

ZONING: **CG - GENERAL COMMERCIAL**
 CURRENT USES OF PROPERTIES WITHIN 85 FEET: DISTRIBUTION, WAREHOUSE, STORAGE

ARCHITECT / CONSULTANT

NOT FOR CONSTRUCTION

PROJECT DESCRIPTION
GIV SUNRISE METRO - PHASE 2 TOWER

580 SOUTH 500 WEST
 SALT LAKE CITY, UT 84101

SHEET NAME:
VICINITY MAP

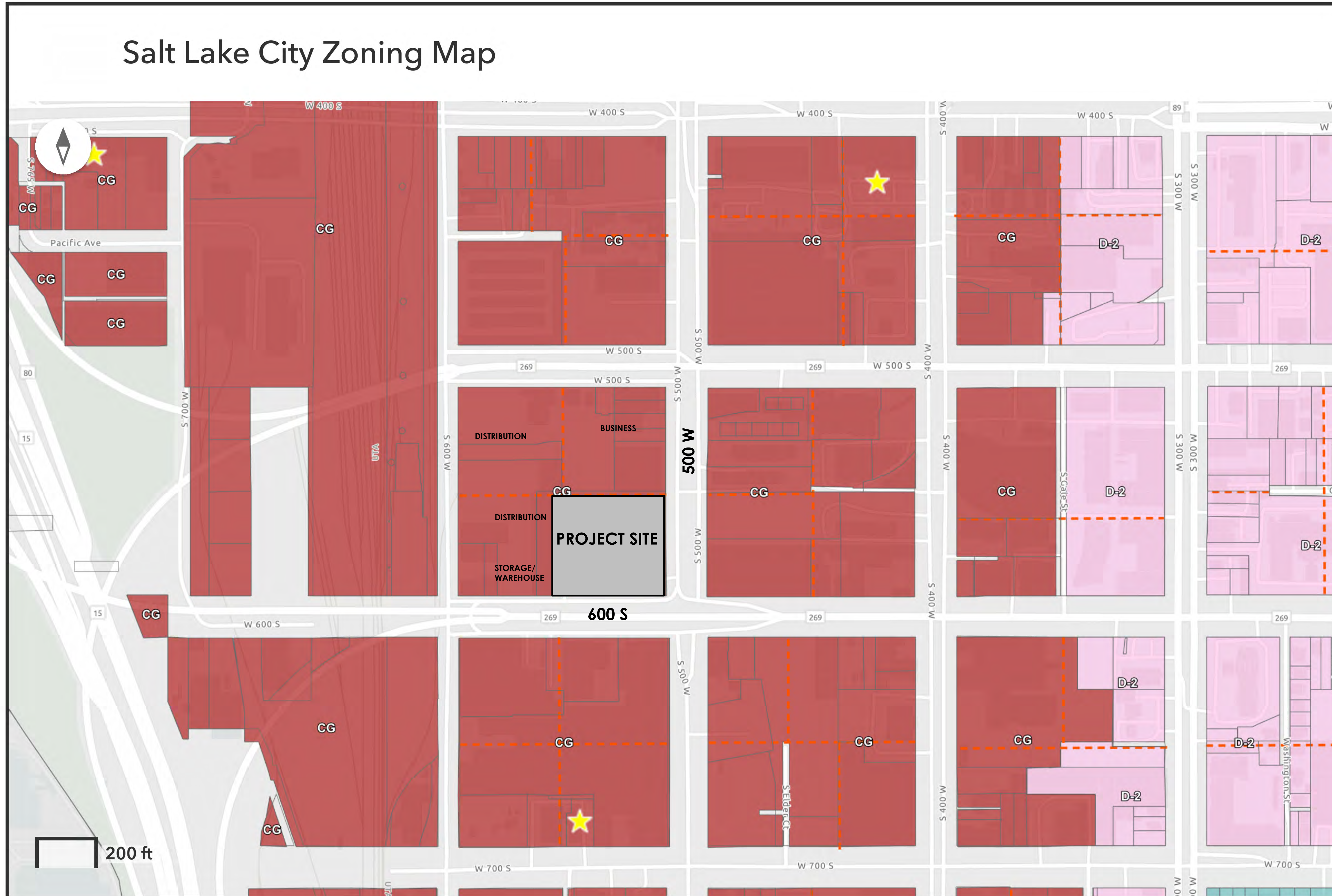
REVISIONS
 MARK DATE DESCRIPTION

ISSUE DATE: 12/12/2024
 ISSUE TYPE: DD SET
 DRAWN BY: ajc
 CHECKED BY: K. RIGBY
 PROJECT#: 2024-04

SHEET NUMBER:

PD 09

Salt Lake City Zoning Map

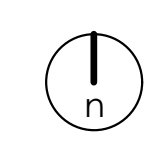


C:\Users\cljano\Documents\2024-04 GIV SUNRISE METRO_NEW_V24 FACADE SCHEME

12/13/2024 2:03:43 AM 2_detailed_DJANAVN3JU.rvt

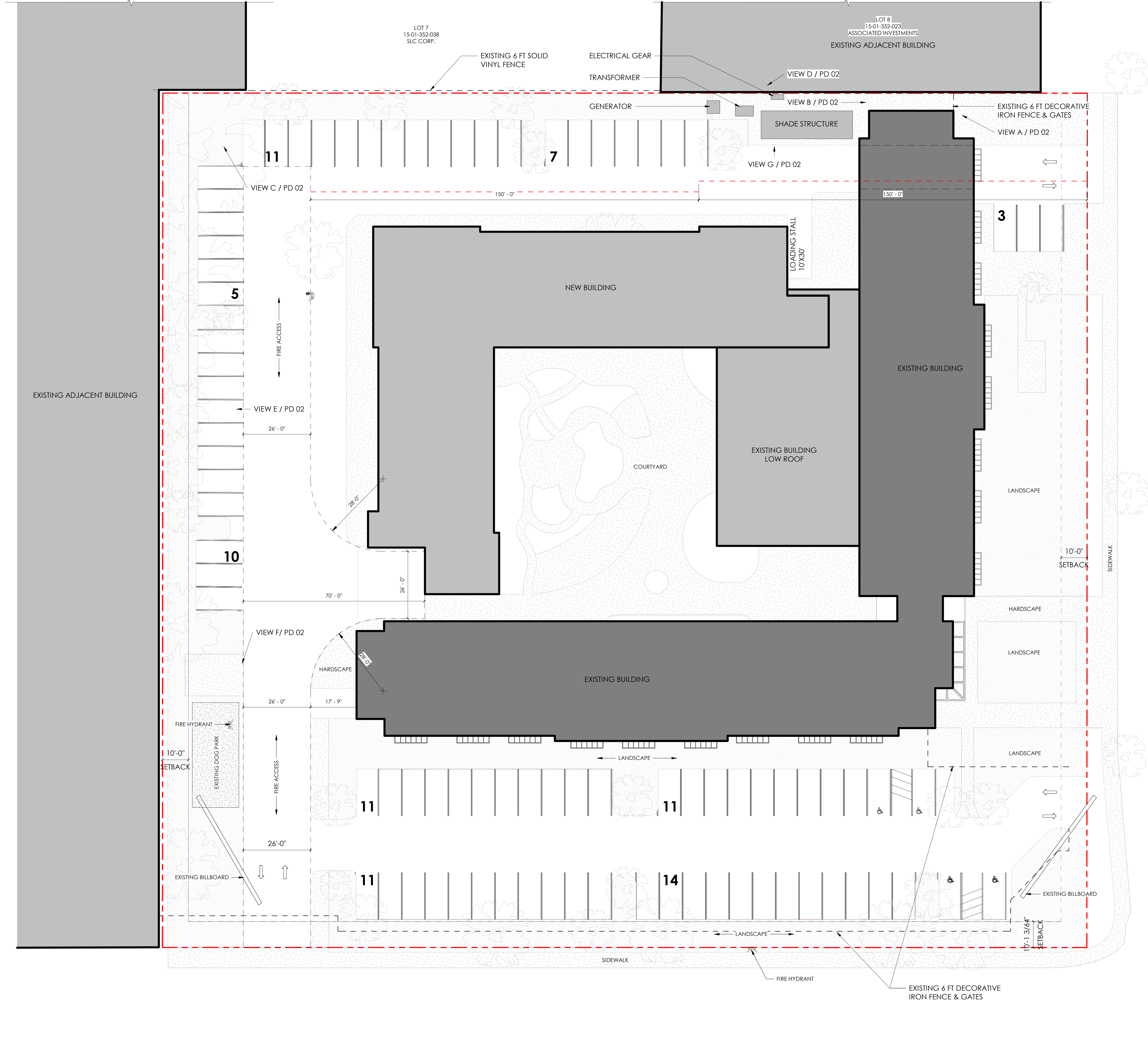
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1 VICINITY MAP
 1" = 160'-0"

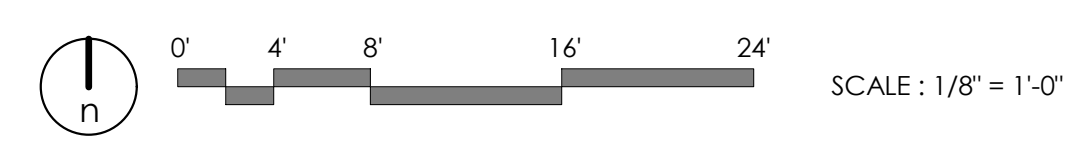


C:\Users\djiana\Documents\2024-04 GIV SUNRISE METRO_NEW_V24 FACADE SCHEME

12/13/2024 2:02:14 AM 2 detached DJIANAV31U.rvt
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1 ARCHITECTURAL SITE PLAN
 1/16" = 1'-0", DWG REF: A300



GENERAL NOTES

SEE SHEET G001 FOR DRAWING INDEX.
 SEE SHEET G002 FOR GENERAL NOTES AND ABBREVIATIONS.
 DO NOT SCALE DRAWINGS.
 CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

ZONING REQUIREMENTS

CG - MULTI FAMILY AFFORDABLE HOUSING

SETBACKS

500 WEST STREET CHOSEN FRONT	5 FT (MIN) - 10 FT (MAX)
FRONT:	10 FT
BACK:	NONE
INTERIOR SIDE:	10 FT
CORNER SIDE:	5 FT ON ALL FRONT AND CORNER YARDS
LANDSCAPE REQUIRED:	

PARKING REQUIREMENTS

CURRENT PARKING:	99 STALLS
CITY REQUIREMENTS + 36 COMMITTED STALLS:	198 STALLS
RECOMMENDED PARKING BASED ON LOCAL DEMAND + 36 STALLS:	83 STALLS (4 ADA STALLS)

MIDBLOCK WALKWAY

15' PEDESTRIAN ONLY WITH 6" MIN UNOBSTRUCTED

ALLOWANCES: COLONNADES, STAIRCASES, SKYBRIDGE AT 3RD, 4, OR 5 STORY, BALCONIES 3RD STORY OR ABOVE, ARCH ELEMENTS THAT PROVIDE WEATHER REFUGE BUILDING OVERHANGS BETWEEN 9' AND 14' ABOVE THE SIDEWALK, MIN 6' DEPTH OF 6'

MAX BUILDING HEIGHT

REQUIRED:	150 FT
PROVIDED:	85 FT

DESIGN STANDARDS

75% COVERAGE OF A 20 YEAR MIN WARRANTY MATERIAL

GROUND FLOOR:

- GLASS=40%
- 20 YEAR MATERIAL = 70%
- USE VISUAL INTEREST = 70/20%
- ENTRANCE = 40 FEET
- BLANK WALL MAX = 20'
- STREET FACING FACADE MAX = 200'

UPPER FLOOR:

- GLASS=25%
- REFLECTIVE GLASS= 40%
- BUILDING MATERIALS = N/A
- TREE CANOPY COVERAGE = 40%

SITE SIZE

TOTAL ACREAGE	2.70
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BUILDING FOOTPRINT SIZE

BUILDINGS FOOTPRINT	33,964 SF
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SITE COVERAGE

TOTAL ACREAGE	2.70 ACRES	
OFF STREET PARKING & DRIVEWAY AREA (ASPHALT)	38,681 SF	32%
HARDSCAPE	18,076 SF	15%
LANDSCAPE	26,500 SF	22%

