing building façade. All portions of such ground floor spaces shall extend a minimum of twenty five feet (25') into the building.</p>	<p>82% of the ground floor is activated by retail, a restaurant, and a lobby/leasing office.</p>	Complies
Building Materials	<p>Ground Floor: Other than windows and doors, a minimum amount (80%) of the ground floor facade's wall area of any street facing facade shall be clad in durable materials.</p> <p>Upper Floor Building Materials: Floors above the ground floor level shall include durable materials on a minimum amount (50%) of any street facing building facade of those additional floors.</p>	<p>Materials include stone, brick, metal panel, and glass.</p> <p>Metal is not listed as a durable material but some varieties have been approved by the Planning Director as is permitted in the ordinance. The applicant will provide material specification information during building permit review to determine an acceptable material that meets the Planning Director requirements.</p> <p>Ground Floor: 100% durable materials.</p> <p>Upper Floor: 67% - Materials include metal panel, masonry, and glass.</p>	Complies with conditions
Ground Floor Glass	<p>40% - The ground floor building elevation of all new buildings facing a street, and all new ground floor additions facing a street, shall have a minimum amount of 40% glass</p>	<p>52% of the ground floor is glass.</p>	Complies

	between 3 FT and 8 FT above grade.		
Upper Floor Glass	25% - Above the first floor of any multi-story building, the surface area of the facade of each floor facing a street must contain a minimum amount of 25% glass.	Upper floors along 700 South contain 42% glass.	Complies
Building Entrances	Entrance required every 50' on street facing façade.	Primary residential entry and leasable commercial space entries are a maximum of 50' apart.	Complies
Maximum Length of Blank Wall	15' on street facing façade	No blank walls over 15' are proposed.	Complies

ATTACHMENT F: DESIGN REVIEW STANDARDS

21A.59.050: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

<p>A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.</p>
<p>Finding: Complies</p>
<p>Discussion: The proposed development is directly aligned with the purpose statement for the D-2 zone. The project addresses the need for additional housing, high-quality urban development near transit, and many of the objectives of the Downtown Master Plan. See page 5 of Staff discussion.</p>
<p>Condition(s):</p>
<p>B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</p> <ol style="list-style-type: none"> 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot). 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood. 3. Parking shall be located within, behind, or to the side of buildings.
<p>Finding: Complies</p>
<p>Discussion: 1. The development and the primary building entrance and restaurant and retail entrances are oriented toward 700 South and the public sidewalk. 2. No front yard setback is required, and the maximum setback is 10 feet. The ground floor of the building is setback approximately 1 foot from the front property line, next to the public sidewalk. 3. The parking structure is integrated into the building and is accessed from 700 South. No surface parking is proposed.</p>
<p>Condition(s):</p>
<p>C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</p> <ol style="list-style-type: none"> 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades.

3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.
4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.

Finding: Complies

Discussion:

1. The applicant is proposing three retail spaces, including a restaurant on the ground floor. The space can be accessed from the public sidewalk or the interior of the building. The ground floor lobby is also accessed from the public sidewalk.
2. The first floor of the building façade [south] and midblock walkway [east] are primarily glass. The glass extends from the floor to ceiling along the 700 South storefronts, and the live/work units along the midblock walkway include glass garage doors.
3. The applicant is proposing clerestory windows on the 700 South street facing façade, as well as metal awnings.
4. The project includes an outdoor dining plaza on the east side of the building at the public sidewalk and adjacent to the midblock walkway.

Condition(s):

D. Large building masses shall be divided into heights and sizes that relate to human scale.

1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.
2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.
3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.
4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.

Finding: Complies

Discussion:

1. The proposed building height is 75 feet, which is below the maximum allowed under Design Review, and significantly below the maximum height allowed in the adjacent D-1 parcels to the north. With that said, the proposed height of 75 feet provides a transition from the taller buildings to the north.
2. The verticality of the street facing façade is broken up through the use of different building materials on both vertical elements. The transparent “base” along the sidewalk anchors the building and reduces the perceived height. The building is modulated into three distinct areas with the middle area recessed to create a “u shape”.
3. The building facades have regular window fenestration, an amenity deck with a pool on the second level, as well as private balconies, and private patios. Operable garage doors with glass windows are included in the live/work units fronting on to the midblock walkway.
4. The block and general surrounding area has actively been redeveloping over the last several years. The proposed project fits with the architectural style of the area as it has redeveloped.

