

L.A. ROSER

1975 W NORTH TEMPLE ST,
SALT LAKE CITY, UT 84116



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DR 4	EXTERIOR ELEVATIONS
DR 5	EXTERIOR ELEVATIONS

DESIGN REVIEW SUBMITTAL

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ERIC@ELEMENTALELECTRICALENGINEERS.COM
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FIRE DEPARTMENT

475 S 300 E
SALT LAKE CITY, UT 84111

VICINITY MAP



SCOPE OF WORK

THIS PROJECT WILL CONSIST OF A TWO-STORY ADDITION TO AN EXISTING OFFICE WAREHOUSE. L. A. ROSER IS AN INDUSTRIAL REFRIGERATION MANUFACTURING COMPANY. THE EXISTING OFFICE WAREHOUSE IS 12,086 SQUARE FEET. THE ADDITION WILL PROVIDE AN ADDITIONAL 10,971 SQUARE FEET OF OFFICE SPACE. THE TOTAL OF THE EXISTING AND ADDITION WILL BE 23,057 SQUARE FEET. THE EXISTING OFFICES WILL BE RELOCATED TO THE ADDITION. DURABLE EXTERIOR MATERIALS HAVE BEEN SELECTED TO COMPLIMENT THE EXISTING BUILDING. THE ADDITION WILL BE CONSTRUCTION TYPE VB.

ISSUE DATE	REV. DESCRIPTION	DATE
24.11.17	1	24.11.17
	2	

PROJECT NO.

23.137

DWN BY / CHK BY

Author

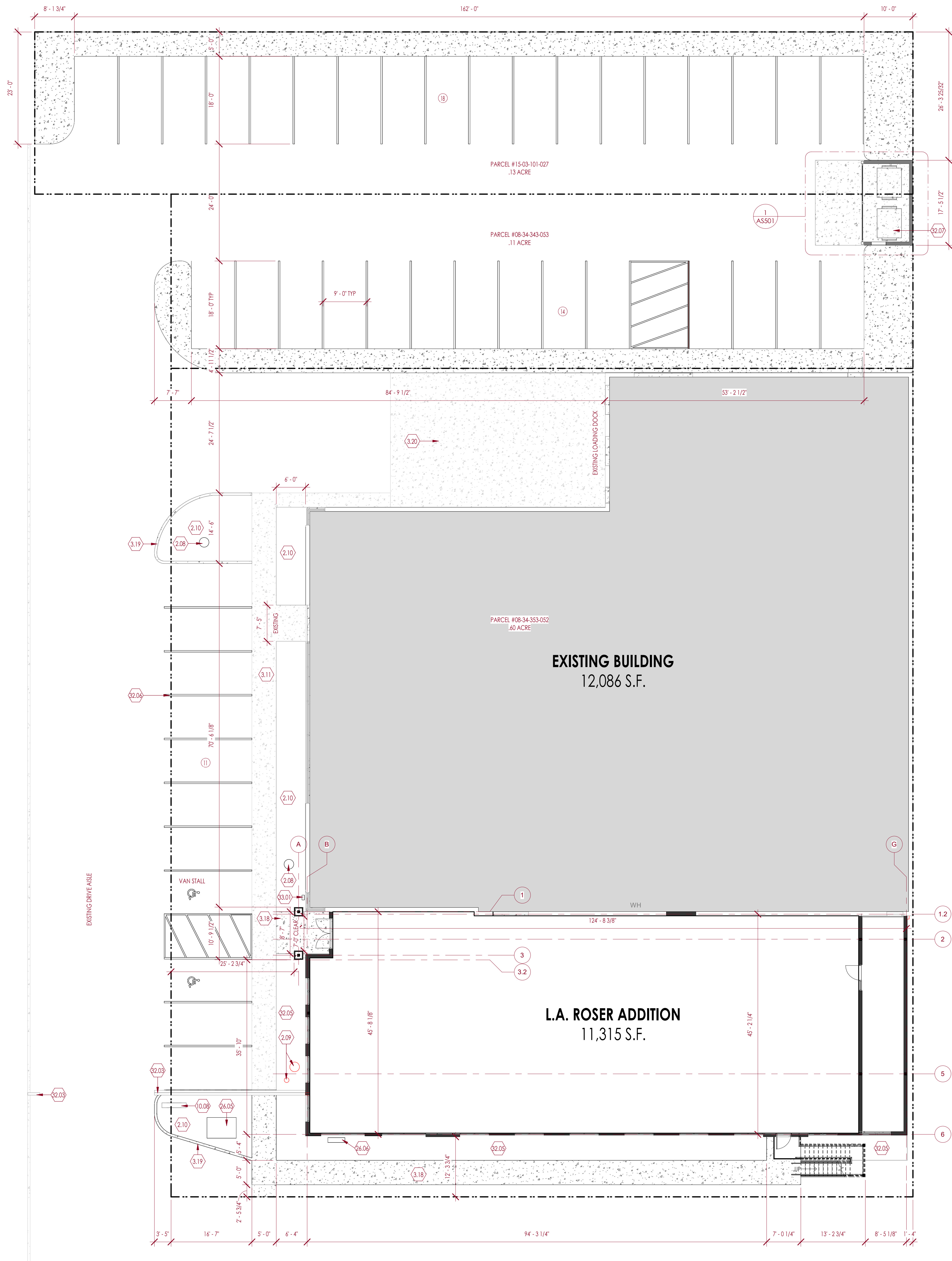
TITLE

COVER SHEET

24X36 SHEET #

DR 0

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SITE TABULATION	
ZONE:	TSA-MUEC
LOT / PARCEL INFO:	08-34-353-052, 08-34-343-053, 15-03-101-027
LOT AREA:	.6 ACRE + .11 ACRE + .13 ACRE = .84 ACRE
BUILDING AREA:	12,194 SF EXISTING + 10,983 SF NEW = 23,077 SF
SETBACKS:	NO MINIMUM, 50% OF STREET FACING BUILDING SHALL BE WITHIN 5' OF THE FRONT OR CORNER SIDE PROPERTY LINE

PARKING CALCULATION (21A.44.040)				
USE	SQUARE FOOTAGE	MINIMUM PARKING REQUIREMENT	MAXIMUM PARKING REQUIREMENT	PROVIDED
OFFICES	10,883 SF	NO MIN.*	22 (2 PER 1,000 SF)	22 STALLS
WAREHOUSE	12,086 SF	NO MIN.*	NO MAX.	21 STALLS
ADA PARKING STALLS		2	NO MAX.	2 STALLS
*NO MINIMUM PARKING REQUIRED DUE TO TRANSIT CONTEXT, SLC CODE OF ORDINANCES 24A.44.040			TOTAL	43 STALLS