DENSITY

DENSITY = TOTAL DWELLING UNITS / TOTAL LAND AREA (IN ACRES)
 DENSITY = 218 / 2.70
DENSITY = 80.7 UNITS PER ACRE



ARCHITECT / CONSULTANT

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PROJECT DESCRIPTION
GIV SUNRISE METRO - PHASE 2 TOWER

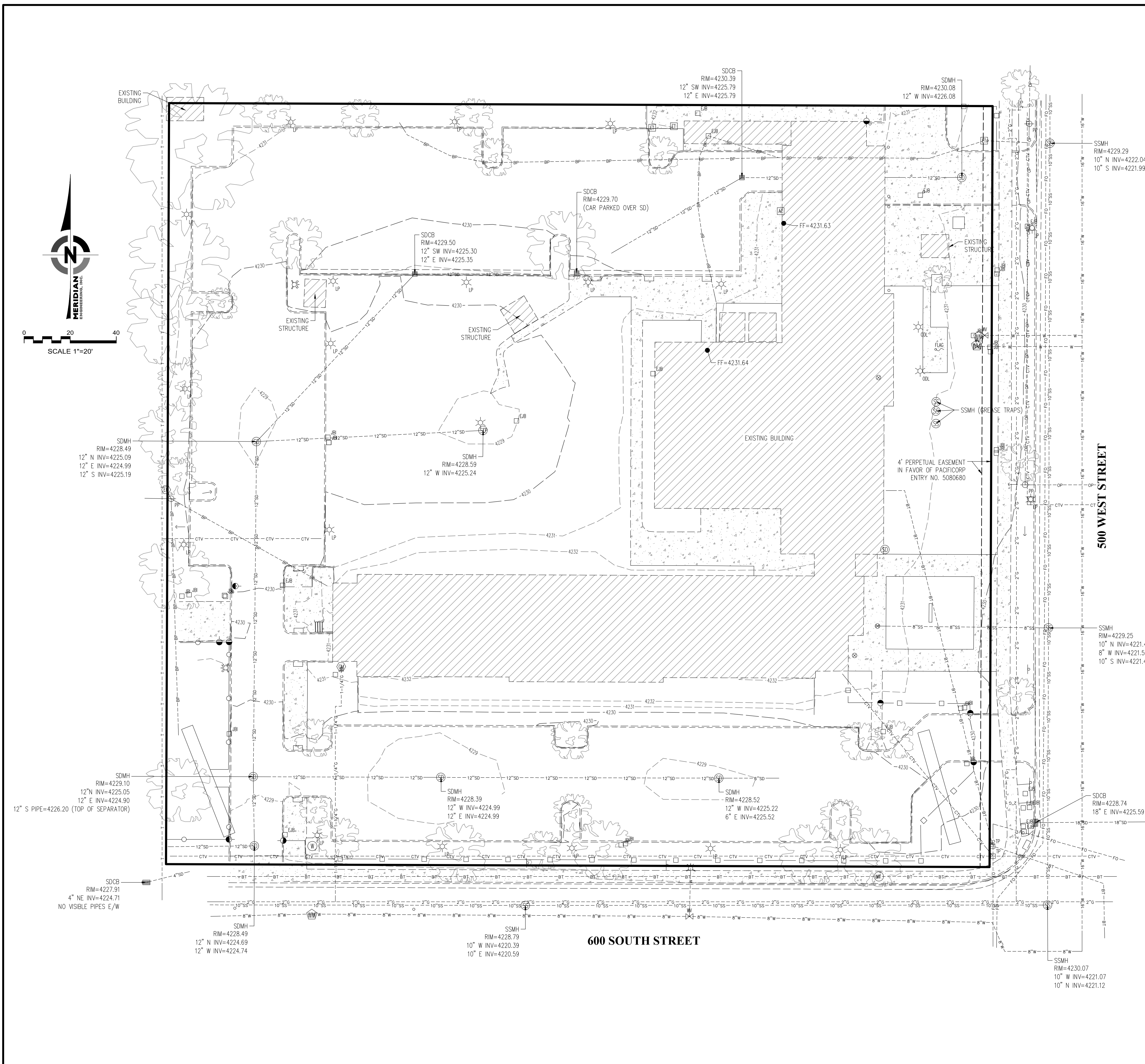
580 SOUTH 500 WEST
 SALT LAKE CITY, UT 84101

SHEET NAME:
ARCHITECTURAL SITE PLAN

REVISIONS
 MARK DATE DESCRIPTION

ISSUE DATE: **12/12/2024**
 ISSUE TYPE: **DD SET**
 DRAWN BY: **ajc**
 CHECKED BY: **K. RIGBY**
 PROJECT#: **2024-04**

SHEET NUMBER:
PD 01



- EXISTING TOPO NOTES:
- THIS SURVEY WAS CONDUCTED BY MERIDIAN ENGINEERING, INC. IN MARCH OF 2024.
 - THE LOCATIONS OF UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS AS SHOWN HEREON ARE BASED ON ABOVE GROUND APPURTENANCES VISIBLE AT THE TIME OF THE SURVEY TO THE SURVEYOR. EXACT LOCATIONS OF UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS MAY EXIST.
 - ELEVATIONS, SIZES, TYPES AND CONDITIONS OF UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS AS SHOWN ON THIS PLAT ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED WITH THE APPROPRIATE AGENCY OR CONTROLLING PARTY BEFORE DESIGN OR CONSTRUCTION.
 - ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS, FACILITIES, DEPOSITS OR DISPOSALS THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
 - UNLESS OTHERWISE SHOWN, NO ATTEMPT HAS BEEN MADE AS PART OF THIS PLAT AND THE SURVEY ON WHICH IT IS BASED TO DISCLOSE THE LOCATIONS, SIZE, TYPE OR CONDITION OF ANY TREE, HEDGE, GROUND COVER, LAWN, PLANTINGS OR ANY OTHER LANDSCAPING OR SPRINKLER HEADS, PIPES OR ANY APPURTENANT PARTS THEREOF. ADDITIONAL LANDSCAPING OR IRRIGATION FACILITIES MAY EXIST.
 - CONTRACTOR MUST OBTAIN A PERMIT BEFORE BEGINNING WORK WITHIN THIRTY FEET OF AN ESTABLISHED COUNTY SURVEY MONUMENT, PER UTAH STATE CODE 17-23-14 SUBSECTIONS 2 AND 4.

LEGEND

---BP---	BP	EXISTING BURIED POWER LINE
---OP---	OP	EXISTING OVERHEAD POWER LINE
---SD---	SD	EXISTING STORM DRAIN LINE
---SS---	SS	EXISTING SEWER LINE
---W---	W	EXISTING WATER LINE
---T---	T	EXISTING TELEPHONE LINE
---BT---	BT	EXISTING BURIED TELEPHONE LINE
---CTV---	CTV	EXISTING CABLE LINE
---FO---	FO	EXISTING FIBER OPTIC LINE
---G---	G	EXISTING GAS LINE
---CL---	CL	EXISTING CHAIN LINK FENCE
---DC---	DC	EXISTING DECORATIVE FENCE
---		EXISTING CURB & GUTTER
XXXX		EXISTING MAJOR CONTOUR LINE
XXXX		EXISTING MINOR CONTOUR LINE
[Hatched Box]		EXISTING CONCRETE
[Hatched Box]		EXISTING BUILDING
[Square]	EB	EXISTING ELECTRICAL BOX
[Square]	IB	EXISTING IRRIGATION BOX
[Circle]	TP	EXISTING TELEPHONE PEDESTAL
[Circle]	SM	EXISTING SEWER MANHOLE
[Circle]	SDM	EXISTING STORM DRAIN MANHOLE
[Circle]	WM	EXISTING WATER MANHOLE
[Circle]	CO	EXISTING CLEAN OUT
[Circle]	CB	EXISTING CATCH BASIN
[Circle]	WM	EXISTING WATER METER
[Circle]	GM	EXISTING GAS METER
[Circle]	EM	EXISTING ELECTRICAL METER
[Circle]	LP	EXISTING LIGHT POLE
[Circle]	ODL	EXISTING OUTDOOR DECORATIVE LIGHT
[Circle]	PP	EXISTING POWER POLE
[Circle]	GP	EXISTING GUY WIRE
[Circle]	FP	EXISTING FLAG POLE
[Circle]	GP	EXISTING GATE POST
[Circle]	SI	EXISTING SIGN
[Circle]	B	EXISTING BOLLARD
[Circle]	ET	EXISTING ELECTRICAL TRANSFORMER
[Circle]	AC	EXISTING AIR CONDITIONER
[Circle]	WV	EXISTING WATER VALVE
[Circle]	IV	EXISTING IRRIGATION VALVE
[Circle]	FD	EXISTING FIRE HYDRANT
[Circle]	PT	EXISTING PINE TREE
[Circle]	DT	EXISTING DECIDUOUS TREE

COMP. FILE	23327_Extopo
PROJECT NO.	23327
SHEET NO.	1 OF 1
TOPOGRAPHIC SURVEY	
PROJECT ADDRESS: 580 S. ST 500 W. ST, SALT LAKE CITY, UT 84101	
SITUATE IN THE SOUTHWEST 1/4 OF SECTION 1, T.1S, R.1W, S.L.B&M	
GIV COMMUNITIES	
50 N STREET 600 W STREET	
SALT LAKE CITY, UT 84116	
MERIDIAN ENGINEERING, INC.	
1628 SOUTH LAKESIDE BLVD SUITE 102	
SALT LAKE CITY, UT 84119	
PHONE (801) 566-1315 FAX (801) 569-1319	
REVISIONS	
NO.	
DATE	04-JUNE-2024
CHECKED	TRW
SURVEYED	MS
DRAWN	SH
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BY	
DATE	



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ARCHITECT / CONSULTANT

NOT FOR CONSTRUCTION

PROJECT DESCRIPTION
SUNRISE METRO HOUSING PROJECT
PHASE II DESIGN

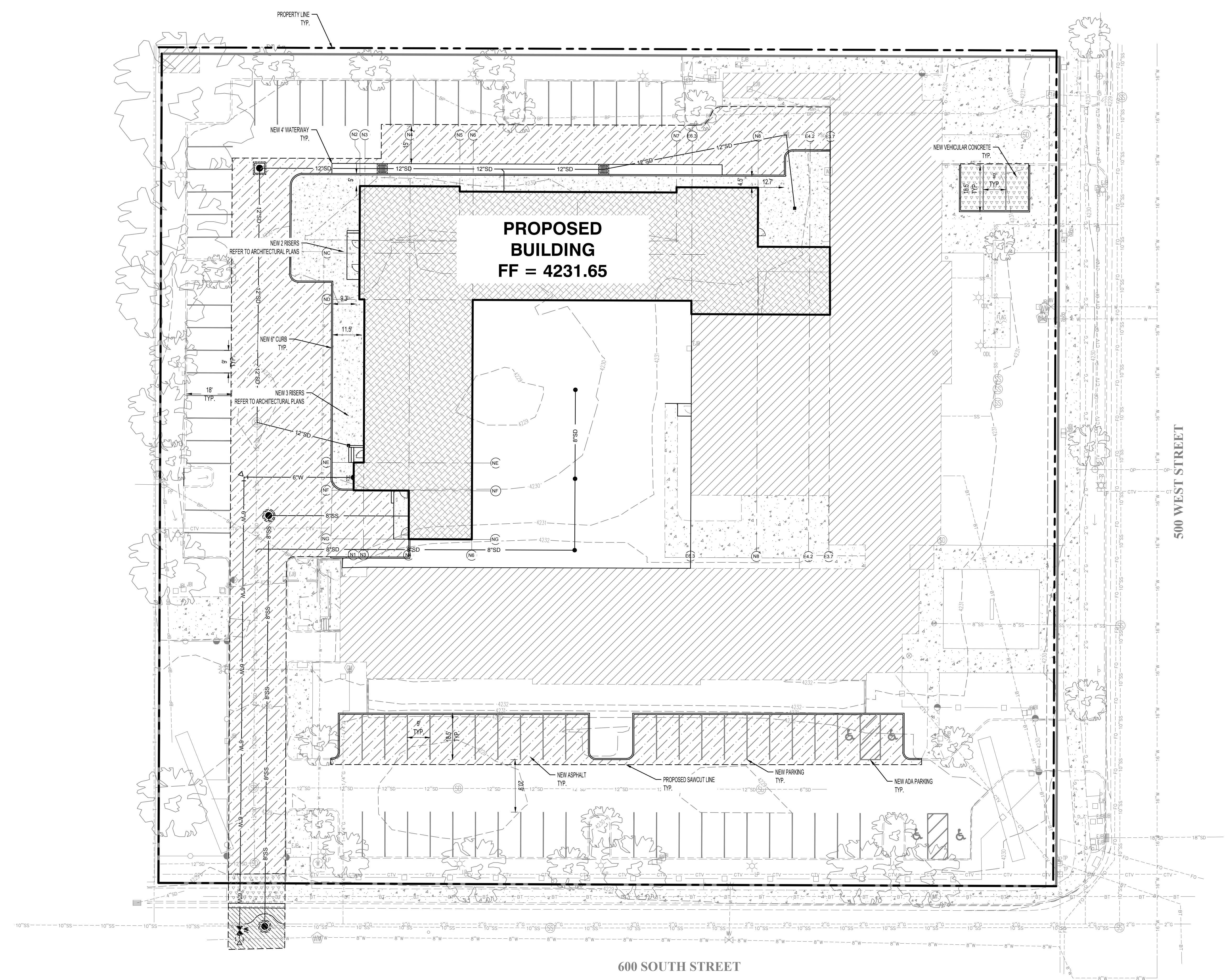
580 SOUTH 500 WEST
 SALT LAKE CITY, UT 84101