Condition(s):
<p>E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:</p> <ol style="list-style-type: none"> 1. Changes in vertical plane (breaks in facade) 2. Material changes; and 3. Massing changes.
Finding: Complies
<p>Discussion: The 700 South façade is 292'-10". The proposed Lotus Alchemy will meet all three of these requirements.</p> <ol style="list-style-type: none"> 1. The building uses considerable amounts of glass and features breaks in plane and materials to reduce the visual length and size of the building and for it to relate to the human scale. 2. The building uses multiple colors of brick, stone, and metal on different planes to give variety and interest to the building while reducing the visual mass. 3. The primary step back (u-shape) helps the façade closest to the street have a smaller scale that is appropriate for the pedestrian experience.
Condition(s):
<p>F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</p> <ol style="list-style-type: none"> 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"); 2. A mixture of areas that provide seasonal shade; 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted; 4. Water features or public art; 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit.
Finding: Complies
<p>Discussion: The midblock walkway has three benches, and the open space at the rear of the project also incorporates benches for seating. A ground level outdoor dining area is proposed on the east side of the development near the public sidewalk and midblock walkway. The area provided for seating includes year-round shade provided by trees.</p>
Condition(s):
<p>G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.</p> <ol style="list-style-type: none"> 1. Human scale: <ol style="list-style-type: none"> a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.

<ul style="list-style-type: none"> b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height. <p>2. Negative impacts:</p> <ul style="list-style-type: none"> a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height. c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building. <p>3. Cornices and rooflines:</p> <ul style="list-style-type: none"> a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition. b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings. c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.
Finding: Complies
<p>Discussion:</p> <ol style="list-style-type: none"> 1. The building massing has been articulated to include a primary setback. This creates a more human scale experience along the public sidewalk. The main step back creates a distinct base. Material changes and color help define the middle and top sections of the building. 2. The building has been appropriately modulated so that the street level experience is pedestrian scale and so that it steps back from neighboring buildings. The building is consistent with the potential height of buildings on neighboring properties. 3. The rooflines reflect the massing of the building in a cohesive manner. The rectilinear roof form is consistent with surrounding commercial structures. The variation gives visual interest. Level 2 of the building includes a large rooftop courtyard with landscaping, a pool, and shared outdoor space.
Condition(s):
H. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.
Finding: Complies
Discussion: Parking for the project is located interior and will feature one access point to reduce auto-pedestrian interaction.
Condition(s):
I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)

Finding: Complies
Discussion: All waste and recycling containers will be stored interior to the building and will be fully screened from public view. The screened electrical transformer is integrated into the midblock walkway and does not impede pedestrian circulation. The applicant worked with staff and Rocky Mountain Power to ensure the transformer could be accessed, but not become the visual focal point of the walkway.
Condition(s):
J. Signage shall emphasize the pedestrian/mass transit orientation. <ol style="list-style-type: none"> 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. 2. Coordinate signage locations with appropriate lighting, awnings, and other projections. 3. Coordinate sign location with landscaping to avoid conflicts.
Finding: Complies With Conditions
Discussion: Signage for the building has not been finalized. The signage shown on renderings is conceptual only. When proposed, it will need to meet these standards. Staff is recommending approval for signage be delegated to staff.
Condition(s): Final approval of the details for landscaping, site signage, development and site lighting, street lighting, streetscape details and sidewalk paving to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Master Plan.
K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals. <ol style="list-style-type: none"> 1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan. 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky. 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.
Finding: Complies
Discussion: 1 <ol style="list-style-type: none"> 1. Streetlights are shown according to the Salt Lake City Lighting Master Plan. 2. Lighting fixtures have been directed downwards or shielded to avoid light trespass on neighboring properties. 3. Building lighting will highlight architectural features of the building and add to the pedestrian experience at the ground level.
Condition(s):
L. Streetscape improvements shall be provided as follows: <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the

result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.

2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:

- a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.
- b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.
- c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).
- d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.
- e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.
- f. Asphalt shall be limited to vehicle drive aisles.

Finding: Complies

Discussion: Approved street tree species are shown on the plans. The Urban Forester reviewed the plan set and raised no concerns. The plan features a mix of high quality, durable, pavers used for the public sidewalk, at building entrances, and in the midblock walkway.

Condition(s):

ATTACHMENT G: Planned Development Standards

21A.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.

Planned Development Purpose Statement: A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development incorporates special development characteristics that help to achieve City goals identified in adopted Master Plans and that provide an overall benefit to the community as determined by the planned development objectives. A planned development will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments.

Discussion: The applicant seeks to achieve the Master Plan Implementation objective. Planning Staff has provided analysis of the relationship between the proposed modifications and the purpose of a planned development in the Key Considerations section and considers this project would provide for an enhanced project than allowed by the underlying zoning. Planning Staff is of the opinion that the proposal meets the Master Plan Implementation objective.

Finding: Meets Purpose Statement Does Not Meet Purpose Statement

- A. Open Space And Natural Lands:** Preserving, protecting or creating open space and natural lands:
1. Inclusion of community gathering places or public recreational opportunities, such as new trails or trails that connect to existing or planned trail systems, playgrounds or other similar types of facilities.