COMMERCIAL DISTRICT DESIGN STANDARDS		
TSA-MUEC STANDARD	REQUIRED	PROVIDED
• GROUND FLOOR USE (FS)	80	/ 100
• DURABLE MATERIALS: GROUND FLOOR (FS)	90	/ 99
• DURABLE MATERIALS: UPPER FLOORS (FS)	60	/ 83
• GLASS: GROUND FLOOR (FS)	60	/ 60
• BUILDING ENTRANCE (FT)	40	/ 39
• BLANK WALL: MAXIMUM LENGTH (FT)	15	/ 6
• STREET FACING FACADE: MAXIMUM LENGTH (FT)	200	/ 48
• LIGHTING: EXTERIOR	X	/ X
• LIGHTING: PARKING LOT	X	/ X
• SCREENING OF MECHANICAL EQUIPMENT	X	/ X
• SCREENING OF SERVICE AREAS	X	/ X
• GROUND FLOOR RESIDENTIAL ENTRANCES FOR DWELLINGS WITH INDIVIDUAL UNIT ENTRIES	X	/ X

KEYNOTE LEGEND	
2.08	EXISTING TREE TO BE PROTECTED
2.09	EXISTING TREE TO BE DEMOLISHED
2.10	EXISTING LANDSCAPING TO BE REFRESHED
3.11	EXISTING SIDEWALK TO REMAIN
3.18	SIDEWALK, SEE CIVIL DRAWINGS
3.19	CONCRETE CURB, SEE CIVIL DRAWINGS
3.20	EXISTING CONCRETE RAMP TO REMAIN
10.08	EXISTING MONUMENT SIGN TO REMAIN
26.05	TRANSFORMER, SEE ELECTRICAL AND CIVIL DRAWINGS
26.06	ELECTRICAL METER, SEE ELECTRICAL AND CIVIL DRAWINGS
32.03	EXISTING ENTRY GATE TO REMAIN
32.05	LANDSCAPING
32.06	EXISTING PARKING LOT TO BE RESTRIPPED FOR PARKING LAYOUT
32.07	DUMPSTER ENCLOSURE, SEE DETAILS ON SHEET ASS01.
33.01	GAS METER, SEE CIVIL DRAWINGS

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ISS. DATE	REV. DESCRIPTION	DATE
	1	24/10/24

PROJECT NO.
23.137

DWN BY / CHK BY
Author

TITLE
ARCHITECTURAL SITE PLAN

30X42 SHEET #
DR 1

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COMMERCIAL DISTRICT DESIGN STANDARDS		
TSA-MUEC STANDARD	REQUIRED	PROVIDED
• GROUND FLOOR USE (F)	80 / 100	
• DURABLE MATERIALS: GROUND FLOOR (F)	90 / 99	
• DURABLE MATERIALS: UPPER FLOORS (F)	60 / 83	
• GLASS: GROUND FLOOR (F)	60 / 60	
• BUILDING ENTRANCE (F)	40 / 39	
• BLANK WALL: MAXIMUM LENGTH (F)	15 / 6	
• STREET FACING FACADE: MAXIMUM LENGTH (F)	200 / 48	
• LIGHTING: EXTERIOR	X / X	
• LIGHTING: PARKING LOT	X / X	
• SCREENING OF MECHANICAL EQUIPMENT	X / X	
• SCREENING OF SERVICE AREAS	X / X	
• GROUND FLOOR RESIDENTIAL ENTRANCES FOR DWELLINGS WITH INDIVIDUAL UNIT ENTRIES	X / X	

KEYNOTE LEGEND	
22.07	EXISTING WATER HEATER
22.08	EXISTING EYE WASH STATION
22.09	EXISTING STAND PIPE
26.02	EXISTING ELECTRICAL PANELS
26.06	ELECTRICAL METER, SEE ELECTRICAL AND CIVIL DRAWINGS
33.01	GAS METER, SEE CIVIL DRAWINGS

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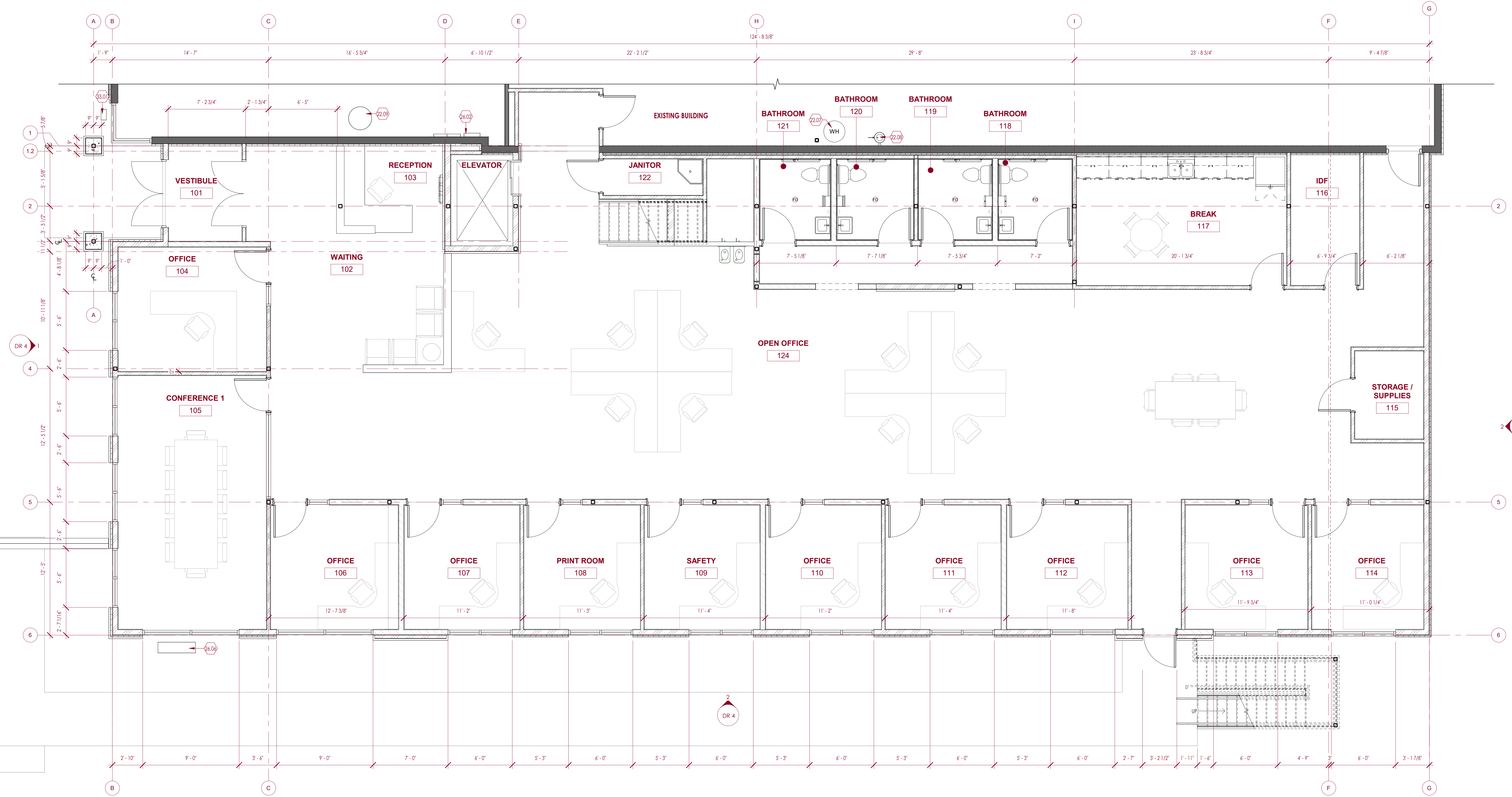
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ISSUE DATE	ISSUE DESCRIPTION	DATE	BY
12/10/24	DR 2		