SHEET NAME:
SITE LAYOUT

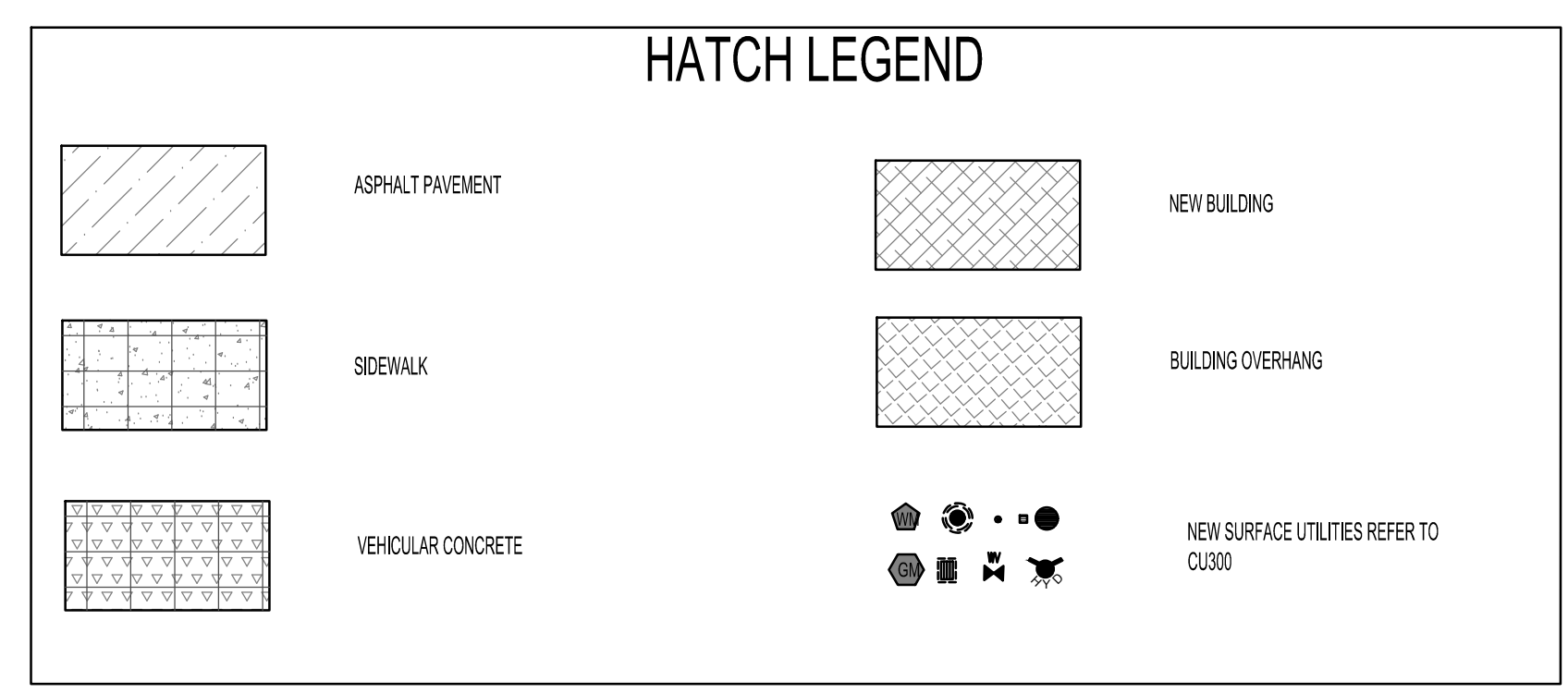
REVISIONS
 MARK DATE DESCRIPTION

ISSUE DATE: 10.31.2024
 ISSUE TYPE: DD SET
 DRAWN BY: CCC
 CHECKED BY: MAC
 PROJECT #: 23327

SHEET NUMBER:
CS230

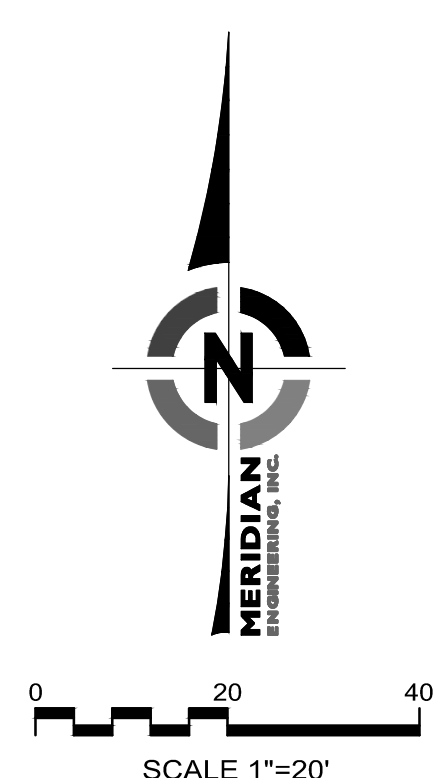
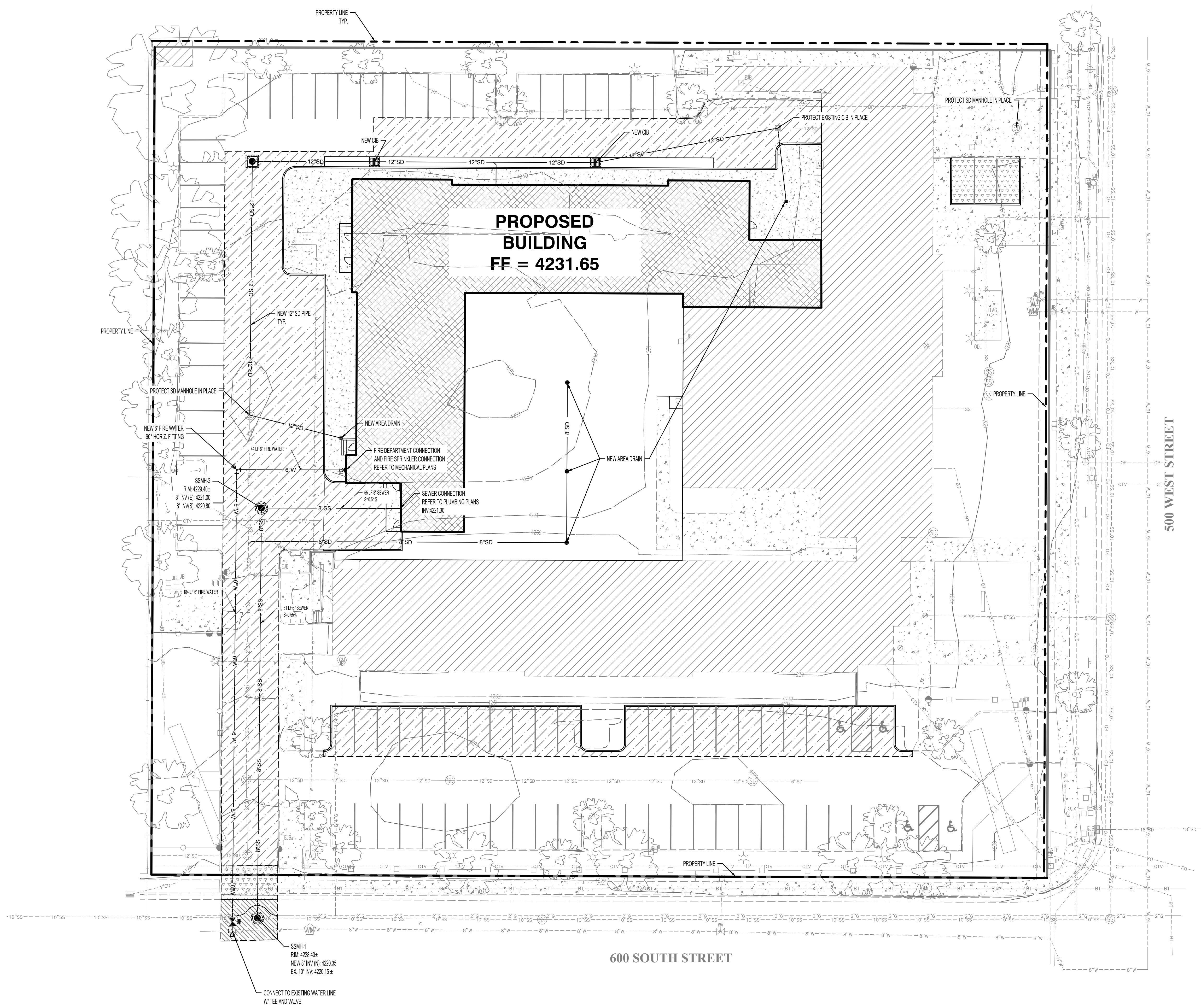


- GENERAL SITE LAYOUT NOTES:
- REFER TO ARCHITECTURAL SITE PLAN FOR DETAIL OF DUMPSTER ENCLOSURE.
 - REFER TO ELECTRICAL PLANS FOR TRANSFORMER LOCATIONS AND LIGHTING.
 - REFER TO LANDSCAPE PLANS FOR LAYOUT OF PLANTINGS.
 - VERIFY THE GRID DISTANCES SHOWN FOR BUILDING LOCATIONS WITH ARCH PLANS.
 - ALL PAVEMENT REPAIR TO MEET REQUIREMENT STANDARD DETAILS ON C100.
 - TRANSITION CURB FROM STANDARD CURB HEIGHT TO CURB TERMINATION OVER 6" MINIMUM AT ALL LOCATIONS.
 - REPAIR/CONSTRUCT DRIVE APPROACHES PER CITY STANDARDS.
 - CURVE AND LINE DATA IS BASED ON THE TOP BACK OF CURB AND FRONT OF SIDEWALK.



ALL LEGAL DESIGNATIONS, ARRANGEMENTS AND PLANS INCORPORATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AJC ARCHITECTS PC AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE IN CONNECTION WITH THE WRITTEN AGREEMENTS AND/OR CONTRACTS BETWEEN AJC ARCHITECTS PC AND THE CLIENT. ANY REUSE OF THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF AJC ARCHITECTS PC IS STRICTLY PROHIBITED. THIS DRAWING IS THE PROPERTY OF AJC ARCHITECTS PC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF AJC ARCHITECTS PC. THIS DRAWING IS THE PROPERTY OF AJC ARCHITECTS PC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF AJC ARCHITECTS PC.





GENERAL UTILITY NOTES:

- PLUMBING CONTRACTOR WILL TERMINATE THEIR ROOF DRAIN LINES WITH A CLEAN OUT APPROXIMATELY 5' FROM THE BUILDING. COORDINATE WITH PLUMBING CONTRACTOR ON SCHEDULE AND PLACEMENT OF ROOF DRAIN LINES NEAR THE BUILDING.
- ALIGN ALL INTERIOR AND EXTERIOR UTILITIES. SITE UTILITY CONTRACTOR TO COORDINATE PLACEMENT HORIZONTALLY AND VERTICALLY WITH BUILDING PLUMBING CONTRACTOR. SITE "INTERFACE LINE" BETWEEN THE BUILDING PLUMBING CONTRACTOR AND THE SITE UTILITY CONTRACTOR WILL BE AT 5' FROM THE BUILDING AND EXCEPT FOR THE FIRE SPRINKLER LINE A CLEAN OUT WILL BE INSTALLED BY THE PLUMBING CONTRACTOR APPROXIMATELY 5' FROM THE BUILDING FOR STORM DRAIN AND SEWER LINES. CONNECTION TO BUILDING PIPING AND ALL PIPING BEYOND THE INTERFACE SHALL BE THE SITE UTILITY CONTRACTOR'S RESPONSIBILITY. PROVIDE REDUCERS, ADAPTERS, OR OTHER FITTINGS AS REQUIRED AT THE INTERFACE TO CONNECT TO BUILDING PIPE. COLLECT ROOF DRAIN LINES AS SHOWN AND ROUTE TO NEW CATCH BASINS OR CLEAN OUTS ON SITE. PREFERRED SLOPES, APPROXIMATE DISTANCES, AND INVERTS OF GRAVITY PIPING ARE SHOWN ON THE PLAN AND REQUIRE ADJUSTMENT TO CONNECT TO BUILDING ROOF OR SEWER DRAIN LINES. MAINTAIN 2% SLOPE FOR 4" DIAMETER OR SMALLER PIPES, 1% FOR 6" AND 0.5% FOR 8" DIAMETER PIPES.
- ALL PROPOSED SITE ELECTRICAL EQUIPMENT STRUCTURES AND LINES SHOWN ON CIVIL PLANS ARE SCHEMATICALLY SHOWN ONLY AS A COORDINATION BETWEEN ELECTRICAL AND CIVIL. PLEASE REFER DIRECTLY TO ELECTRICAL PLANS FOR THE LAYOUT AND DETAILS OF ALL SITE ELECTRICAL EQUIPMENT AND LINES.
- SITE CONTRACTOR SHALL COORDINATE WITH SALT LAKE CITY PUBLIC UTILITIES WHEN COMPLETING THE SEWER CONNECTION.
- SITE CONTRACTOR SHALL COORDINATE WITH SALT LAKE CITY PUBLIC UTILITIES INSPECTOR WHEN COMPLETING WATER CONNECTIONS IN CITY STREETS OR ON SITE WHERE REQUIRED.
- ALL CONSTRUCTION IN THE CULINARY WATERLINE AND SANITARY SEWER LINE ZONE SHALL COMPLY WITH ALL SALT LAKE CITY PUBLIC UTILITIES SPECIFICATIONS AND REQUIREMENTS. SEE GENERAL NOTES ON SHEET CIVIL WHERE THURST BLOCKING CANNOT BE COMPLETED DUE TO OTHER ADJACENT UTILITIES OR OTHER SITE CONSTRAINTS. RESTRAINED JOINTS WILL BE REQUIRED PER SALT LAKE CITY PUBLIC UTILITIES STANDARD SPEC. THURST BLOCK ALL WATERLINE FITTINGS PER SALT LAKE CITY PUBLIC UTILITIES STANDARD SPEC.
- COORDINATES FOR FIRE HYDRANTS, CURB INLETS, CATCH BASINS, OR CLEAN OUTS ARE AT THE CENTER OF THE UTILITY STRUCTURE. ALL STORM DRAIN BOXES ARE 3'X3' UNLESS OTHERWISE NOTED OR THOSE INLETS PLACES IN CURB AND GUTTER.
- ALL VALVES, AREA CATCH BASINS (NOT IN C&B), CLEAN OUTS, OR MANHOLES SHALL HAVE CONCRETE GRADE ADJUSTMENT COLLARS PLACED PER DETAIL ON CIVIL.
- STORM DRAIN CLEAN OUTS TO BE SIMILAR TO DETAIL SHOWN ON PLUMBING PLANS AND SHALL BE EXTENDED TO GRADE. ALL EXTERIOR ROOF DRAIN PIPING TO BE CAST IRON SOIL PIPE AND FITTINGS IN ACCORDANCE WITH ASTM A 74.
- ROOF DRAIN CONNECTIONS AT CATCH BASINS OR CLEAN OUT BOXES TO BE CORE DRILLED AND EPOXY GROUTED INTO PRECAST BOXES DUE TO FIELD ADJUSTMENTS WHICH MAY BE NECESSARY TO CONNECT TO BUILDING PIPING. 3" 84" INTERIOR ROOF DRAIN PIPE TO BECOME 4" OR 6" STORM DRAIN PIPE. 5" 84" INTERIOR ROOF DRAIN PIPE TO BECOME 6" STORM DRAIN PIPE.
- THE FIRE SPRINKLER LINE SHALL BE ROUTED INTO THE FIRE SPRINKLER ROOM INSIDE THE BUILDING AND TERMINATE 12" ABOVE FINISH FLOOR WITH A 6" FLANGE. CAP WITH BLIND FLANGE FOR LINE TESTING. REFER TO PLUMBING PLANS FOR RISER LOCATION IN THE BUILDING. THE FIRE SERVICE LINE SHALL BE CEMENT LINER DUCTILE IRON PIPE PER AWWA C151 30 PSI AND AWWA C104 WRAPPED IN POLYETHYLENE (PER AWWA C105) FROM THE BUILDING CONNECTION TO THE TEE AT THE FIRE LOOP CONNECTION PER CITY WATER STANDARD SPECIFICATIONS AND DETAILS.
- ALL CONSTRUCTION, PIPING MATERIALS AND INSTALLATION TO BE:

WATER LINES:

- 6" FIRE SPRINKLER LINE PER CITY STANDARD
- SEWER LINES, MANHOLES, AND CLEANOUTS
- APWA AND SEWER DISTRICT STANDARDS WITH STANDARD FITTINGS AND CLEANOUTS.
- MANHOLES AND CLEANOUTS TO SALT LAKE CITY PUBLIC UTILITIES STANDARDS. PVC PIPING, PRECAST MANHOLES.