2. Preservation of critical lands, watershed areas, riparian corridors and/or the urban forest.
3. Development of connected greenways and/or wildlife corridors.
4. Daylighting of creeks/water bodies.
5. Inclusion of local food production areas, such as community gardens.
6. Clustering of development to preserve open spaces.

Discussion: The applicant is not intending to meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

B. Historic Preservation:

1. Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City.
2. Preservation of, or enhancement to, historically significant landscapes that contribute to the character of the City and contribute to the general welfare of the City's residents.

Discussion: The applicant is not intending to meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:

1. **At least twenty percent (20%) of the housing must be for those with incomes that are at or below eighty percent (80%) of the area median income.**
2. **The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.**

Discussion: The applicant is not intending to meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

D. Mobility: Enhances accessibility and mobility:

1. Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network.
2. Improvements that encourage transportation options other than just the automobile.

Discussion: The applicant is not intending to meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

E. Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:

1. Energy Use And Generation: Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource.
2. Reuse Of Priority Site: Locate on a brownfield where soil or groundwater contamination has been identified, and where the local, State, or national authority (whichever has jurisdiction) requires its remediation. Perform remediation to the satisfaction of that authority.

Discussion: The applicant is not intending to meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:

1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features.

Discussion: The project helps implement the housing goals within Plan Salt Lake and the Downtown Master Plan. Master Plan Implementation was discussed in Consideration 1 of the staff report.

Finding: Objective Satisfied Objective Not Satisfied

B. Master Plan Compatibility: The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.

Discussion:

As explained in depth in the Key Considerations section found on page 5, the proposed planned development is consistent with Plan Salt Lake (city wide master plan), the Downtown Plan (master plan for that area).

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

C. Design And Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:

1. Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;

Discussion:

The proposed development is located within the D-2 zoning district which anticipates the size, scale and intensity of the proposed development. The property abutting to the north is a new significantly taller office development, this context allows the Lotus Alchemy to serve as a transitional height from the D-2 to the D-1 zone. While the immediately adjacent building to the east is much smaller, the proposed project is considered “in scale” with the general neighborhood development. The proposal matches neighboring buildings and expectations for mass and intensity.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

2. Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;

Discussion: The proposed structure strives to address both 700 South and the provided midblock walkway. The overall orientation is toward 700 S with the main entrance and the principal garage access on that façade. Additionally, the “U” shape of the building opens up towards 700 S with a swimming pool in the middle of the plaza area which serves to break up the massing of the upper stories. The midblock walkway façade is not neglected. There is an outdoor dining patio, large amounts of glass and detailing, and live/work units that interact with the walkway. It is compatible with the neighborhood and should greatly enhance it by offering more extensive retail options than currently exist.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

3. Whether building setbacks along the perimeter of the development:

- a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan.
- b. Provide sufficient space for private amenities.
- c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.
- d. Provide adequate sight lines to streets, driveways and sidewalks.
- e. Provide sufficient space for maintenance.

Discussion: The proposed project is in a visible location at the intersection from Main and 700 South. Minimum setbacks in the D-2 zone are not required but structures can only be a maximum of 10 feet in the front and corner side yards. With that being said, this proposal does maintain the visual character of the neighborhood and will complement the office building directly to the north. The two of them will provide a consistency to pedestrians walking along the sidewalk. There is appropriate buffering between the structures with the applicant providing for the placement of a walkway between them. There are adequate site lines and sufficient space for maintenance.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

4. Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;

Discussion:

One of the strengths of this project is the design of the ground floor. It will feature large windows along both the southern and eastern facades that provide transparency into the various commercial/retail uses and the lobby of the residential portion. Additionally, it appears that those ground floor uses will spill out into the sidewalk and park strip areas which should further facilitate pedestrian interest and interaction.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

5. Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;

Discussion:

The submitted plans appear to be appropriate for this type of mixed use building. It provides for the safety of pedestrians at street level, while drawing attention to the design features of the structure above. The lighting is designed to direct most light downward instead of out towards neighboring properties. The applicant will have to submit final details for the proposed signage and lighting which will be verified through the building permit process.

Condition(s): Final approval of the details for landscaping, site signage, development and site lighting, street lighting, streetscape details and sidewalk paving to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Master Plan.

Finding: Complies Complies with conditions Does not comply Not Applicable

6. Whether dumpsters, loading docks and/or service areas are appropriately screened;

Discussion:

The project includes individual trash receptacles that will be collected on a weekly basis.

Condition(s): Dumpsters are located within the parking area on the ground floor of the building. They will be easily accessible and appropriately screened.