PROJECT NO.	23.137
DWN BY / CHK BY	BC
TITLE	LEVEL 1 FLOOR PLAN
30X42 SHEET #	DR 2

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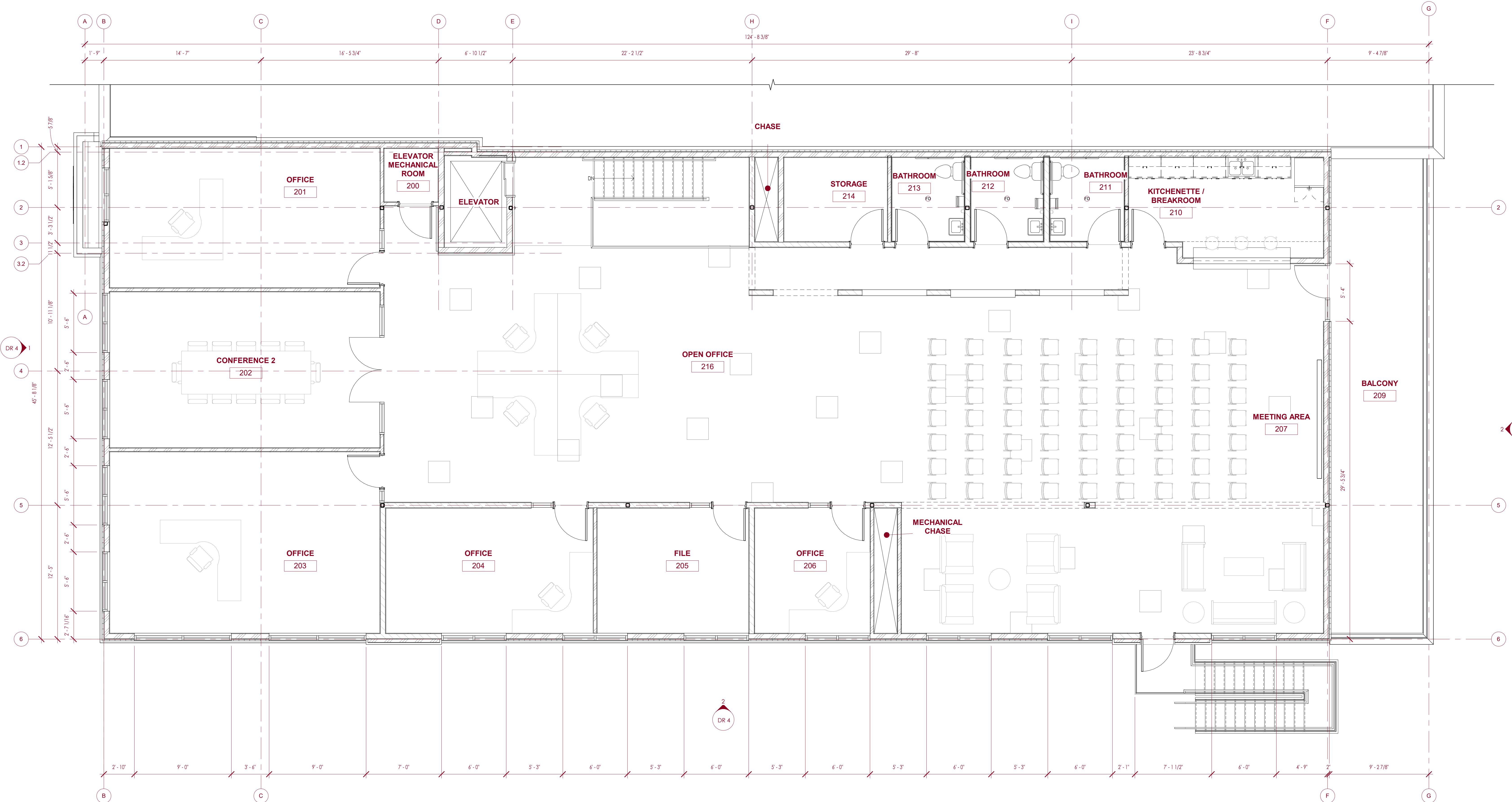
1 LEVEL 1 FLOOR PLAN
 DR 2
 1/4" = 1'-0"



COMMERCIAL DISTRICT DESIGN STANDARDS		
TSA-MUEC STANDARD	REQUIRED	PROVIDED
• GROUND FLOOR USE (F)	80	100
• DURABLE MATERIALS: GROUND FLOOR (%)	90	99
• DURABLE MATERIALS: UPPER FLOORS (%)	60	83
• GLASS: GROUND FLOOR (%)	60	60
• BUILDING ENTRANCE (F)	40	39
• BLANK WALL: MAXIMUM LENGTH (FT)	15	6
• STREET FACING FACADE: MAXIMUM LENGTH (FT)	200	48
• LIGHTING: EXTERIOR	X	X
• LIGHTING: PARKING LOT	X	X
• SCREENING OF MECHANICAL EQUIPMENT	X	X
• SCREENING OF SERVICE AREAS	X	X
• GROUND FLOOR RESIDENTIAL ENTRANCES FOR DWELLINGS WITH INDIVIDUAL UNIT ENTRIES	X	X

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1 LEVEL 2 FLOOR PLAN
 DR 3 1/4" = 1'-0"

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#	ISSUE DESCRIPTION	ISS. DATE	REV. #	REV. DESCRIPTION	DATE
1	ISSUE REVIEW		1	ISSUE REVIEW	24/10/24

PROJECT NO.	23.137
DWN BY / CHK BY	BC
TITLE	LEVEL 2 FLOOR PLAN
30X42 SHEET #	DR 3

KEYNOTE LEGEND	
2.04	EXISTING CONCRETE PANEL
2.05	REVEAL IN EXISTING CONCRETE PANEL PAINT TO MATCH PANEL
2.06	EXISTING STOREFRONT SYSTEM
5.05	RAILING, PAINTED EF-7
5.12	CORNICE, SEE FINISH SCHEDULE
6.19	ELEVATOR ENCLOSURE
8.01	STOREFRONT DOOR, SEE DOOR SCHEDULE ON SHEET A601
8.02	STOREFRONT SYSTEM, SEE WINDOW SCHEDULE ON SHEET A602
8.07	HOLLOW METAL DOOR PAINT TO MATCH WALL, SEE DOOR SCHEDULE ON SHEET A601
10.10	BUILDING SIGNAGE PER OWNER, PROVIDE POWER, SEE ELECTRICAL DRAWINGS