STORM DRAIN:

- APWA AND SALT LAKE CITY PUBLIC UTILITIES STANDARD. RCP FOR 12" OR LARGER PIPE (CLASS III); SITE STORM DRAIN LINES 8" OR SMALLER TO BE PVC PIPE (SDR 35).

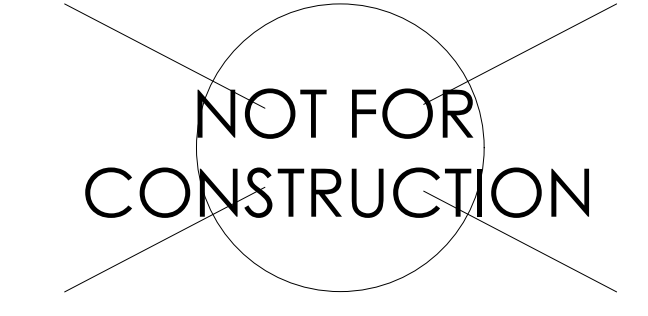
ROOF DRAIN PIPING:

- ROOF AND AREA DRAIN PIPING: 4" TO 6" PIPING PVC (SDR 35).

- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION. ANY NEW BACKFLOW DEVICES AND THE STOP AND WASTE VALVE ARE SHOWN ON THE LANDSCAPE DRAWINGS.
- INSPECTION AND APPROVAL FOR THE SEWER/WATER LINE CROSSINGS ON SITE SHALL BE REVIEWED AND APPROVED BY (INSERT CITY OR IMPROVEMENT DISTRICT) PRIOR TO CONSTRUCTION OF THE CROSSING. SALT LAKE CITY PUBLIC UTILITIES SHALL ALSO INSPECT THE CROSSING PRIOR TO BACKFILL.
- REFER TO SHEET C200 FOR PROJECT BASIS OF BEARING, BASIS OF COORDINATES AND BENCHMARK.
- ALL UTILITIES OUTSIDE OF PUBLIC R.O.W. ARE PRIVATELY OWNED AND SHALL BE MAINTAINED BY OWNER UNLESS NOTED OTHERWISE.
- POT HOLE AND FIELD VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- TEMPORARY PUMPING OF SANITARY SEWER MAY BE REQUIRED AS PORTIONS OF THE SYSTEM ARE REPLACED. BACKUP PUMPS AND POWER WILL BE REQUIRED WHERE PUMPING IS NECESSARY TO MAINTAIN SERVICE TO THE EXISTING BUILDING AT ALL TIMES DURING CONSTRUCTION.
- USE FLOWABLE FILL BETWEEN UTILITY CROSSINGS THAT ARE LESS THAN 12" SEPARATION. ALL GRAVITY LINES MUST BE INSTALLED BEFORE PRESSURIZED LINES.
- PIPING LENGTHS ARE APPROXIMATE LENGTHS AND ARE ROUNDED TO THE NEAREST FOOT. LENGTHS ARE FROM CENTER TO CENTER OF INLETS OR CLEANOUTS. PIPE SLOPES ARE ALSO APPROXIMATE. USE INVERTS AT EACH BOX FOR CONTROL OF PIPE INSTALLATION.
- ALL FIRE SPRINKLER LINES SHALL HAVE 60" OF COVER MINIMUM. ALL OTHER WATER LINES INCLUDING EXISTING LINES TO HAVE 48" MINIMUM COVER.
- POTHOLE ALL EXISTING UTILITY CROSSINGS PRIOR TO ROUTING ANY NEW UTILITIES. ALL NEW SEWER, DRAINAGE, OR OTHER GRAVITY LINES SHALL BE COMPLETED PRIOR TO ROUTING ANY PRESSURE LINES. WHERE EXISTING UTILITIES CONFLICT WITH NEW GRAVITY LINES, RAISE OR LOWER EXISTING UTILITIES TO ACCOMMODATE NEW GRAVITY LINES. PROVIDE 12" MIN. CLEARANCE BETWEEN WATER AND OTHER UTILITIES. WATER LINES SHALL NOT BE PLACED UNDER SEWER LINES AND SHALL HAVE A MINIMUM OF 18" CLEARANCE OF SEWER.
- THURST BLOCK ALL FITTINGS OR PROVIDE RESTRAINED JOINTS PER CITY STANDARDS. THE NEW 4" AND 6" CONNECTIONS TO THE NEW BUILDING WILL REQUIRE RESTRAINED JOINTS FOR MANY FITTINGS DUE TO LIMITED SPACE BETWEEN PIPES.
- COORDINATE WITH LANDSCAPE PLANS PRIOR TO COMPLETION OF PAVEMENT FOR INSTALLATION OF IRRIGATION SLEEVES ACROSS PAVING OR PARKING AREAS.
- WATER VALVES, SEWER MANHOLES, STORM DRAIN INLETS OR CLEANOUT BOXES, AND OTHER SURFACE UTILITY ACCESSORIES SHALL BE RAISED AND SLOPED TO ACQUAIRE FINISH SURFACE BY A CONCRETE GRADE COLLAR IN PAVEMENT. COLLAR SHALL BE A 12" WIDE AROUND THE UTILITY APPARATUS AND 8" MINIMUM THICKNESS. PLACE 2" 4" REBAR HOOPS IN COLLAR. CONCRETE COLLARS TO BE USED IN ONLY ASPHALT PAVEMENT AREAS OR PAVEMENT AREAS.
- USE 1/2" SOLID COVERS ON ALL MANHOLES, C&B, AND C&B'S. 40 AND ADS BOXES TO HAVE PEDESTRIAN TRAFFIC GRATED COVERS EXCEPT AS NOTED. ALL C&B BOXES TO HAVE 16-20 FRAME AND GRATES.
- REPAIR PAVEMENT AS WELL AS CURB AND GUTTER, AND SIDEWALKS WHERE UTILITIES CROSS INTO PUBLIC R.O.W. TO MAINTAIN TRAFFIC THROUGH THESE AREAS. ALL REPAIR IN PUBLIC R.O.W. TO MEET APWA AND CITY STANDARDS.
- SET NEW UTILITY MANHOLE OR STRUCTURE OVER EXISTING PIPING WHERE NEW AND EXISTING PIPING CONNECT. RECONNECT ALL EXISTING PIPING TO NEW STRUCTURES. PROVIDE NEW SECTIONS OF PIPE IF NECESSARY TO RECONNECT ALL PIPING TO THE NEW UTILITY STRUCTURES.
- CONTRACTOR RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTIONS WHILE WORKING IN THE PUBLIC RIGHT OF WAY.
- PROJECT LOCATED IN FEMA FLOOD PLAIN ZONE X.
- VALVES ATTACH DIRECTLY TO TEE FITTINGS. "FL" INDICATES FLANGE FITTING AND "MJ" INDICATED MECHANICAL JOINT FITTING. ALL VALVING WILL CONNECT TO MAIN LINE PIPE WITH FLANGE FITTING. MAIN LINE FITTINGS CONNECTING TO VALVES WILL ALSO BE FLANGE FITTINGS. WRAP AND GREASE ALL FITTINGS PER SPECIFICATIONS AND NOTES.
- ALL MANHOLES (BOTH SEWER AND STORM) TO BE 4" IN DIAMETER UNLESS SPECIFIED OTHERWISE.
- THE CONTRACTOR SHALL MAINTAIN 10 FOOT HORIZONTAL, AND 18 INCH VERTICAL SEPARATION BETWEEN SANITARY SEWER AND CULINARY WATER LINES. FOLLOW CITY STANDARDS FOR ALL WATER/SEWER CROSSINGS.
- SPOT ELEVATION PREFIX OF ADHS HAS BEEN DROPPED FROM THE ELEVATIONS I.E. ELEVATION 94.01 + 4296.50.

ALL DESIGN, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF ALC ARCHITECTS PC AND WERE CREATED, EVALUATED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS PROJECT. ANY REUSE OF THIS DRAWING OR ANY PART THEREOF FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ALC ARCHITECTS PC IS STRICTLY PROHIBITED. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE DRAWING AND THIS PORTION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

ARCHITECT / CONSULTANT



PROJECT DESCRIPTION
SUNRISE METRO HOUSING PROJECT PHASE II DESIGN

580 SOUTH 500 WEST
SALT LAKE CITY, UT 84101

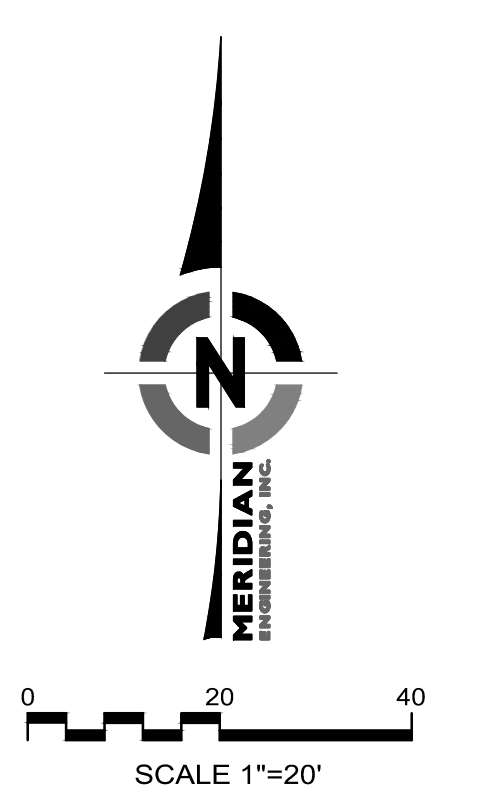
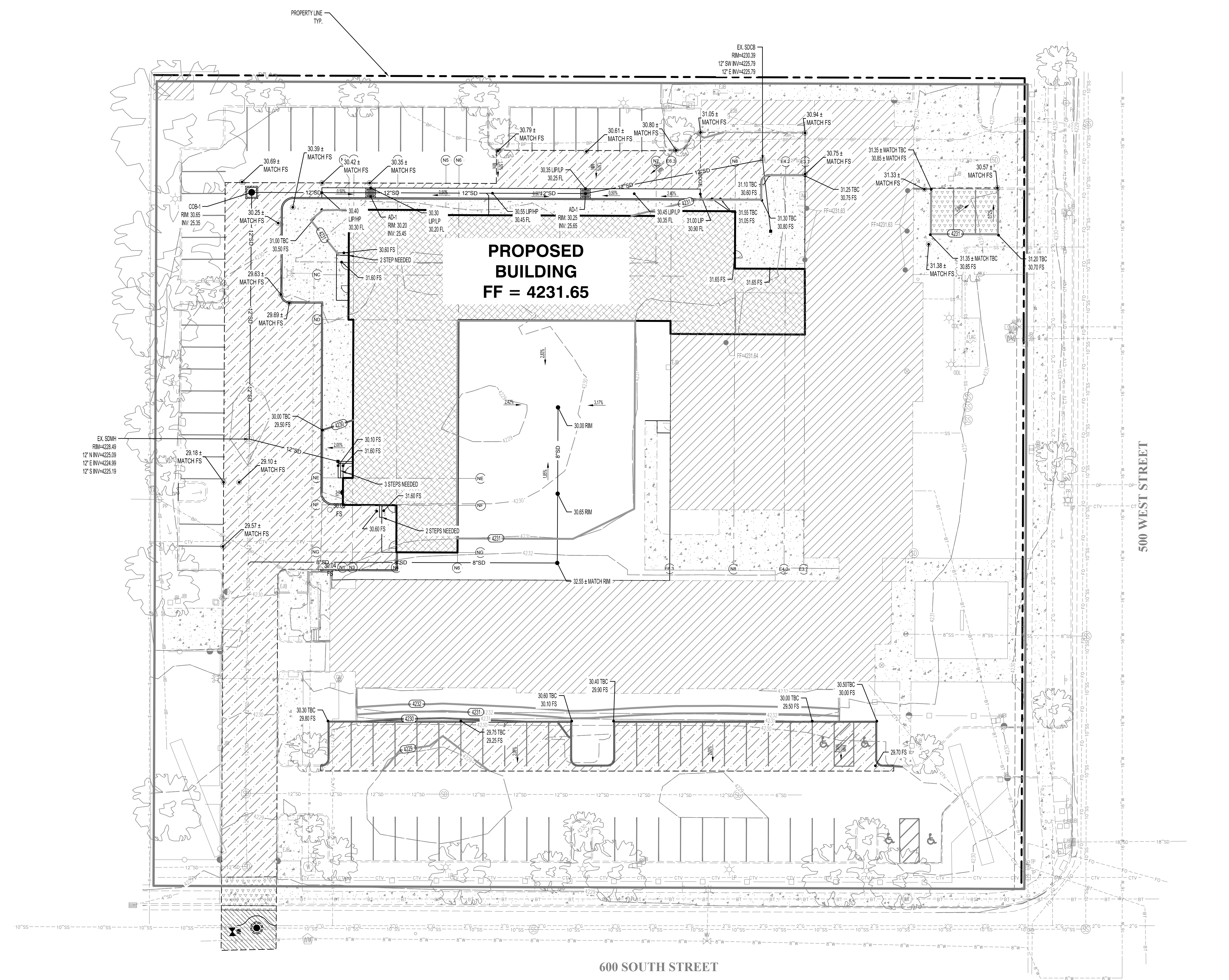
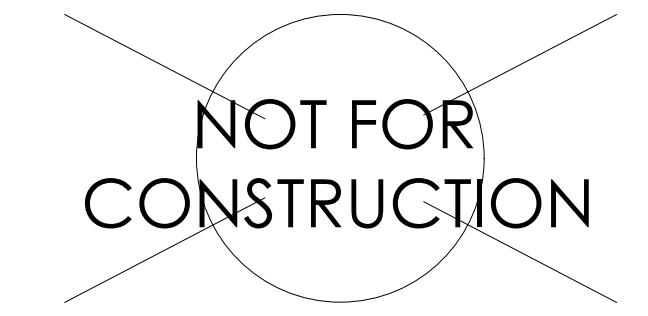
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UTILITY PLAN

REVISIONS	MARK	DATE	DESCRIPTION

ISSUE DATE: **10.31.2024**
ISSUE TYPE: **DD SET**
DRAWN BY: **CCC**
CHECKED BY: **MAC**
PROJECT#: **23327**

SHEET NUMBER:
CU300





THE CONTRACTOR TO SCHEDULE THE ENGINEER OF RECORD IN WRITING 3 DAYS MINIMUM BEFORE PLACEMENT OF CONCRETE CURBING, FLATWORK, OR ASPHALT PAVING. ALL AREAS MUST BE FORMED AND HAVE COMPACTED BASE COURSE IN PLACE FOR THE ENGINEER TO COMPLETE A RANDOM SPOT GRADE CHECK BEFORE ASPHALT AND CONCRETE CONSTRUCTION. THE RANDOM GRADE CHECKS ARE FOR GENERAL CONFORMANCE TO SLOPES AND GRADING SHOWN ON PLANS USING A SMART LEVEL. RANDOM CHECKS DO NOT ALLEVIATE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE GRADING IS IN CONFORMANCE WITH PLANS AND SPECIFICATIONS AND SATISFY PERFORMANCE OF HIS WORK. WITHIN 2 DAYS OF THE RANDOM SPOT CHECK, RESULTS OF THE SPOT CHECKS AND AREAS OF NON COMPLIANCE WILL BE PROVIDED TO THE CONTRACTOR AND ARCHITECT.