Finding: Complies Complies with conditions Does not comply Not Applicable

7. Whether parking areas are appropriately buffered from adjacent uses.

Discussion:

Parking will be located behind the commercial/retail uses on the ground floor internal to the building. The parking entrance is below the break in the upper floor façade and provides a break in the façade length.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:

1. Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;

Discussion:

The proposed project appears to comply with all landscaping considerations. Final approval will be given through the building permit process.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

2. Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;

Discussion:

There is no existing landscaping that provides buffering to abutting properties.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

3. Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development;

Discussion: There will be minimal landscaping for this development due to the fact that the building will be very close to the front, side, and rear yard boundaries. With that being said, the applicant has submitted plans showing grasses and trees in those areas which should be a significant improvement to the current condition of the site. The addition of the trees should considerably improve this site.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

4. Whether proposed landscaping is appropriate for the scale of the development.

Discussion:

The proposed landscaping appears to be appropriate for the scale of the development. While it is anticipated in the Downtown Master Plan that buildings be close to the property line and public right of way, it is important for new development to create safe and comfortable places for pedestrians. As part of this development the applicant is proposing 11 new street trees as well as additional streetscape landscaping that will grow to provide interest to the pedestrian and a buffer from 700 South.

Condition(s):

Finding: Complies Complies with conditions Does not comply Not Applicable

E. Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:

1. Whether drive access to local streets will negatively impact the safety, purpose and character of the street;
Discussion: The proposed project complies with citywide transportation goals and enhances efficient transportation within the neighborhood and outward to the entire city.
Condition(s):
Finding: <input checked="" type="checkbox"/> Complies <input type="checkbox"/> Complies with conditions <input type="checkbox"/> Does not comply <input type="checkbox"/> Not Applicable
2. Whether the site design considers safe circulation for a range of transportation options including: <ul style="list-style-type: none"> a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes;
Discussion: The proposed access point into the parking garage will be from 700 South. The required curb cut should not negatively impact the safety, purpose or character of the street. Transportation has reviewed the plan and provided no negative feedback. The development is also near two TRAX stops, as well as frequent service bus lines.
Condition(s):
Finding: <input checked="" type="checkbox"/> Complies <input type="checkbox"/> Complies with conditions <input type="checkbox"/> Does not comply <input type="checkbox"/> Not Applicable
3. Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;
Discussion: The location of the project next to a TRAX line and less than a block from a major bus route, provides for a wide range of pedestrian options. The midblock walkway will provide passage from 600 South to 700 South. All other adjacent uses and amenities are easily accessed via the sidewalks on 700 South.
Condition(s):
Finding: <input checked="" type="checkbox"/> Complies <input type="checkbox"/> Complies with conditions <input type="checkbox"/> Does not comply <input type="checkbox"/> Not Applicable
4. Whether the proposed design provides adequate emergency vehicle access;

Discussion: The applicant has worked with Fire to ensure compliance, including providing a fire lane in front of the building. Alternative Means & Methods will be required at the Building Permit review.
Condition(s):
Finding: <input checked="" type="checkbox"/> Complies <input type="checkbox"/> Complies with conditions <input type="checkbox"/> Does not comply <input type="checkbox"/> Not Applicable
5. Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.
Discussion: The loading access and service areas are to be located within the ground floor of the building within the parking area. They are adequate for the site and minimize impacts.
Condition(s):
Finding: <input checked="" type="checkbox"/> Complies <input type="checkbox"/> Complies with conditions <input type="checkbox"/> Does not comply <input type="checkbox"/> Not Applicable

F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.
Discussion: The property is currently fully developed. No existing natural or built features on site contribute to the character of the neighborhood or the environment.
Condition(s):
Finding: <input checked="" type="checkbox"/> Complies <input type="checkbox"/> Complies with conditions <input type="checkbox"/> Does not comply <input type="checkbox"/> Not Applicable

G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.
Discussion: The applicant has worked with Public Utilities to address any concerns. The project can be served by existing utilities with potential upgrades. It will not have a detrimental effect on the surrounding area.
Condition(s):
Finding: <input type="checkbox"/> Complies <input checked="" type="checkbox"/> Complies with conditions <input type="checkbox"/> Does not comply <input type="checkbox"/> Not Applicable

ATTACHMENT H: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- June 7, 2022 – The Central 9th Community Council and Ballpark Community Council were sent the 45 day required notice for recognized community organizations. No comments were provided as of the published date of this report.
- June 7, 2022 - Property owners and residents within 300 feet of the development were provided early notification of the proposal.
- June 13 – July 22, 2022 – An online open house was held on the proposal.

Notice of the public hearing for the proposal included:

- August 12, 2022
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve
- August 12, 2022
 - Public hearing notice sign posted on the property

Public Input:

As of the publication of this Staff Report, Staff has received three public comments on the proposal. The first public comment has concerns with landscaping and that the public walkway remains open to the public. The second comment expressed concerns regarding the elimination of parking in front of the building. The last public comment expressed concern with allowing developers to make zoning modifications in general.

If Staff receives additional comments on the proposal, they will be forwarded to the Planning Commission and included in the public record.