COMMERCIAL DISTRICT DESIGN STANDARDS		
TSB-WUEC STANDARD	REQUIRED	PROVIDED
• GROUND FLOOR USE (%)	80 /	100
• DURABLE MATERIALS: GROUND FLOOR (%)	90 /	99
• DURABLE MATERIALS: UPPER FLOORS (%)	60 /	83
• GLASS: GROUND FLOOR (%)	40 /	39
• BUILDING ENTRANCE (FT)	15 /	6
• BLANK WALL: MAXIMUM LENGTH (FT)	200 /	48
• STREET FACING FACADE: MAXIMUM LENGTH (FT)	X /	X
• LIGHTING: EXTERIOR	X /	X
• LIGHTING: PARKING LOT	X /	X
• SCREENING OF MECHANICAL EQUIPMENT	X /	X
• SCREENING OF SERVICE AREAS	X /	X
• GROUND FLOOR RESIDENTIAL ENTRANCES FOR DWELLINGS WITH INDIVIDUAL UNIT ENTRIES	X /	X

FINISH CALCULATION BY FACADE				
MATERIAL	NORTH	SOUTH	EAST	WEST
EF-1	39%	21%	19%	16%
EF-2	12%	1%	8%	0%
EF-3	14%	5%	3%	17%
EF-4	5%	6%	4%	5%
EF-5	0%	15%	17%	0%
EF-6	1%	44%	15%	40%
EF-7	1%	0%	0%	0%
OPENINGS	27%	6%	33%	1%

EXTERIOR FINISH MATERIAL LEGEND					
MARK	MATERIAL	MANUFACTURER	SERIES	COLOR	NOTES
EF-1	METAL PANEL	BERRIDGE	BR-12 PANEL	CHARCOAL	30 YEAR MANUFACTURER WARRANTY
EF-2	STONE VENEER	ELDORADO STONE	FIELDLIDGE	ANDANTE	GROUT TO BE MODERN GRAY SW 7832
EF-3	BFS	SYNERGY	TBD	410 SNOW	
EF-4	METAL	BERRIDGE	TBD	MATCH EXISTING	
EF-5	PAINT	SHERWIN WILLIAMS	TBD	PAINT CONCRETE PANEL TO MATCH EF-1	
EF-6	PAINT	SHERWIN WILLIAMS	TBD	PAINT CONCRETE PANEL TO MATCH EF-3	
EF-7	PAINT	SHERWIN WILLIAMS	TBD	PAINT METAL TO MATCH EF-1	

FINISH DESCRIPTION:		FINISH NOTES:	
EF-1	FINISH TAG	1.	

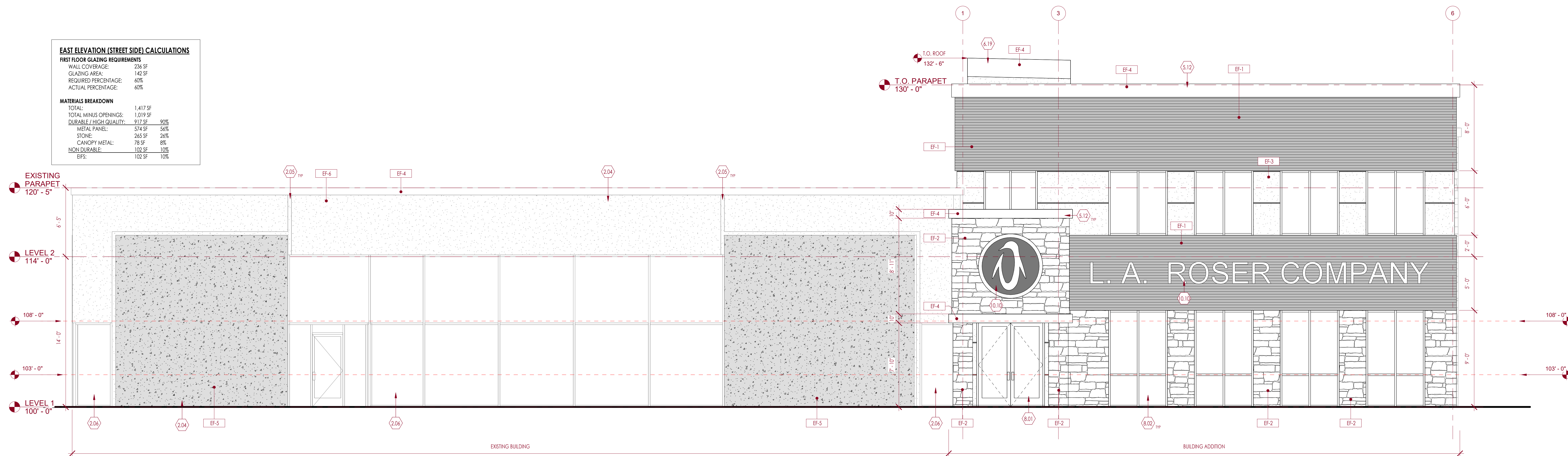
EAST ELEVATION (STREET SIDE) CALCULATIONS

FIRST FLOOR GLAZING REQUIREMENTS

WALL COVERAGE: 236 SF
 GLAZING AREA: 142 SF
 REQUIRED PERCENTAGE: 60%
 ACTUAL PERCENTAGE: 60%

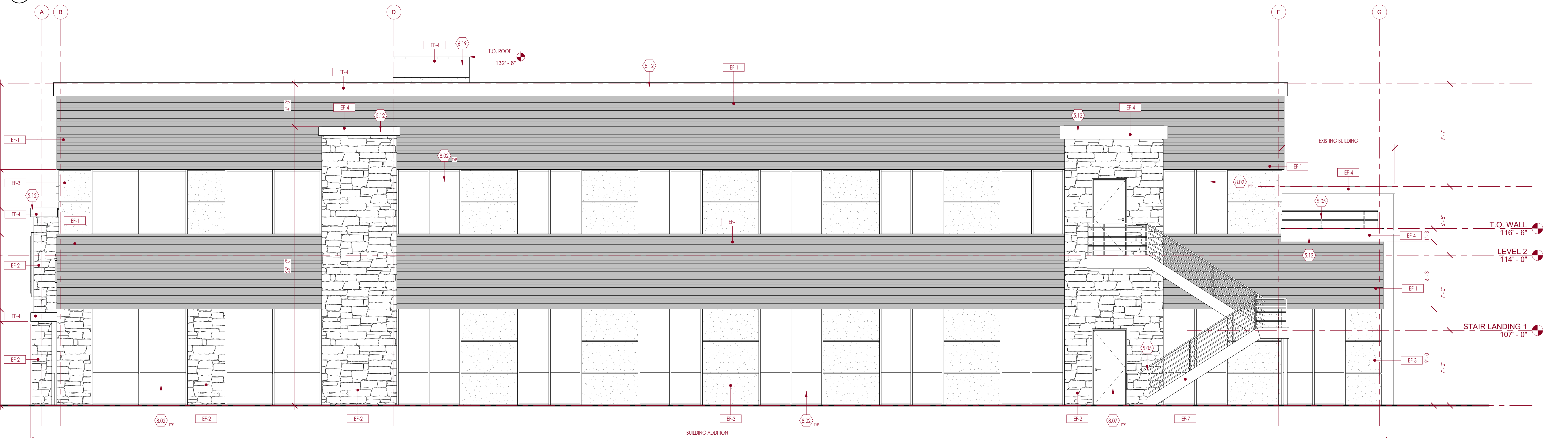
MATERIALS BREAKDOWN

TOTAL: 1,417 SF
 TOTAL MINUS OPENINGS: 1,019 SF
 DURABLE / HIGH QUALITY: 917 SF 65%
 METAL PANEL: 574 SF 41%
 STONE: 265 SF 19%
 CANOPY METAL: 78 SF 6%
 NON DURABLE: 102 SF 7%
 BFS: 102 SF 7%