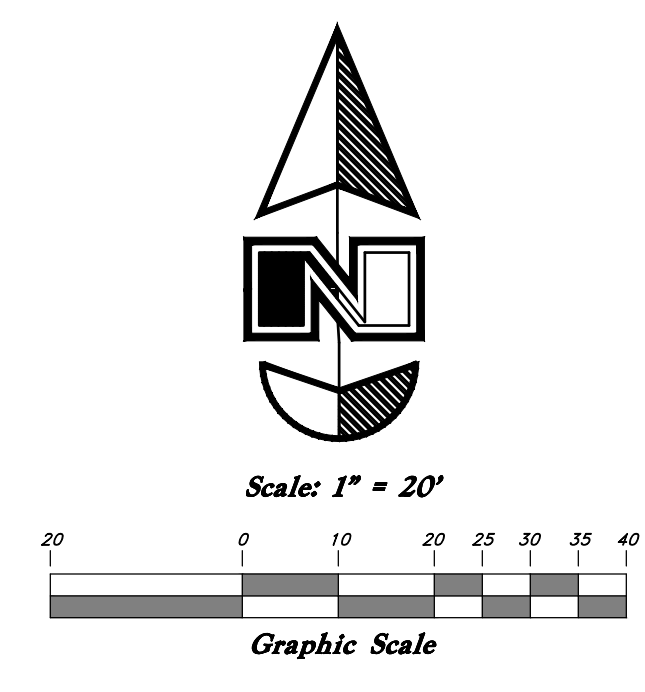
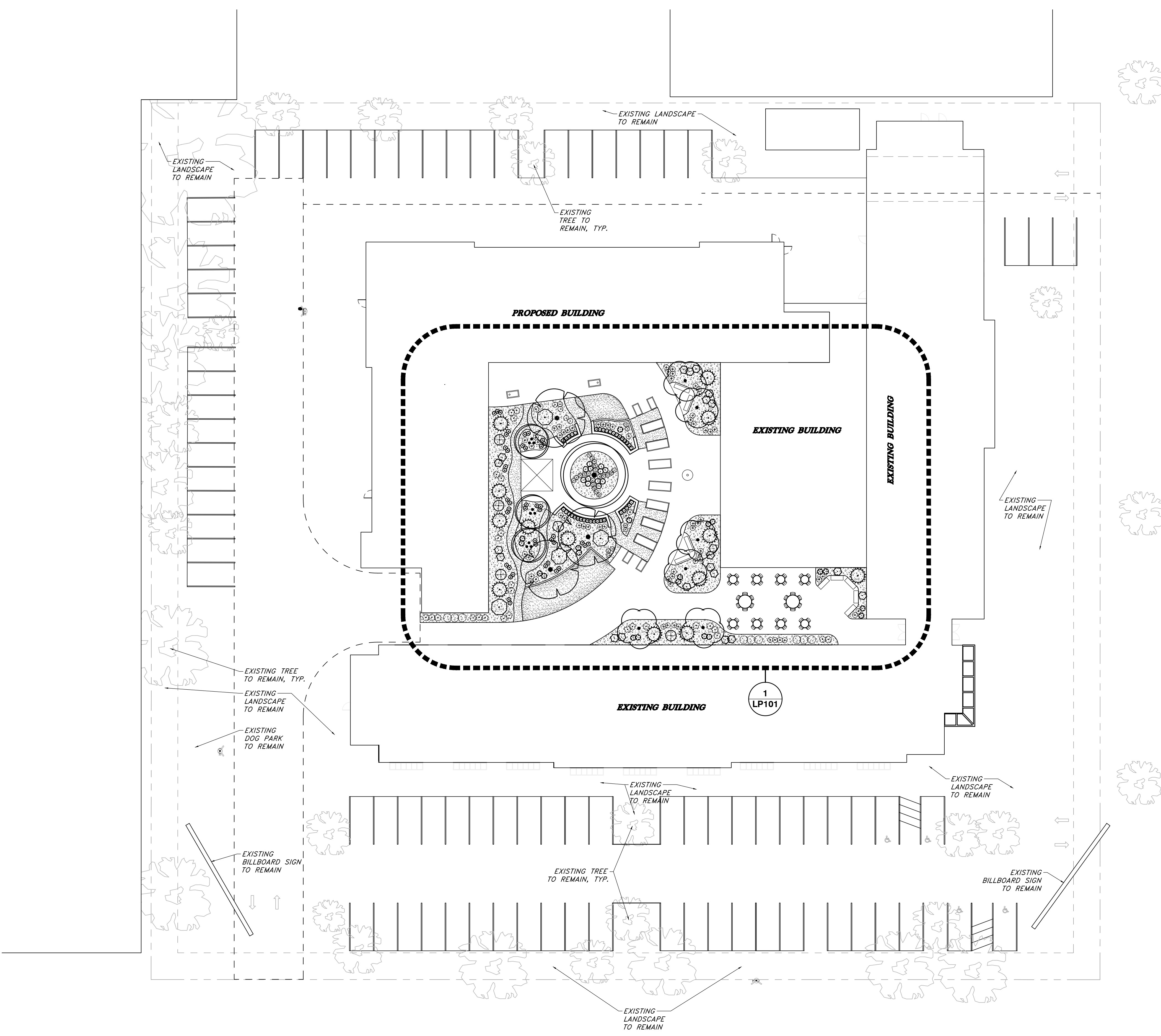
GRADING LEGEND

	MAJOR CONTOUR
	MINOR CONTOUR
	HALF FOOT CONTOUR

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1 LANDSCAPE PLAN
 1" = 10'-0"



ajc architects
 703 east 1700 south
 salt lake city, ut 84105
 ajcarchitects.com

ARCHITECT / CONSULTANT

NOT FOR CONSTRUCTION

PROJECT DESCRIPTION
SUNRISE METRO

580 S 500 W
 SALT LAKE CITY, UT 84101

SHEET NAME:
LANDSCAPE PLAN

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATE: 12/12/2024
 ISSUE TYPE: PERMITTING
 DRAWN BY: JZ
 CHECKED BY: JZ
 PROJECT#: 2024-04
 54N500
 SHEET NUMBER:

LP100

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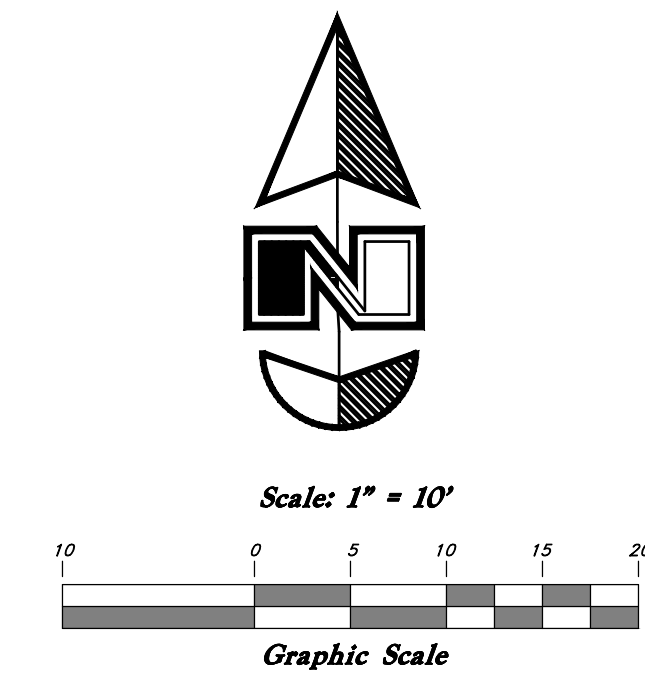
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ARCHITECT / CONSULTANT

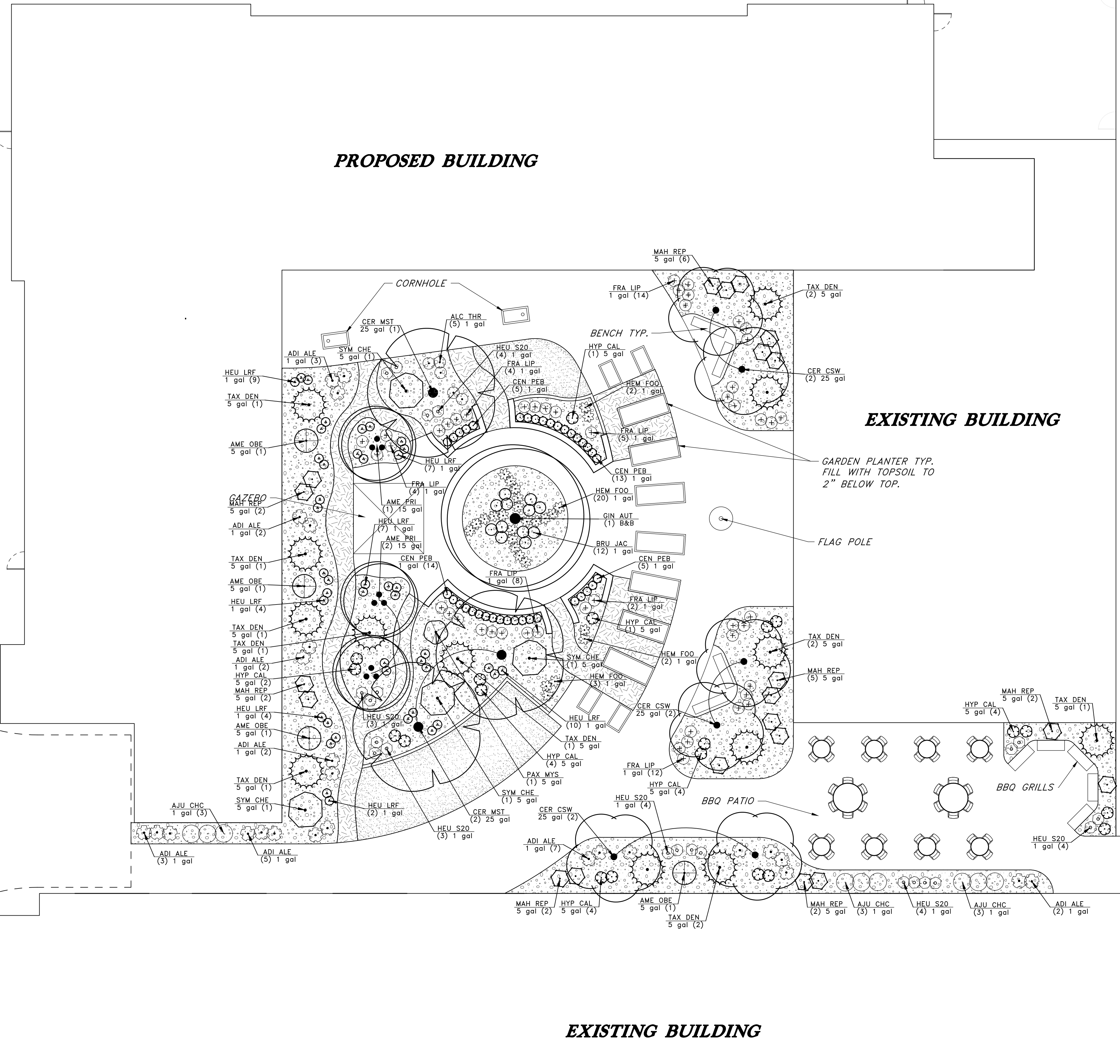
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PROJECT DESCRIPTION
SUNRISE METRO

**580 S 500 W
SALT LAKE CITY, UT 84101**

SHEET NAME:
LANDSCAPE PLAN

REVISIONS	MARK	DATE	DESCRIPTION



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1 LANDSCAPE PLAN
1" = 10'-0"

ISSUE DATE: 12/12/2024
 ISSUE TYPE: PERMITTING
 DRAWN BY: JZ
 CHECKED BY: JZ
 PROJECT#: 2024-04 54N500
 SHEET NUMBER:

LP101

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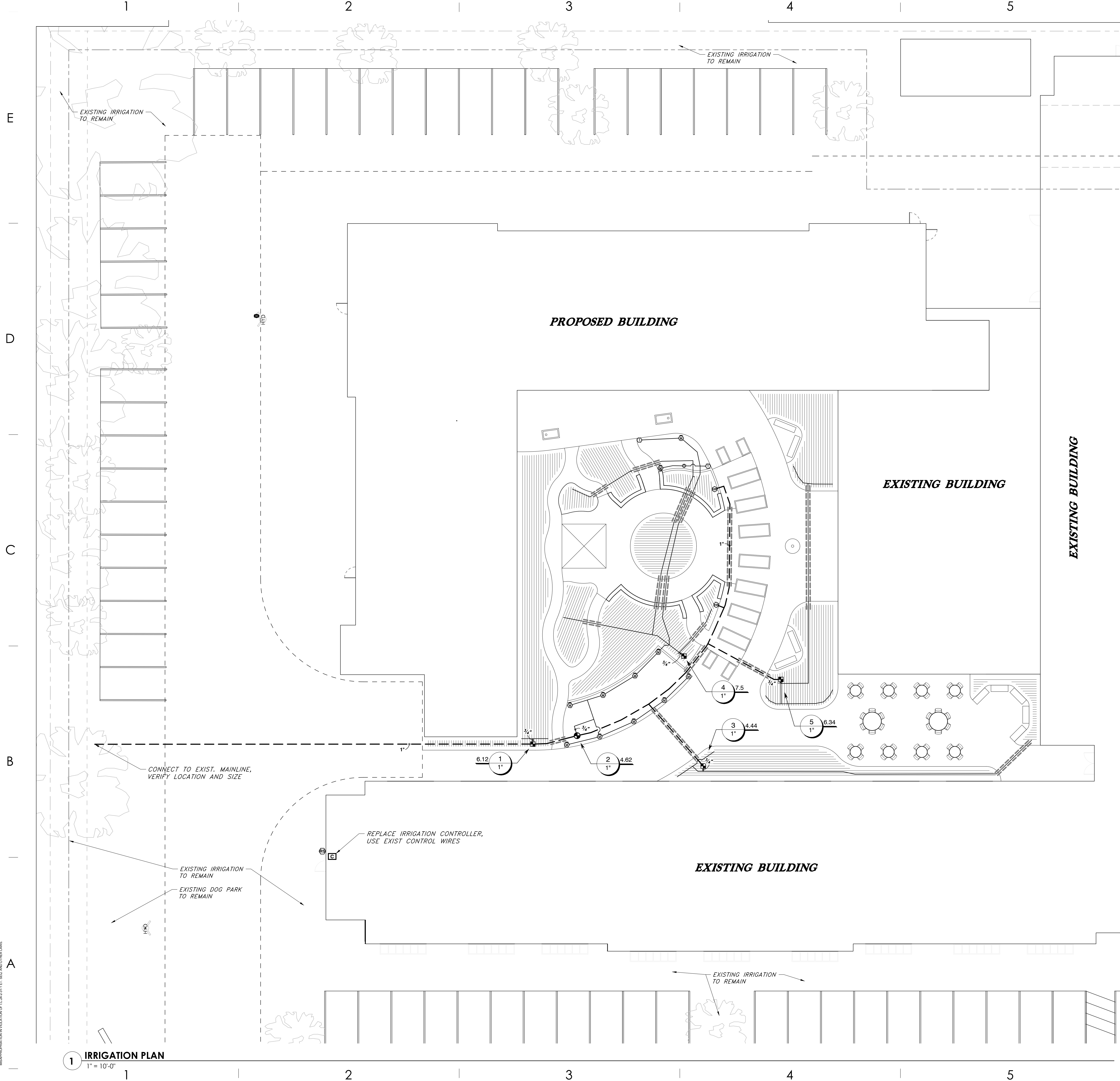
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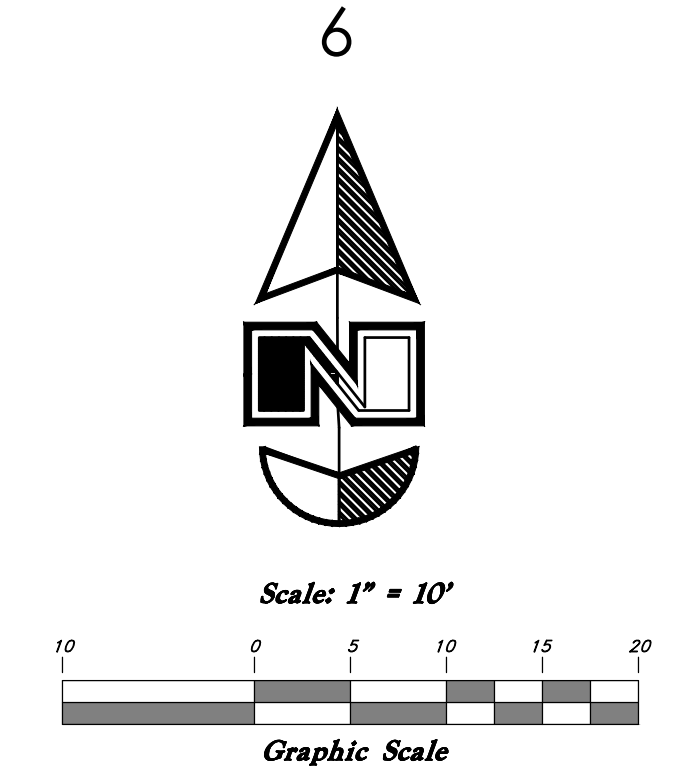
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1 IRRIGATION PLAN
1" = 10'-0"



ajc architects
703 east 1700 south
salt lake city, ut 84105
ajcarchitects.com

ARCHITECT / CONSULTANT

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CONSTRUCTION

PROJECT DESCRIPTION
SUNRISE METRO

580 S 500 W
SALT LAKE CITY, UT 84101

SHEET NAME:
IRRIGATION PLAN

REVISIONS		
MARK	DATE	DESCRIPTION

ISSUE DATE: 12/06/2024
ISSUE TYPE: PERMITTING
DRAWN BY: JZ
CHECKED BY: JZ
PROJECT#: 2024-04
54N500
SHEET NUMBER:

LI101

IRRIGATION SCHEDULE

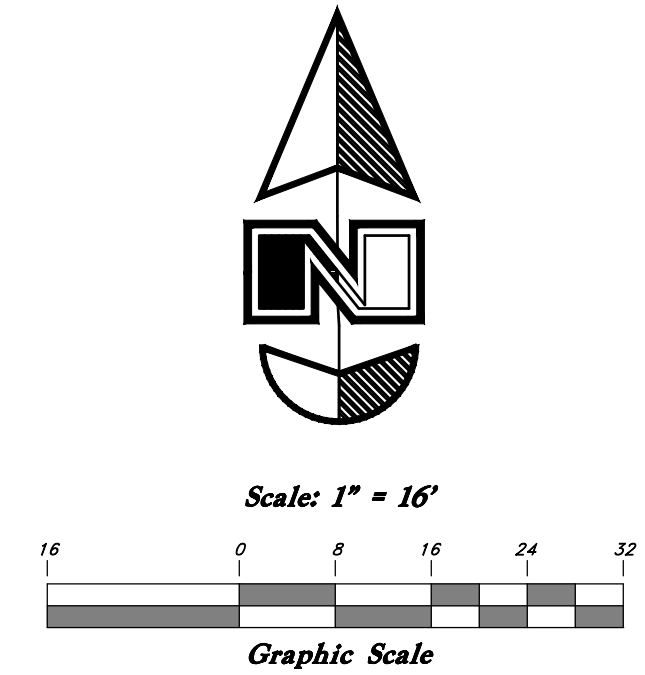
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
①	Hunter MP Corner PROS-06-PRS40-CV Turt Rotator, 6in. pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. T=Turquoise adj arc 45-105.	40
⊙ ⊙ ⊙	Hunter MP1000 PROS-06-PRS40-CV Turt Rotator, 6in. pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Divine 360 arc.	40
⊙ ⊙ ⊙	Hunter MP800SR PROS-06-PRS40-CV Turt Rotator, 6in. pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. ADI=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
■	Rain Bird XCZ-100-LC Wide Flow Drip Control Kit, for Light Commercial Uses. 1in. FEB Valve, with 1in. Pressure Regulating 40psi Basket Filter. 0.3-20 GPM.	
▨	Area to Receive Dripline Netafim TLCV-06-12 Techline Pressure Compensating Landscape Dripline with Check Valve. 0.6 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. 17mm.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
⊕	Rain Bird PESB 1in., 1-1/2in., 2in., 3in., 3in. Plastic Industrial Remote Control Valve. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	
⊕	WOODFORD Y1 YARD HYDRANT	
⊕	Rain Bird ESPLXME2P-LXMM w/ (1) ESPLXSM12 24 Station, Traditionally-Wired, PRO Smart, Commercial Controller. (1) ESPLXME2P 12-Station, PRO Smart, (Module Included) Indoor/Outdoor, Plastic Wall-Mount Enclosure w/ (1) ESPLXSM12 12-Station Expansion Modules. Install in LXMM Powder Coated, Metal Wall-Mounted Cabinet.	
⊕	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire.	
---	Irrigation Lateral Line: PVC Schedule 40	
---	Irrigation Mainline: PVC Schedule 40	
---	Pipe Sleeve: PVC Class 200 SDR 21 Sleeves to be Twice the Size of Through Pipes. At Mainlines, Run Separate Sleeve for Control Wires.	
⊕	Valve Callout Valve Number Valve Flow Valve Size	
---	Existing Mainline (Field Verify Location)	

IRRIGATION NOTES

- INSTALL IRRIGATION WIRE UNDER PAVED AREAS IN SEPARATE PVC SLEEVE, SIZE FOR NUMBER OF WIRES.
- EXAMINE THE SITE CONDITIONS, THE SUBGRADE AND VERIFY ELEVATIONS. NOTIFY THE ARCHITECT IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT BEGIN LANDSCAPE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN RESOLVED.
- BEFORE ANY TRENCHING, EXCAVATION, OR DIGGING, THE CONTRACTOR SHALL HAVE THE AREA 'BLUE STAKED' AND CONTACT THE APPROPRIATE UTILITY COMPANIES. CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE.
- VERIFY LOCATIONS OF ALL UTILITIES AND SITE FEATURES PRIOR TO ANY DIGGING. ANY DAMAGE TO EXISTING UTILITIES AND SITE FEATURES CAUSED BY THIS CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL LINES SHALL SLOPE TO DRAIN. ADD MANUAL DRAINS AT ALL MAINLINE LOW POINTS AS NECESSARY FOR COMPLETE DRAINAGE OF THE ENTIRE SYSTEM. INDICATE ALL DRAIN LOCATIONS ON RECORD DRAWINGS.
- THIS DRAWING IS DIAGRAMMATIC AND IS INTENDED TO CONVEY THE GENERAL LAYOUT OF IRRIGATION SYSTEM COMPONENTS. FIELD ADJUSTMENTS MAY BE NECESSARY TO MAINTAIN FULL COVERAGE IN ACTUAL SITE CONDITIONS. CONTACT THE LANDSCAPE ARCHITECT IF SIGNIFICANT CHANGES ARE NECESSARY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR REVISIONS TO THE IRRIGATION SYSTEM IF THE IRRIGATION SYSTEM IS INSTALLED WHEN SITE CONDITIONS DIFFER FROM PLAN LAYOUT AND THE LANDSCAPE ARCHITECT WAS NOT INFORMED.
- LATERAL AND MAIN LINES SHALL BE LAID IN COMMON TRENCHES IN LANDSCAPE AREAS WHEREVER POSSIBLE.
- ALL PIPING AND WIRING UNDER PAVEMENT SHALL BE RUN THROUGH SEPARATE SLEEVES. CONTROL WIRES NOT LAID IN A COMMON TRENCH WITH A MAIN LINE SHALL BE INSTALLED IN A CONDUIT OF SUFFICIENT SIZE.
- ALL IRRIGATION EQUIPMENT NOT DETAILED SHALL BE INSTALLED AS PER MANUFACTURER RECOMMENDATIONS, SPECIFICATIONS, AND DETAILS.
- THIS SYSTEM IS DESIGNED TO OPERATE AT 40 PSI FOR ROTARY HEADS, AND 40 PSI FOR ALL DRIP EMITTERS.
- THE IRRIGATION WATER SOURCE IS AN EXISTING IRRIGATION MAINLINE. PRESSURE AT THE POINT OF CONNECTION IS EXPECTED TO BE 60 PSI. IF ACTUAL PRESSURE VARIES FROM THE EXPECTED, CONTACT LANDSCAPE ARCHITECT.
- SUPPLY PRODUCTS AS SPECIFIED. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS PRE-APPROVED IN WRITING BY THE OWNER OR LANDSCAPE ARCHITECT.
- CONTRACTOR TO SUPPLY ALL KEYS AND ATTIC STOCK PER THE SPECIFICATIONS.
- CONTRACTOR TO SHUT DOWN AND WINTERIZE THE IRRIGATION SYSTEM AT THE END OF THE FIRST SEASON AND TURN ON THE SYSTEM AT THE BEGINNING OF THE FOLLOWING SEASON. THIS WORK IS TO BE DONE IN THE PRESENCE OF THE OWNERS' MAINTENANCE PERSONNEL.

IRRIGATION REMODEL NOTES

- THIS PROJECT REQUIRES THE REMODEL OF AN EXISTING IRRIGATION SYSTEM. PROTECT AND MAINTAIN PORTIONS OF THE EXISTING SYSTEM TO REMAIN.
- COORDINATE WITH OWNER FOR ANY DISRUPTIONS OF SERVICE. CONTRACTOR IS RESPONSIBLE FOR HAND WATERING VEGETATION THAT LACKS WATER DUE TO DISRUPTION OF SERVICE. ANY PLANTS LOST DUE TO LACK OF WATER DUE TO CONTRACTOR NEGLIGENCE WILL BE REPLACED AT NOT COST TO THE OWNER.
- FIELD VERIFY THE LOCATIONS AND SIZES OF THE EXPECTED TIE-INS FOR MAIN LINES AND LATERAL LINES.
- MAINTAIN AND PROTECT THE EXISTING CONTROLLER AND EXISTING CONTROL WIRES THAT ARE TO REMAIN. CONTRACTOR TO SUPPLY EQUIPMENT AND WIRING NECESSARY TO MAKE NEW EQUIPMENT WORK WITH EXISTING EQUIPMENT.