(EXTERNAL) Lotus Alchemy



Heather Knowlton <[REDACTED]>
To Gilmore, Kristina



Tue 8/16/2022 11:07 AM

You replied to this message on 8/16/2022 1:01 PM.
We removed extra line breaks from this message.

Krissy,

I emailed you when I first saw this project in planning commission minutes previously. I am always amazed that a developer comes in and gives his proposal to meet the requirements for setbacks or other facades... And then they come back at the next meeting saying that they need to change those requirements. It happens over and over and over and the developer is greedy and the city wants more taxes. This is what the current meeting notes say in regard to his/ her proposal.
" The applicant is also requesting to modify the max length of a street facing facade"

This is my neighborhood and I own property here.
Please do the right thing and say "no"
Please read my comments to this meeting.
Less cement...more trees...
Heather Knowlton

Sent from my iPad

(EXTERNAL) concerns aabout Lotus development at 28w 700s



Jeff Hein Studio <[REDACTED]>
To Gilmore, Kristina



Mon 7/11/2022 2:00 PM

Hello Kristina,

I own the building at 16w 700s, which has been the home of my business, the "Hein Atelier of Traditional Art", Since 2008. Recently, due to all of the apartments and businesses going up around me, parking has gotten very difficult. My understanding is that the Lotus project will eliminate all street parking on this block. If this is true it will make it impossible for me to do business. Even if they do not eliminate parking completely I expect that the added traffic the development will bring will still make parking difficult to impossible. I have looked into other options for me, such as a 10 foot easement along the east side of my building which I would like to use as parking but cannot because it is shared with the owner of the corner lot owned by Quality Oil. I have also approached Lotus about selling me just enough land between my building and the development that I could use for parking. They have not given me a solid answer and I don't know if I could afford it anyway. I'm excited for development downtown and would like to see my block improve but certainly don't want to lose my shirt, as I cannot afford to move. I would very much like to be made aware of any updates on this project if possible. Thanks so much.

best
Jeff

(EXTERNAL) Lotus Academy...



Heather Knowlton <[REDACTED]>
To Gilmore, Kristina



Reply

Reply All

Forward



Mon 7/11/2022 1:21 PM

You replied to this message on 7/13/2022 9:12 AM.
We removed extra line breaks from this message.

Hello,

I own a condo on 725 So 200 West and have been happily here for 10 years.

I object to this many units in this development.

I'd also like to know more about the privately owned public walkway.

Does it mean that the public can use it?

Does it mean that the private entity can designate it private use only at any time?

What kind of setbacks does this project have and I certainly hope they are larger than most in the granary and completely landscaped. We need more trees and xeriscape going in this neighborhood.

You can make it attractive now or it will be urban blight in 20 years and people will be wondering what salt lake council and who ever approved all these projects... It seems like a developer proposes a nice visually pleasing setback and then goes right back to the council to get the setback shortened.

It seems like the only consideration for many of these proposals is how many units the developer can squeeze in and how much in taxes the city will get.

The developers are making tons of money with all the construction going on and their economics should not be fully taken into consideration.

Please read this email to the council at the meeting.

And let me know that you are going to.

Thank you,

Heather Knowlton

Sent from my iPad

ATTACHMENT I: Department Review Comments

Any requirement identified by a City Department is required to be complied with.

Fire:

*Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into; and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Applicant will need to submit for an alternate means and methods due to exceeding this distance and interior courtyard for additional fire protection measures.

*Fire apparatus access roads shall have an unobstructed width of not less than 20 feet for buildings 30-feet or less, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Buildings greater than 30 feet shall have a road width of not less than 26 feet. Fire apparatus access roads with fire hydrants on them shall be 26-feet in width; at a minimum of 20-feet to each side of the hydrant in the direction of road travel.

*Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (80,000 pounds) and shall be surfaced to provide all-weather driving capabilities.

*The required turning radius of a fire apparatus access road shall be the following: Inside radius is 20 feet, outside is 45-feet

*Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. Turn areas for hammerhead are increased to 80-feet (160-feet total) to accommodate SLC Fire Department apparatus. See appendix D for approved turnarounds

*Buildings or portions of buildings constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Hydrants spaced not exceeding IFC appendix C

*Fire department connections shall be located on the street address side of buildings, fully visible and recognizable from the street, and have a fire hydrant within 100-feet on the same side of the street.

*Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.

*Aerial fire apparatus access roads shall be provided where the highest roof surface exceeds 30 feet measured from grade plane. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Some exceptions have been added by SLC; those can be obtained from this office.

*Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Aerial access routes shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building.

*Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

Note from Planning: Fire lane is provided, applicant intends to pursue Alternative Means & Methods.

Public Utilities:

No utility objection to the increased height or increased parking.