1 EXTERIOR ELEVATION - EAST - STREET FACING

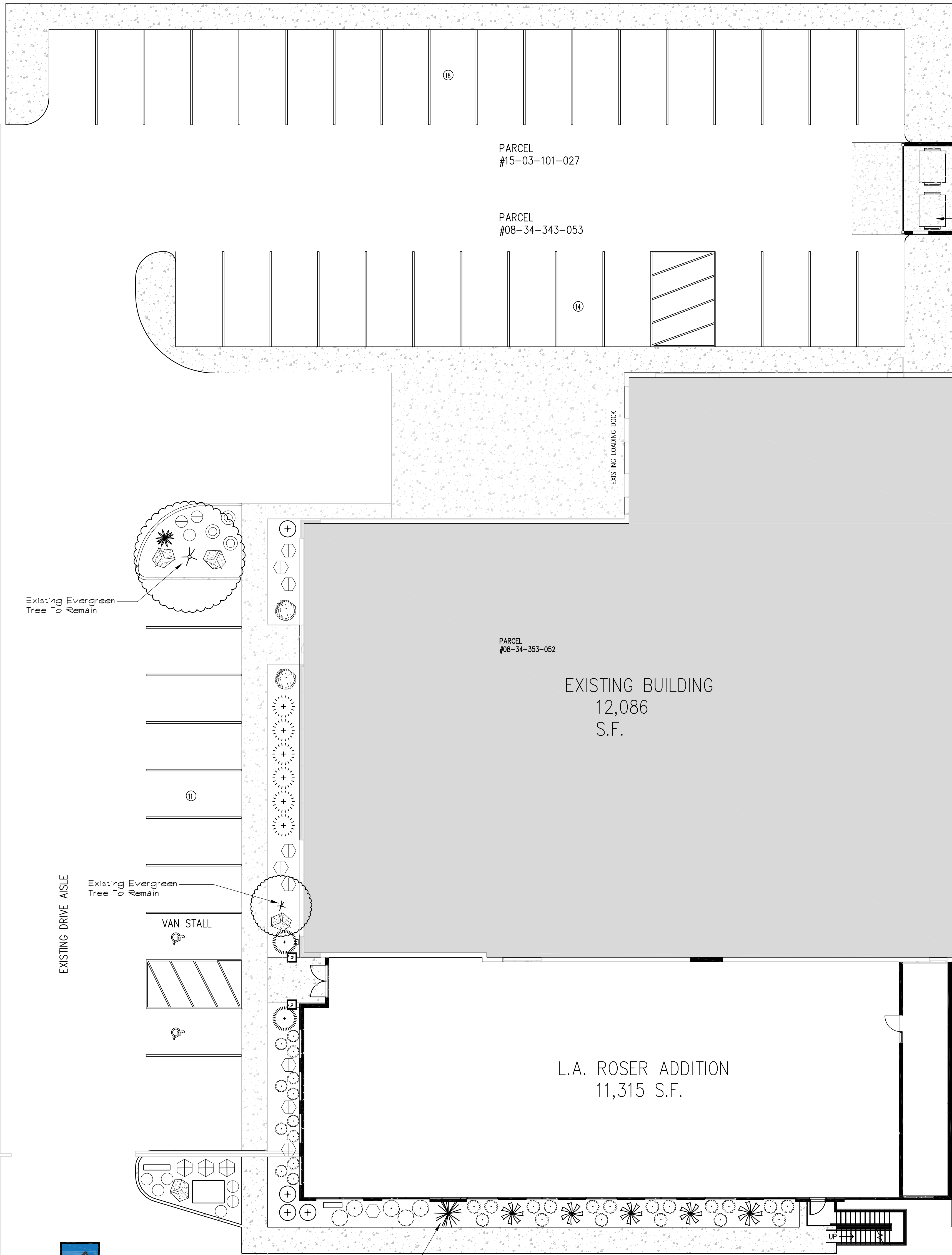
DR 4 1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH

DR 4 1/4" = 1'-0"

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 Landscape Architect
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 Salt Lake City, Utah 84105
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 Scale : 1" = 10'-0"



Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1		<i>Picea abies</i> 'Cupressina'	Columnar Norway Spruce	8' Height B 4 B	Full Throughout Specimen

Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
5		<i>Buxus microphylla</i> 'Winter Gem'	Winter Gem Boxwood	5 Container 15"-18" Height	
5		<i>Cornus alba</i> 'Elegantissima'	Variiegated Dogwood	5 Container 18"-24" Height	
30		<i>Cornus sericea</i> 'Kelsey'	Kelsey Dwarf Dogwood	5 Container 15"-18" Height	
2		<i>Hydrangea pan.</i> 'QuickFire'	Quickfire Hydrangea	5 Container 18"-24" Spread	
2		<i>Rosa x.</i> 'Knock Out 'Radrazz'	Radrazz Knock Out Rose	5 Container 24"-30" Height	
4		<i>Spiraea Japonica</i> 'Neon Flash'	Neon Flash Spiraea	5 Container 15"-18" Height	
4		<i>Taxus media</i> 'Dark Green'	Dark Green Spreading Yew	5 Container 18"-24" Spread	
1		<i>Yucca filamentosa</i> 'Colorguard'	Colorguard Yucca	5 Container 15"-18" Height	

Plant List (ORNAMENTAL GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
3		<i>Calamagrostis a.</i> 'Avalanche'	Avalanche Feather Grass	5 Container 18"-24" Height	
10		<i>Calamagrostis a.</i> 'Karl Foerster'	Karl Foerster Feather Grass	5 Container 24"-30" Height	
3		<i>Fenisetum alopecur.</i> 'Hamel'	Hamel Dwarf Fountain Grass	5 Container 12"-15" Height	

Plant List (PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
3		<i>Hemerocallis x.</i> 'Stella d'Oro'	Stella d'Oro Day Lily	1 Container 12" Ht. Full Can	
3		<i>Lavandula sp.</i> 'Hidcote'	Hidcote Lavender	1 Container 12" Ht. Full Can	
3		<i>Salvia</i> 'May Night'	May Night Garden Sage	1 Container 12" Ht. Full Can	