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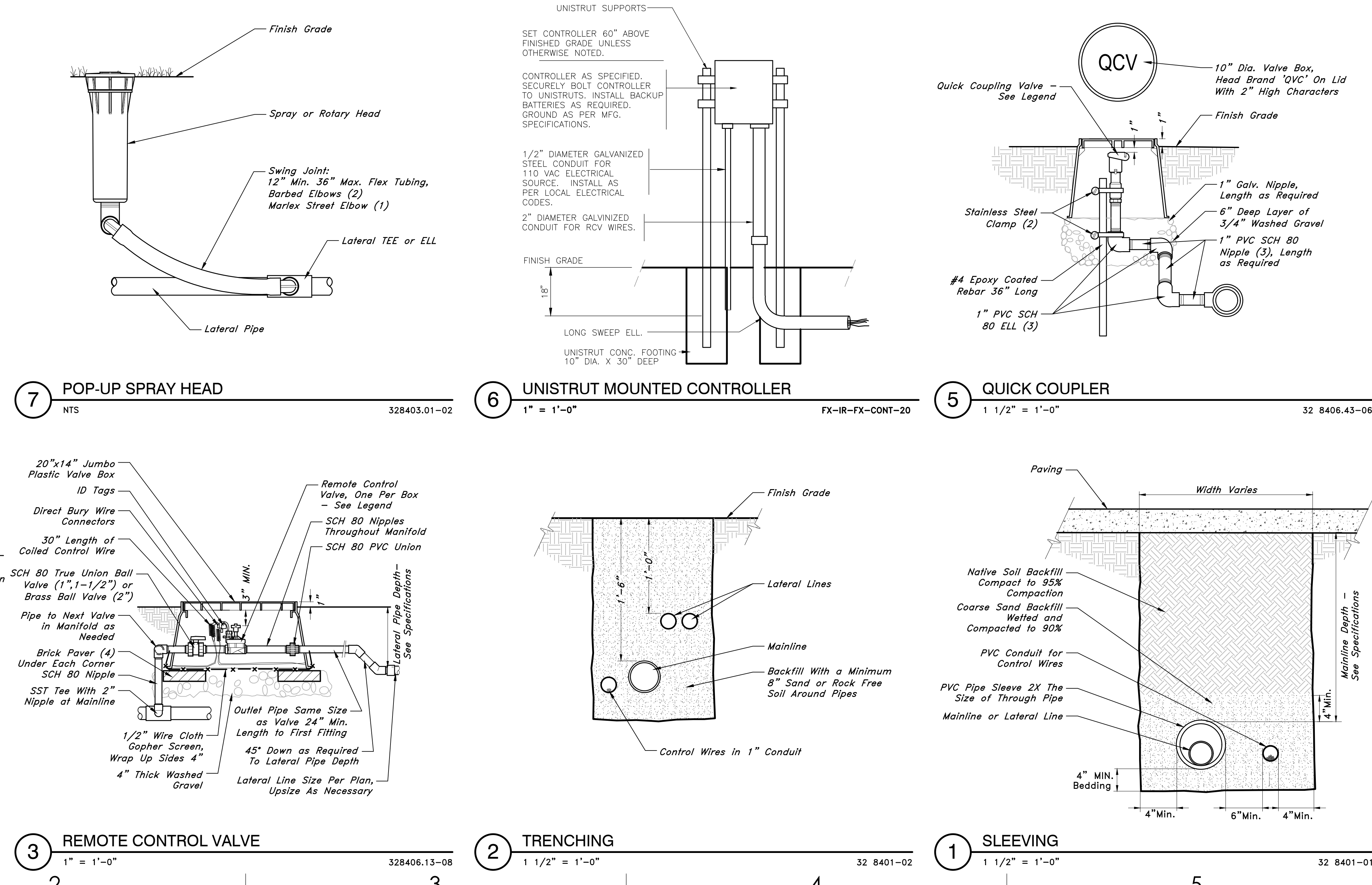
PROJECT DESCRIPTION
SUNRISE METRO

580 S 500 W
SALT LAKE CITY, UT 84101

SHEET NAME:
IRRIGATION DETAILS

REVISIONS
MARK DATE DESCRIPTION

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4 DRIP VALVE - CONTROL ZONE KIT
1" = 1'-0" 328406.13-09

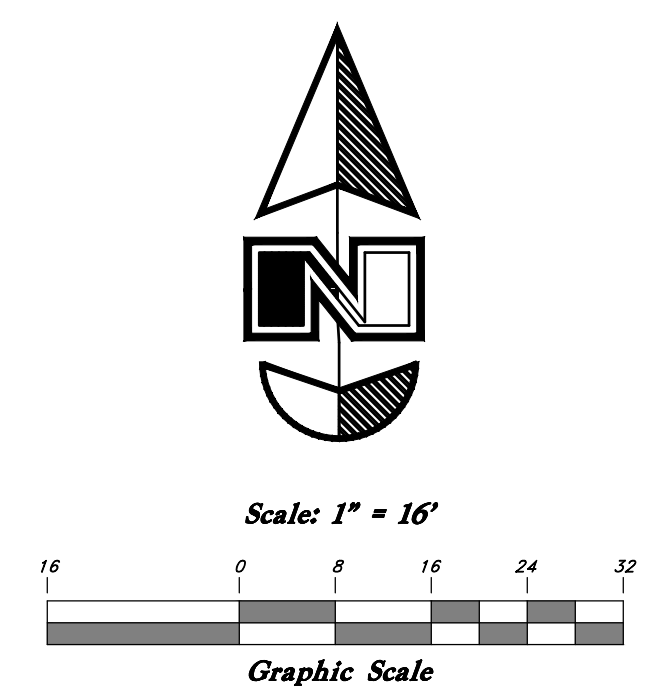
3 REMOTE CONTROL VALVE
1" = 1'-0" 328406.13-08

2 TRENCHING
1 1/2" = 1'-0" 32 8401-02

1 SLEEVING
1 1/2" = 1'-0" 32 8401-01

ISSUE DATE: 12/06/2024
 ISSUE TYPE: PERMITTING
 DRAWN BY: JZ
 CHECKED BY: JZ
 PROJECT#: 2024-04
 54N500

SHEET NUMBER:
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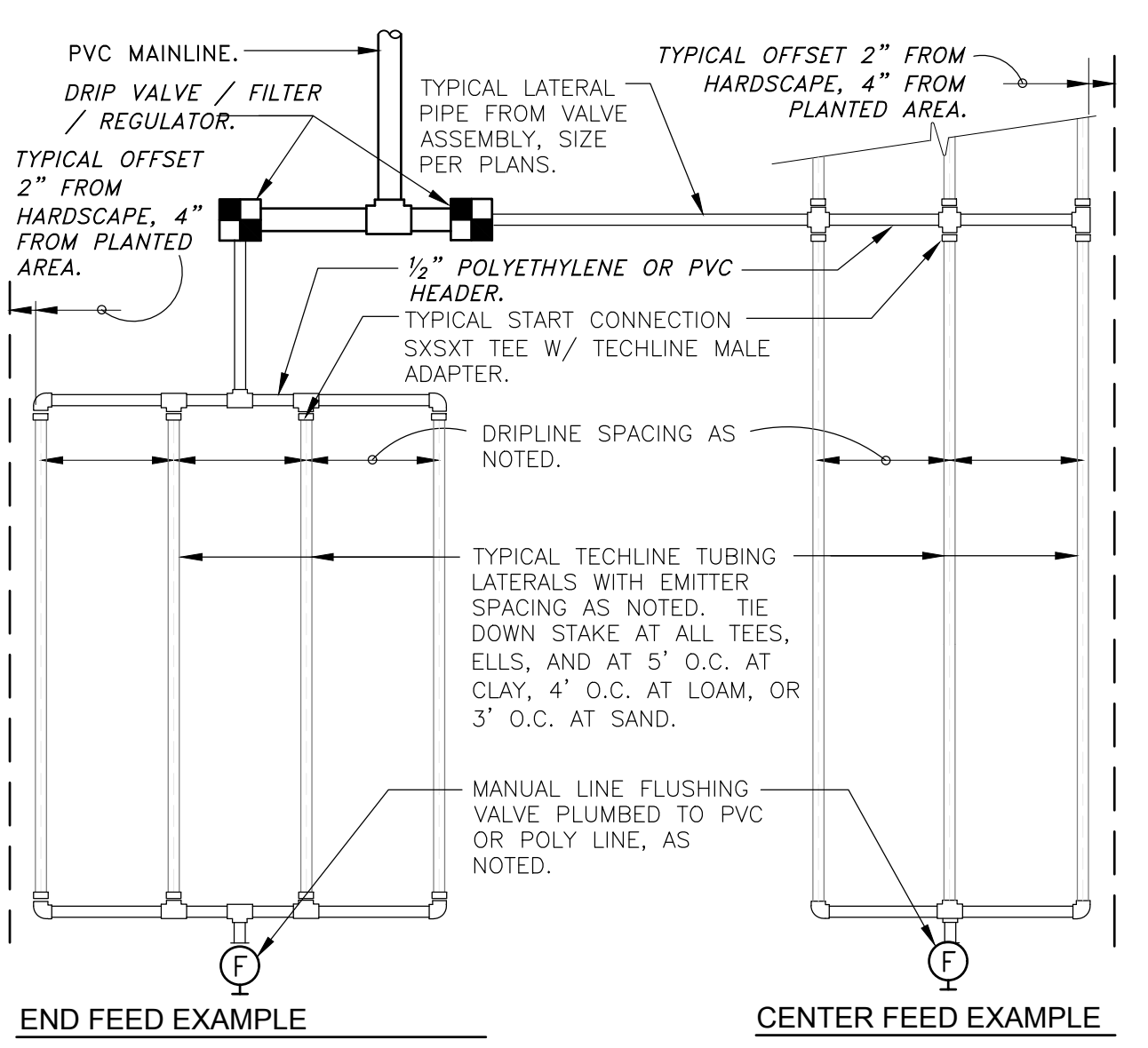
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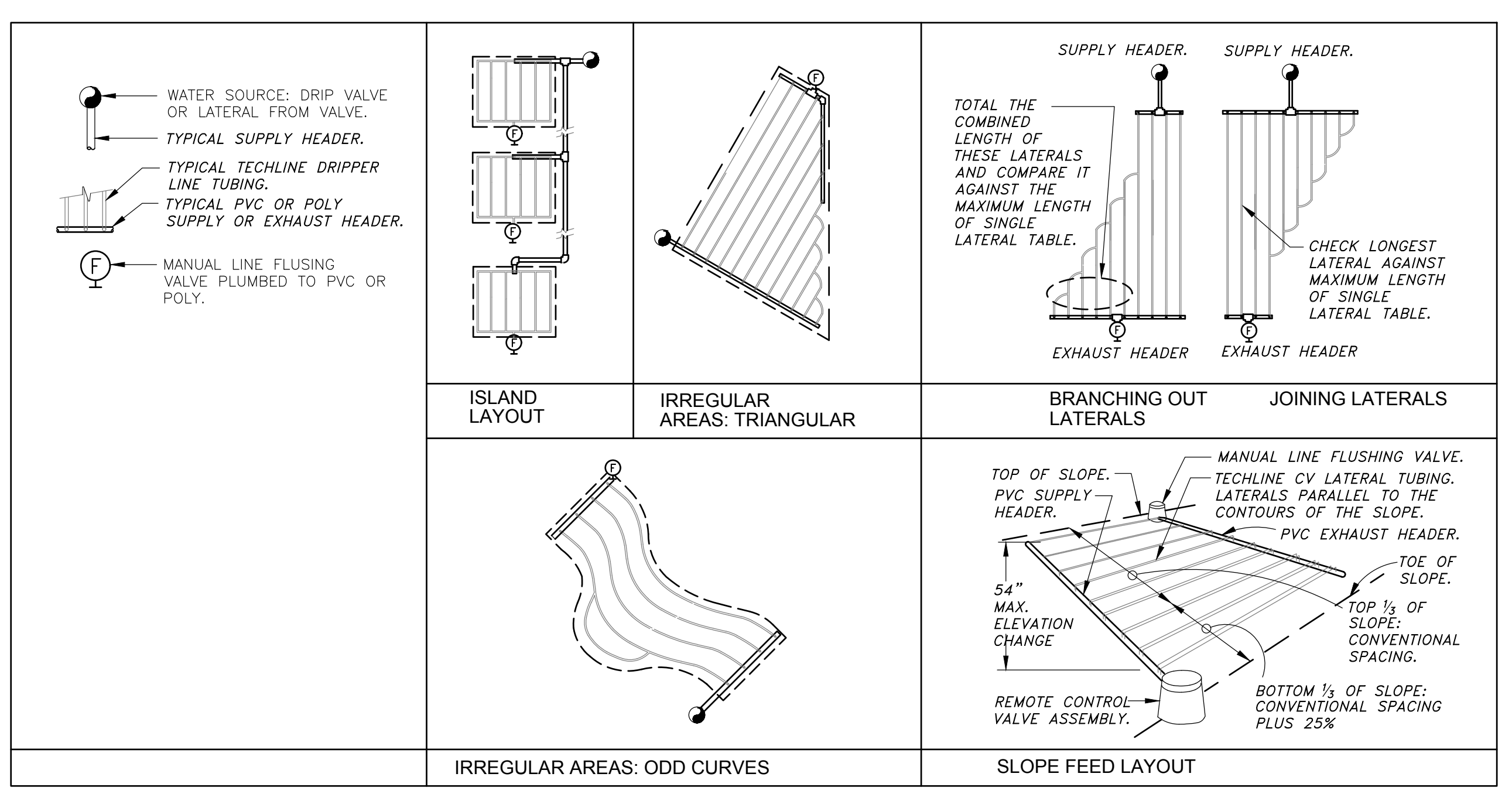
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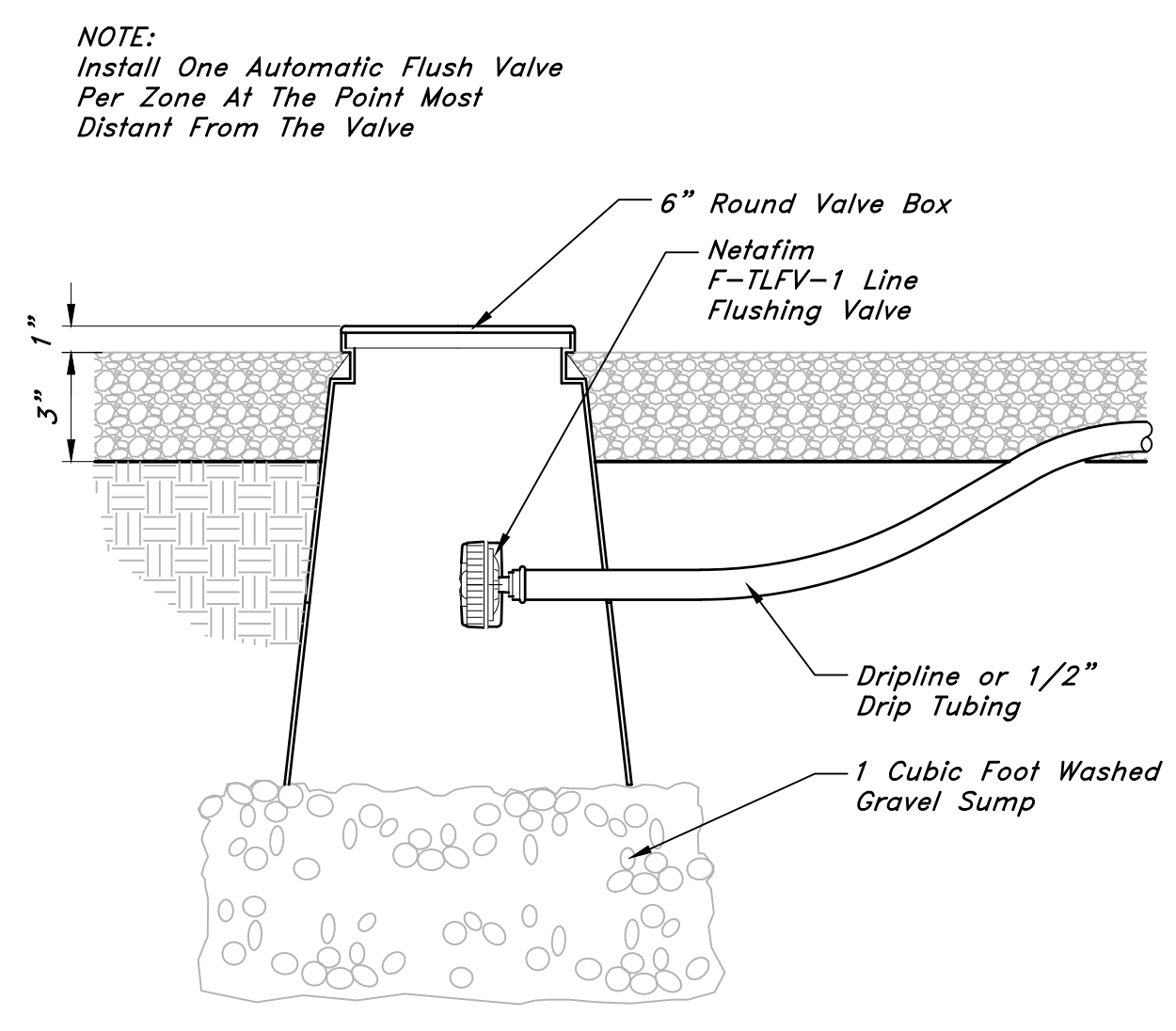