The façade has some potential concerns with not having room for meters or utility vaults, grease interceptors, etc. Utility recommendation is a break in the façade with set back to allow room for utilities.

Additionally, the site design does not provide an area for stormwater retention and Green Infrastructure / LID. Breaking up the building mass may make room for this requirement.

The plans submitted with this application do not meet city ordinance, standards and policies for utilities. These plans are rejected as a review for building permit or utilities development. Plans will need to be submitted for building permit review.

- Utility comments on the design for building permit submittal:
- A complete technical drainage study will be required.
- A new storm drain main in 700 South will likely be required. The proposed 4" SD discharge pipe is not accepted.
- The water main in 700 South will need to be upsized to a 12" main - connection to the main street water main will need to be coordinated.
- A Complete SWPPP document will be required including a city and state NOI.
- A landscape plan will be required.
- All unused water and sewer service must be capped at the main.
- Reconnection of existing water services on neighboring property will be required.
- 8" sewer connections will require exception approval
- New 3" meter will be required - the service line and connection cannot be placed under the transformer.

Note from Planning: Applicant has worked with Public Utilities to address concerns on revised plan set.

Transportation:

I have no comments on the zoning modifications. The applicant should provide parking calculations showing minimum parking requirements for passenger vehicles (21A.44.030), ADA (21A.44.020), electric vehicles (21A.44.050), and bicycle parking (21A.44.050) as well as the maximum parking allowance (21A.44.030). Electric vehicle parking spaces were not shown on the plan and the stalls should be designated for electric vehicles only. The applicant must show the location of the bicycle parking and provide a detail of the bike racks. The parking layout must meet dimensional standards of 21A.44.020. The applicant must show the ten-foot sight distance triangles at the egress of the parking structure. Please let me know if you have any questions.

Note from Planning: Applicant revised plans to address comments.

Engineering:

Work in the public way requires a public way permit and must follow APWA Standards.

ATTACHMENT C: Minutes from August 24, 2022 Planning Meeting

SALT LAKE CITY PLANNING COMMISSION MEETING
City & County Building
451 South State Street, Room 326
Salt Lake City, Utah 84111
Wednesday, August 24, 2022

Prior to the Commission meeting, the Commissioners received training regarding civil enforcement and zoning from Antonio Padilla of the City's Civil Enforcement Division. Commissioners present for the training were: Chairperson Amy Barry, Vice Chairperson Maurine Bachman, Commissioners Mike Christensen, Brenda Scheer, Aimee Burrows, Rich Tuttle, Levi de Oliveira, and Andra Ghent.

A roll is being kept of all who attended the Planning Commission Meeting. The meeting was called to order at approximately 5:30 pm. Audio recordings of the Planning Commission meetings are retained for a period of time. These minutes are a summary of the meeting. For complete commentary and presentation of the meeting, please visit <https://www.youtube.com/c/SLCLiveMeetings>.

Present for the Planning Commission meeting were Chairperson Amy Barry, Vice-Chair Maurine Bachman, and Commissioners, Adrienne Bell, Levi de Oliveira, Brenda Scheer, Aimee Burrows, Rich Tuttle, Andres Paredes, Jon Lee, and Mike Christensen. Commissioners Andra Ghent and Andres Paredes participated online.

Staff members present at the meeting were: Planning Director Nick Norris, Planning Manager Wayne Mills, Planning Manager Kelsey Lindquist, Principal Planner Liz Hart, Senior Planner Krissy Gilmore, Senior Planner Eric Daems, Senior Planner Lex Traughber, and Administrative Assistant Aubrey Clark. Senior City Attorney Paul Nielson also attended the meeting

APPROVAL OF THE MINUTES

Commissioner Aimee Burrows moved to approve the July 27th meeting minutes.

Commissioner Maurine Bachman seconded the motion.

Vice Chair Maurine Bachman, and Commissioners Rich Tuttle, Mike Christensen, Adrienne Bell, Andres Paredes, Aimee Burrows, Andra Ghent, Brenda Scheer, Jon Lee and Chairperson Amy Barry voted "yes."

Commissioners Levi de Oliveira, Andra Ghent, Brenda Scheer, and Jon Lee abstained because of their absence from the July 27th meeting.

The motion passed.

REPORT OF THE CHAIR AND VICE CHAIR

Chair Amy Barry stated her preference for an expectation that commissioners should be present at the meeting location during hybrid meetings whenever "in town and not sick." She asked the other commissioners for their opinions. All commissioners commenting agreed, although some suggested that the hybrid option could be justified for other reasons. Commissioner Lee also commented that the previous hybrid meeting was very helpful when he was thought that he was exposed to COVID. Commissioner Paredes said that a hybrid meeting is a good way to ensure that he can be on time for the meeting when his employment keeps him late. Chair Barry stated that she would like something added to the Commission's Policies and Procedures regarding the matter and that she would be following up with staff.