Planting Notes

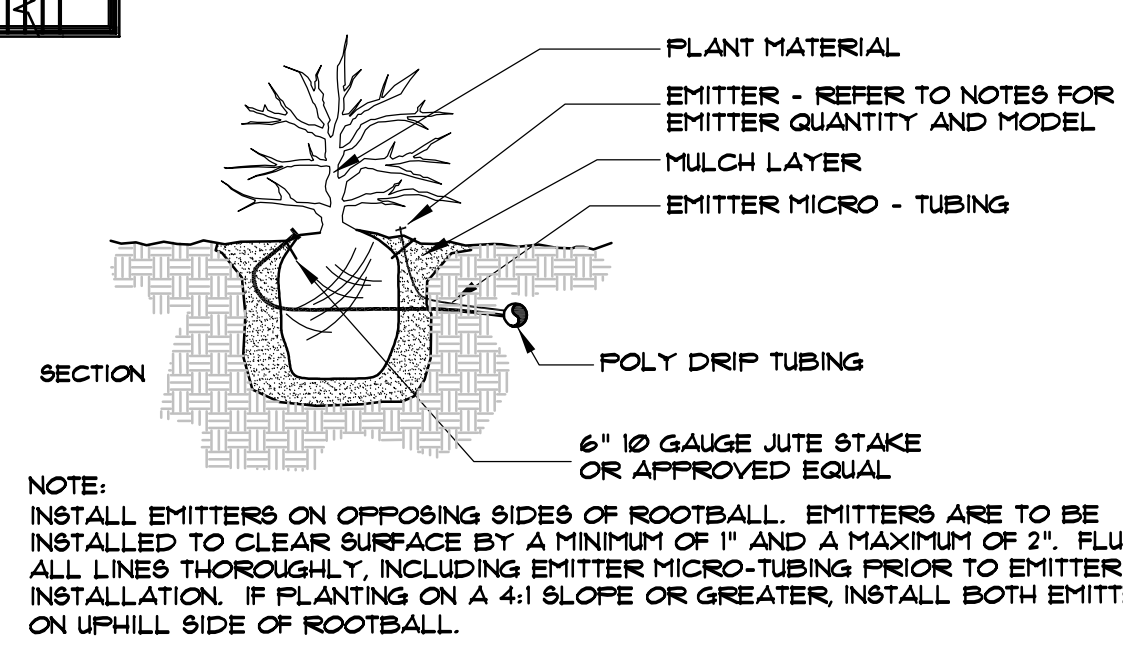
- All planting areas shall receive an 8 inch depth of topsoil. Topsoil material is not available at the site and must be imported from an approved local source. All topsoil material shall be of a sandy loam mix.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer between existing and new soils.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation.
- Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone surfacing over DuSitt Pro-5 weed barrier fabric. A pre-emergent herbicide shall be applied beneath the fabric, as well as on top of the fabric or decorative stone following installation.
- In decorative planting areas have an acceptable depth of topsoil for plant growth, prepare the remainder of planter bed to receive the 4 inch depth of decorative stone and weed barrier fabric.
- Landscape maintenance shall be required for a period of 30 days minimum following the date of project acceptance, and shall include weeding, pruning, and one herbicide and plant fertilizer application.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.

Sub-Grade Requirements

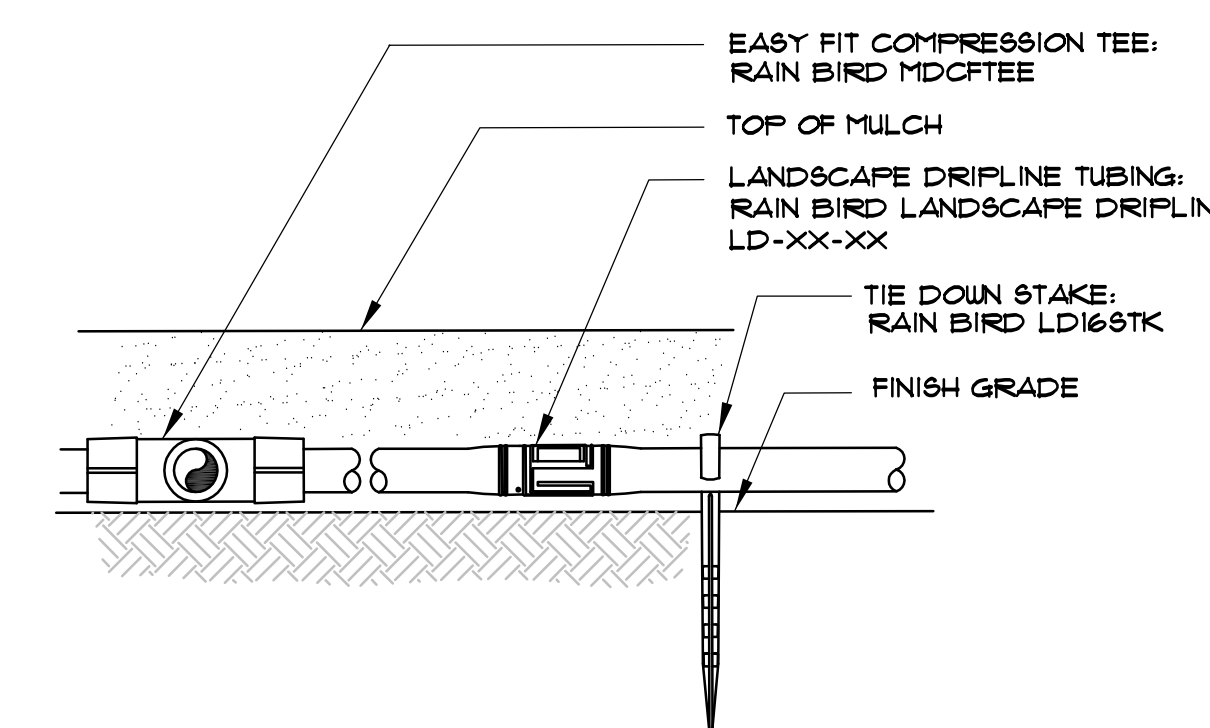
- PLANTING AREAS :** Twelve (12) inches below finish grade. This will allow for the installation of an 8 inch depth of import topsoil along with a 4 inch depth of decorative stone over the weed barrier fabric. If existing planting areas have an acceptable depth of topsoil for plant growth, prepare the remainder of planter bed to receive the 4 inch depth of decorative stone and weed barrier fabric.

Sprinkler Notes / Design Build

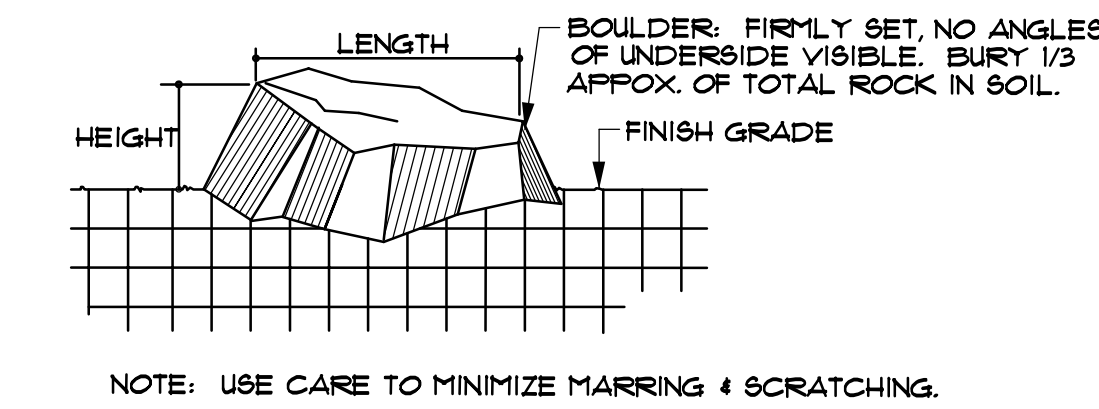
- All planting areas shall be irrigated with "drip" type irrigation, either point source and/or in-line drip emitter tubing. The contractor shall determine the exact amount of emitter devices and/or emitter drip line for the type of plant materials installed.
- Drip control zone kits shall be 3/4" or 1" size, depending on the total gpm use for planting areas. It is suggested that plants on the north side of the new building be controlled by a separate control valve, as opposed to those on the east side of the existing and new buildings.
- The contractor shall investigate the existing irrigation system for the exact point of connection, controller location, as well as control valve and main service line locations. These will be necessary in order to determine any changes needed to the existing system, as well as how to be incorporated into all new planting areas.
- If the existing system does not have an up to date backflow prevention device, a new and plumbing code approved backflow preventer (reduced pressure type) shall be installed per Utah state plumbing codes.
- If a new controller is required, provide a "Water Sense" certified product, with WiFi module option and accompanying rain-freeze sensor.
- All sprinkler lines passing under paved and other hard surfaces shall be installed in schedule 40 pvc sleeves a minimum of two sizes larger than the pipe size to pass through it. The sleeve depth shall be the same as the deepest pipe to pass through.
- Upon completion of the installation, provide the Owner with a complete set of "As-Built" drawings showing any and all deviations from the original plans. It shall also show the locations of main service lines, control valves, wire routes, as well as sleeving installations.
- It shall be the responsibility of the sprinkler contractor to demonstrate to the Owner the proper winterization and start-up procedures for the entire system prior to final payment.
- The contractor shall comply with all state and local plumbing codes, and shall honor all warranties and guarantees set forth by the Owner.



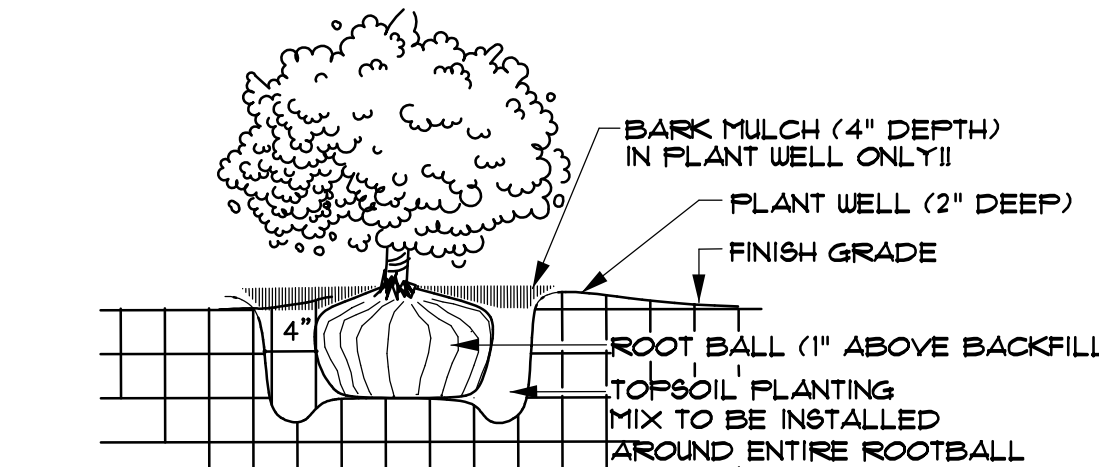
1 Drip Emitter
N. T. S.



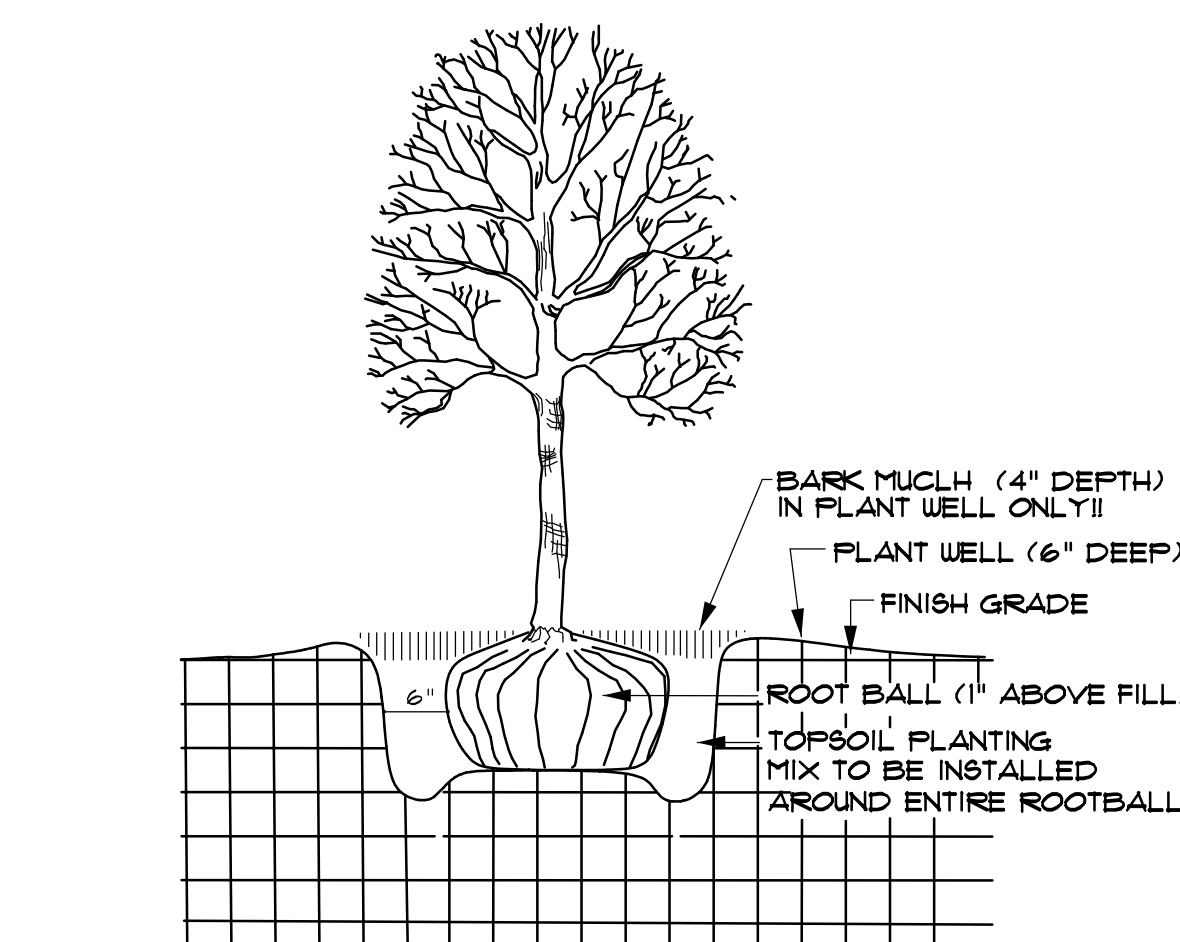
6 Landscape Dripline On Grade
N. T. S.