Vice Chair Maurine Bachman stated that she has nothing to report.

Commissioner Mike Christensen stated, “Based on the information in the staff report, the information presented, and the input received during the public hearing, I move that the Planning Commission approve the Planned Development request for Dawson Place located at 1146 S Redwood Road as proposed.”

Vice Chairperson Maurine Bachman seconded the motion.

Vice Chairperson Maurine Bachman, Commissioners Jon Lee, Aimee Burrows, Levi de Oliveira, Andra Ghent, Adrienne Bell, Andres Paredes, Rich Tuttle, Mike Christensen, Brenda Scheer, and Chair Amy Barry voted “yes.”

The motion passed unanimously.

Lotus Alchemy Design Review and Planned Development at approximately 18, 28, & 54 W 700

South - Grant Wise, representing the property owner Lotus Greenline LLC, has submitted Design Review and Planned Development applications to develop the above-stated property. The project site is in the D-2 (Downtown Support) zoning district. The building will have two structured parking levels with 250 parking stalls and 214 residential units in the 5 levels above. The proposed project also incorporates a public mid-block pedestrian walkway that runs north-south along the eastern property line.

A. Design Review: The proposed building is approximately 76 feet in height. Buildings over 65 feet in height must go through the Design Review process. The applicant is also requesting to modify the maximum length of a street-facing facade. **Case number PLNPCM2022-00442**

B. Planned Development: Planned Development approval is required to exceed the maximum parking allowed in the D-2 zoning district. **Case number PLNPCM2022-00489**

The project is located within Council District 4, represented by Ana Valdemoros. (Staff contact: Krissy Gilmore at 801-535-7780 or Kristina.gilmore@slcgov.com)

Senior Planner Krissy Gilmore reviewed the petition as outlined in the Staff Report. She stated that staff recommend approval of both petitions with conditions. Neither applicable community council has commented. The owner of a neighboring building has expressed concerns about the loss of on-street parking created by the proposed fire lane, however, Krissy Gilmore explained, any building exceeding 30 feet in height would be required to provide the same additional fire lane. She said that two other public comments could be found in the staff report.

Krissy Gilmore reviewed the proposed modifications and explained that design review is requested because the building, in the D2 zoning district, would be over 65 feet in height (the maximum height allowable height with design review would be 120 feet). The applicant is requesting a height of 76 feet for the six-story structure, which includes 214 dwelling units and ground-level commercial operations. The applicant is also requesting an extension of the allowable street frontage from 200 feet to 293 feet, and an increase in parking spaces to 250.

Krissy Gilmore also explained that the project is on the southern edge of the D1 zone. She showed the positions of neighboring new office and housing developments, a public mid-block walkway, and the proximity of a Trax station. Krissy Gilmore pointed out that the requested height is comparable to new development in the area, although smaller than adjacent properties. Also described was the composition of the building: variety in colors, materials, and horizontal and vertical massing, ground floor engagement, and the single parking garage access.

Krissy Gilmore stated that proposed ground floor engagement exceeds requirements and includes extensive landscaping but also includes benches and tables, which will need separate review as public way encroachments. The high number of parking spaces is partly explained by an agreement for shared parking with a neighboring building. She added that parking is internal and so is not disruptive to other businesses.

The applicants Grant Wise and Joe Torman reviewed the proposed project and praised staff assistance throughout the application process. They explained that the Lotus company currently has properties totaling over 300 existing dwelling units in mixed use multi-family projects and 280 under development. Grant Wise explained highlights of the project including the midblock walkway. Joe Torman added that the company's "hospitality" division would operate a restaurant on the ground floor of the property and that awnings and other features of the restaurant would require additional height. He referred to "six live-work units" in the midblock walkway, two retail spaces, a 'green bike' station, and a sky bridge.

Commissioner Brenda Scheer asked what the height of the fence between the midblock walkway and the restaurant would be. The applicant stated it would be roughly 3 feet. She asked that the plans be clarified to clearly reflect that height to avoid confusion regarding other fence requirements.

Chair Barry opened the public hearing.

PUBLIC HEARING

Seeing that no one wished to speak, Chair Barry closed the public hearing.

Commissioner Scheer stated that she was "not very happy" with the parking space increase. She wanted to know what had justified the shared agreement with the neighboring building that was basis for the parking increase. She said that the fact that parking was hidden was secondary to the need to promote pedestrian activity.

Commissioner Burrows said that she recognized the very creative efforts in using design features to justify the extension of the width of the building but stated that she felt that accommodations for exceeding zoning requirements should make affordable housing the priority. She suggested that if the large difference in street frontage, from 200 feet to 293 feet, were approved solely on design features then "who is ever going to do affordable housing to get an accommodation."

Commissioner Scheer agreed and stated that Commissioner Burrows had provided a very useful example to be used in discussion of a later agenda item.

Commissioner Ghent agreed with Commissioner Scheer's comments on the parking issue but praised the mixed-use elements of the building. She said that one parking spot per unit should be the standard. She added that "income restricted housing" should be dealt with separately, and that any new units add to the market and therefore help lower prices.

Commissioner Scheer asked for clarification on the levels occupied by the parking garage. The applicant replied that the ground floor, but primarily the second level, contained parking spots. Commissioner Scheer commented that, over time, converting some parking spaces to retail would be difficult.

Commissioner Lee requested clarification of the need of the neighboring building's need for a parking agreement. Joe Torman explained that, as a term of sale, that business had arranged to lease 75 parking spaces to compensate for spaces lost because part of the property purchased for the petition project included the lot the business used for parking. He stated that 75 spaces are the "minimum that they need."

Commissioner Scheer asked whether it would be possible to accommodate other businesses affected by the loss of on street parking. Commissioner Scheer suggested that the in-house restaurant, and tenant businesses would also need parking, adding that some public parking accommodations might be an appropriate condition of approval. Joe Torman said that those issues are under review but involve additional security measures. He said "we would be open" to the condition.

Commissioner De Oliveira said that public transit does not meet the needs of everyone in the city, he is not concerned about a high number of parking spaces.

Senior City Attorney Paul Nielson cautioned that because the building has met its own on-street parking requirements, linking a condition to replacing on-street parking suggests a "right" to on-street parking, and so, would be outside the Commissions parameters. He explained that "a benefit for a third party" is exceeding the scope of Planning Commission oversight.

Joe Torman suggested that spaces dedicated to the neighboring office building could be made available after business hours. Discussion between Commissioners Scheer, Barr and Bell resulted in the request that staff verify some paid public use of the parking spaces allocated to the neighboring office building--possibly restricted to non-business hours.

MOTION

Commissioner Brenda Scheer stated, "Based on the findings listed in the staff report, the information presented, and input received during the public hearing, I move that the Planning Commission approve the Design Review (PLNPCM2022-00442) and Planned Development (PLNPCM2022-00489) requests for the project located at approximately 28 W 700 S, with the conditions listed in the staff report plus the following modification that a portion of the parking area will be available for public use."

Commissioner Mike Christensen seconded the motion.

Commissioner Adrienne Bell made a friendly amendment that the details of the parking be delegated to staff. Commissioner Scheer accepted the amendment.

Vice Chair Maurine Bachman, Commissioners Jon Lee, Mike Christensen, Brenda Scheer, Adrienne Bell, Andra Ghent, Rich Tuttle, Andres Paredes, Levi de Oliveira, and Chair Amy Barry voted “yes”. Commissioner Aimee Burrows voted “no”.

The motion passed ten “yes” and one “no.”

Design Review at approximately 370 S West Temple - Brian Miller, of Solomon Cordwell Buenz Architects, representing the property owners, is requesting Design Review approval for a hotel at the above-stated address. The proposal is for a 10-story, 209-room hotel with restaurant and amenity space. The property is in the D-1 (Central Business District) zoning district. The project requires Design Review approval as it is proposed as approximately 129 feet tall. Mid-block buildings over 100' tall, are permitted only with Design Review approval by the Planning Commission. The subject property is located within Council District 4, represented by Ana Valdemoros. (Staff contact: Eric Daems at 801-535-7236 or eric.daems@slcgov.com) **Case number PLNPCM2022-00422**

Senior Planner Eric Daems reviewed the petition as outlined in the Staff Report. He stated that staff recommend approval as proposed because it is consistent with the master plan especially with regard to pedestrian engagement. Design review is required because the proposed building height is 129 feet in the D1 zone that requires a 100-foot limit for a mid-block structure. Eric Daems said that the proposed use is for a 10-story, 209-room hotel including a restaurant and other amenities. The property is shared by a future 28-story multi-family building. Both buildings would share parking.

Eric Daems said that compatibility with other structures is a key factor in design review. He identified a rather new two-story building to the north, and the proposed 28-story building to the south and explained varying rooflines, height, and setback as well as varying, massing and materials would offset the imbalance. The proposed structure would provide a step up from the smaller building and a step down from the taller one.

Commissioner Scheer wanted to know what the maximum height would be. Eric Daems replied that there is not a maximum height in the D1 zone, however, any proposed structure over 100 feet must have design review approval.

Michael Glenboski development manager for the applicant reviewed the specifics of the project. He clarified that the hotel and the 28-story structure would be companion projects. He cited a maximum height for the building of 112 feet' [That figure differs from the official staff calculation, but still in excess of the minimum height requirement.] In response to Commissioner Bell's question about the parking he said that the shared parking would use valet parking, so that guests would not enter the shared garage. Of the 342 parking spaces, 123 are designated for hotel use.