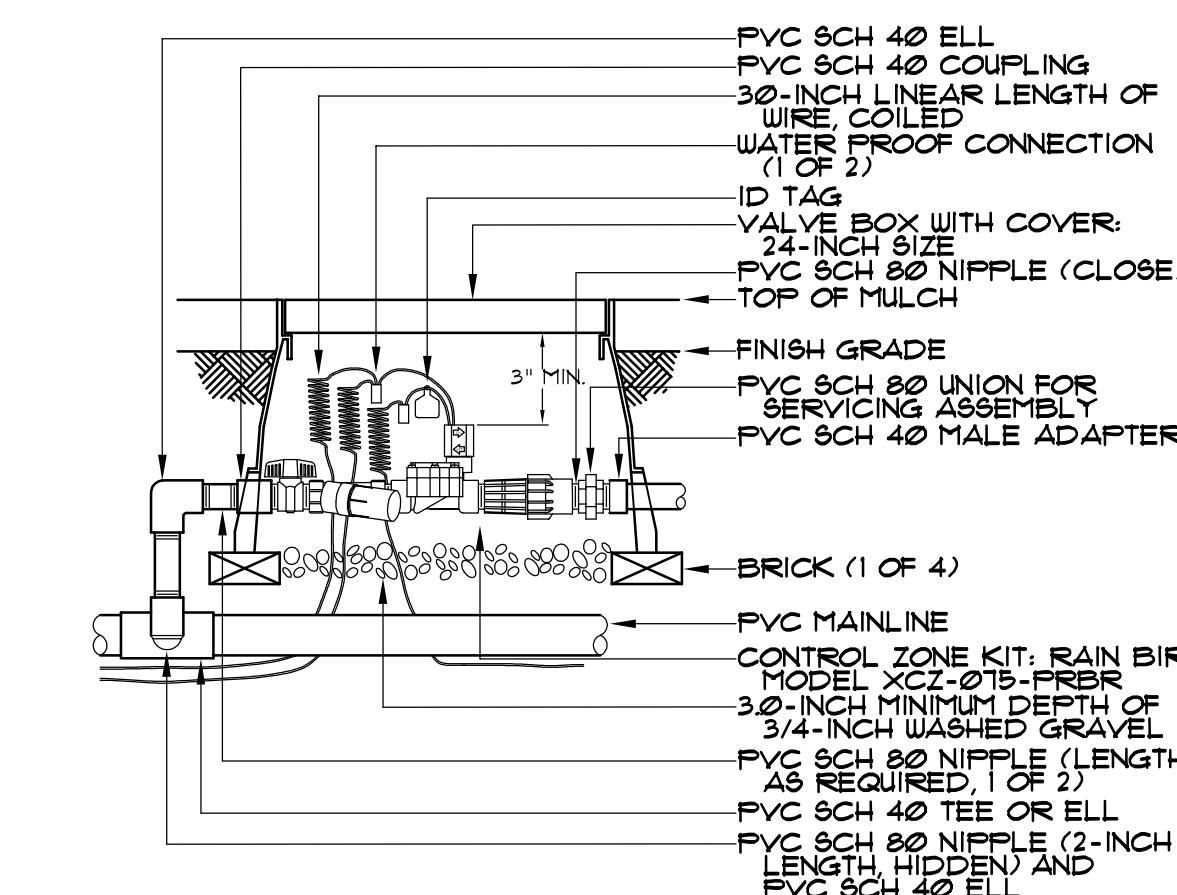
1 Decorative Boulder
N. T. S.



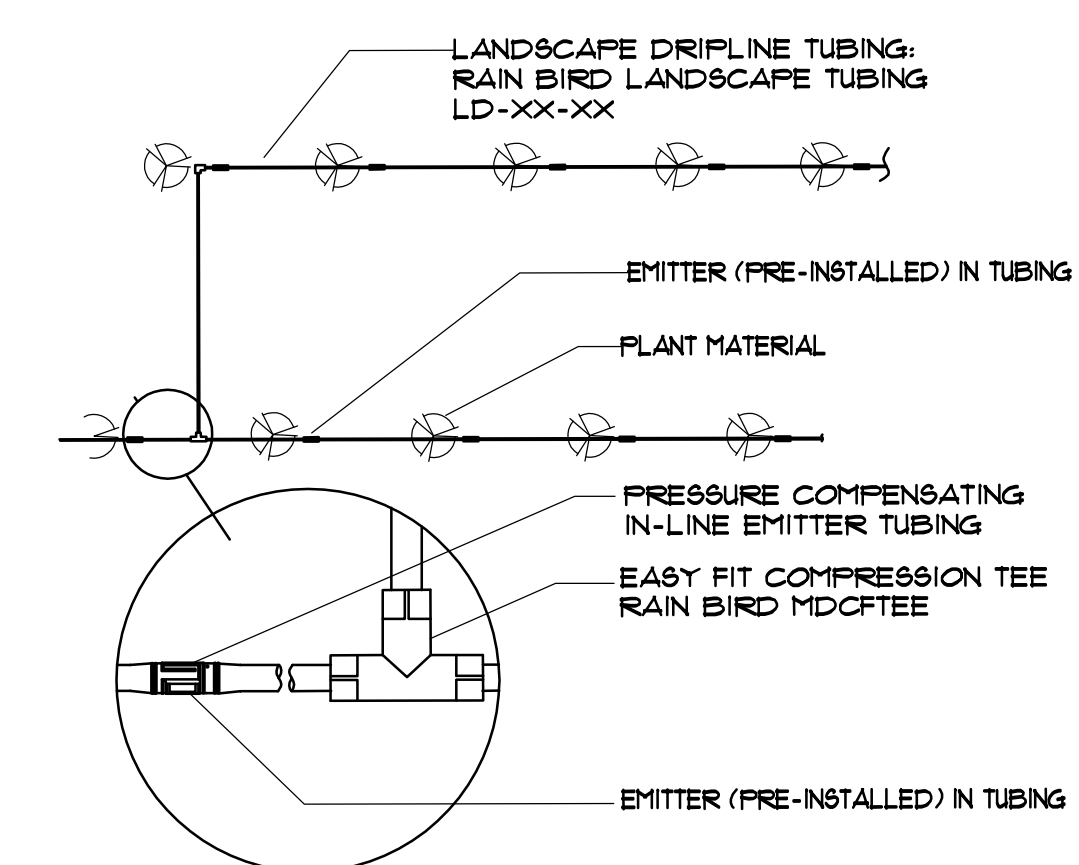
2 Shrub Planting
N. T. S.



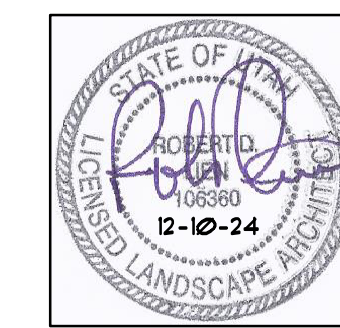
3 Tree Planting
N. T. S.



4 Xerigation Control Zone Kit
N. T. S.



5 Landscape Dripline At Shrubs
N. T. S.



PRINTED DATE
12-10-2024

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CHRONOLOGY

PROJECT NO.
23.137

DWN BY/CHK BY
RDL/RDL

TITLE
Landscape Plan

L101