TECHLINE CV MAXIMUM LENGTH OF SINGLE LATERAL (FEET)									
DRIPPER SPACING		12"			18"			24"	
DRIPPER FLOW RATE (GPH)		0.26	0.4	0.6	0.9	0.26	0.4	0.6	0.9
INLET PRESSURE (PSI)	15	127	109	86	65	177	151	120	91
	25	427	325	256	194	604	459	361	274
	35	539	409	322	244	763	579	456	346
	45	618	469	369	280	877	664	523	397
TECHLINE CV FLOW PER 100 FEET									
DRIPPER SPACING		0.26 GPH DRIPPER		0.4 GPH DRIPPER		0.6 GPH DRIPPER		0.9 GPH DRIPPER	
	GPH	GPM	GPH	GPM	GPH	GPM	GPH	GPM	
12"	26.40	0.44	40.00	0.67	61.00	1.02	92.00	1.53	
18"	17.58	0.29	26.67	0.44	41.00	0.68	61.00	1.02	
24"	N/A	N/A	N/A	N/A	31.00	0.51	46.00	0.77	



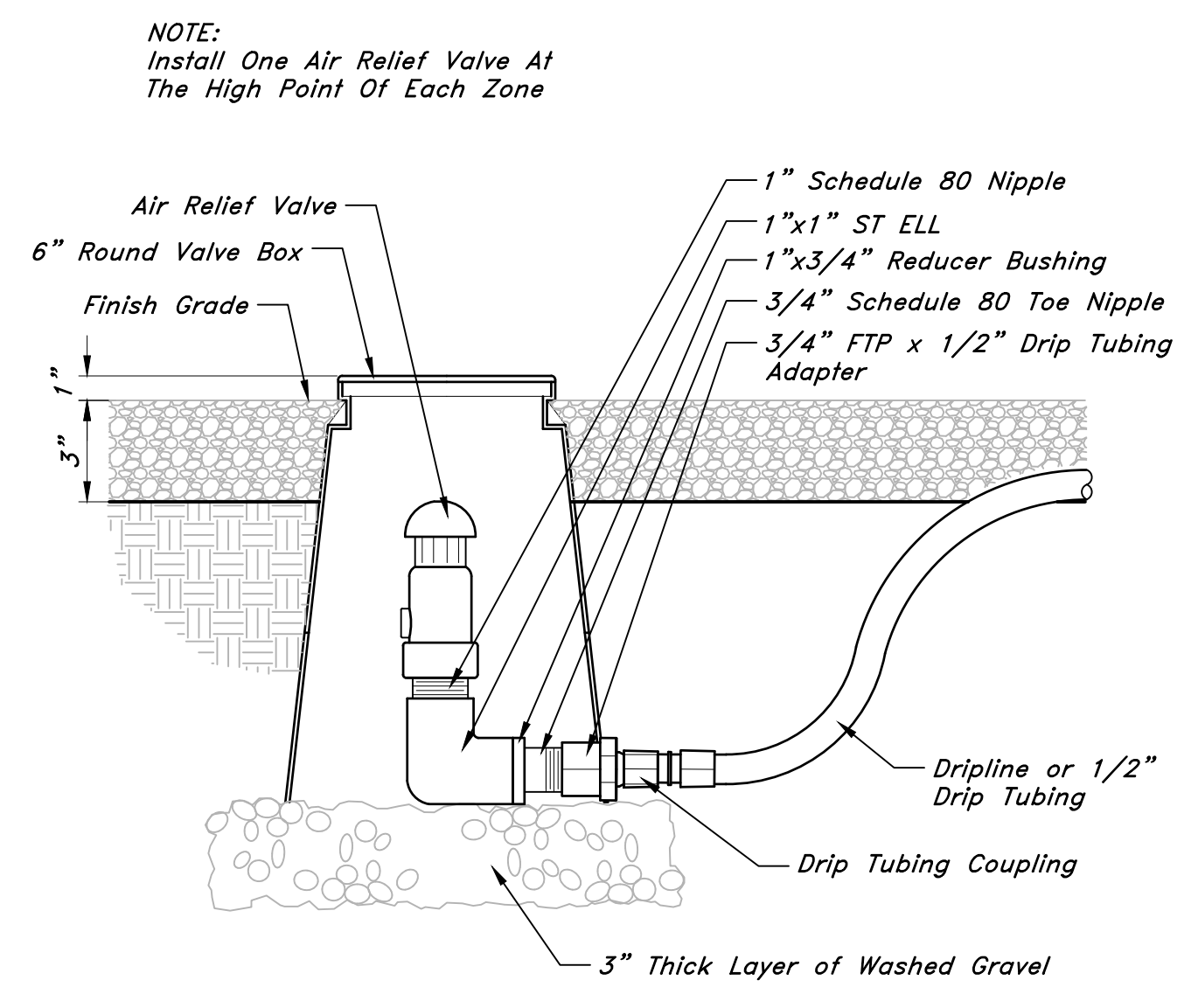
3 TYPICAL NETAFIM TECHLINE CV REQUIREMENTS
3" = 1'-0"

FX-IR-NETA-DRIP-14



2 FLUSH VALVE IN BOX
3" = 1'-0"

32 8413.49-02



1 AIR RELIEF VALVE IN BOX
3" = 1'-0"

32 8413.53-09

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ARCHITECT / CONSULTANT

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PROJECT DESCRIPTION
GIV SUNRISE METRO - PHASE 2 TOWER

580 SOUTH 500 WEST
 SALT LAKE CITY, UT 84101

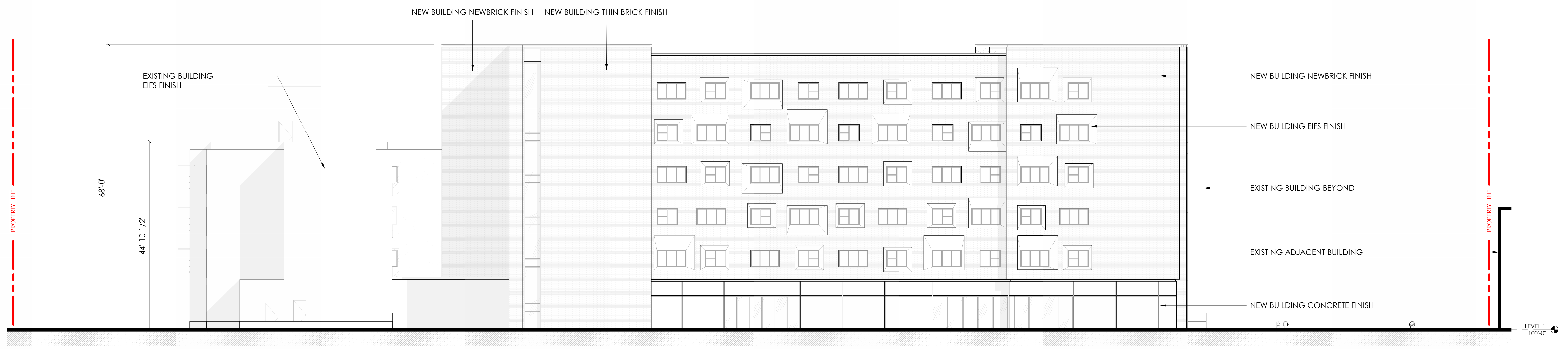
SHEET NAME:
ELEVATIONS

REVISIONS	MARK	DATE	DESCRIPTION

ISSUE DATE: 12/12/2024
 ISSUE TYPE: DD SET
 DRAWN BY: ajc
 CHECKED BY: K. RIGBY
 PROJECT#: 2024-04

SHEET NUMBER:

PD 03 A



1 NORTH ELEVATION
 3/32" = 1'-0", DWG REF: A101



2 EAST ELEVATION
 3/32" = 1'-0", DWG REF: A101

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 CONSTRUCTION**

PROJECT DESCRIPTION
**GIV SUNRISE METRO -
 PHASE 2 TOWER**

580 SOUTH 500 WEST
 SALT LAKE CITY, UT 84101

SHEET NAME:
ELEVATIONS

REVISIONS
 MARK DATE DESCRIPTION

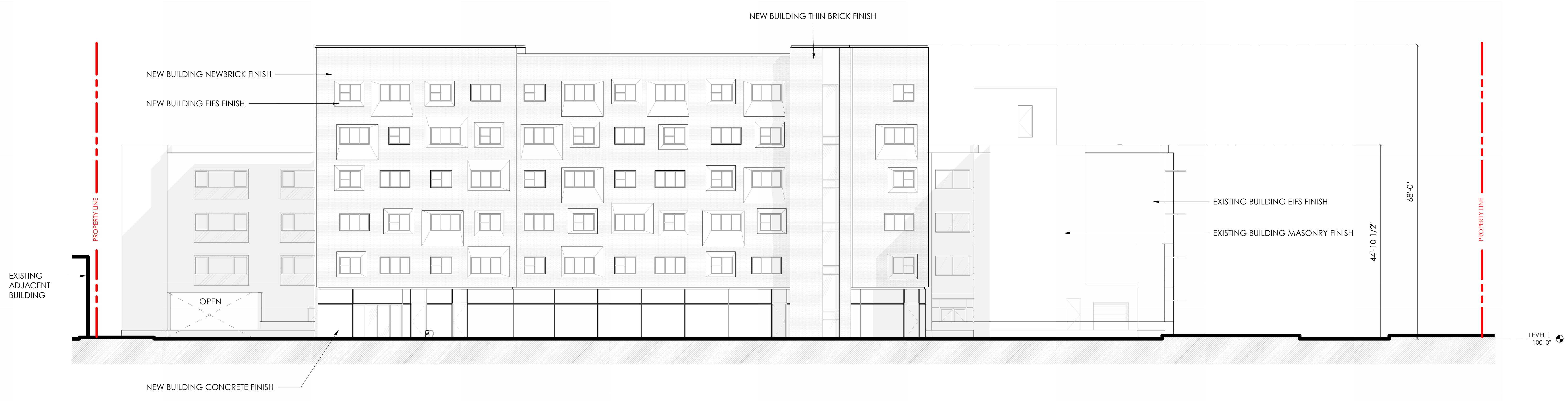
ISSUE DATE: 12/12/2024
 ISSUE TYPE: DD SET
 DRAWN BY: ojc
 CHECKED BY: K. RIGBY
 PROJECT#: 2024-04

SHEET NUMBER:

PD 03 B



1 SOUTH ELEVATION
 3/32" = 1'-0", DWG REF: A101



2 WEST ELEVATION
 3/32" = 1'-0", DWG REF: A101

P:\2024\2024-04 Giv Sunrise Metro\02 Design Tools\01 Models\Revit\2024-04 GIV SUNRISE METRO_NEW_V24
 12/19/2024 2:15:25 PM FACADE SCHEME 2_detailed.rvt
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Sunrise Metro Exterior Renderings
Concept Study



Sunrise Metro Exterior Renderings
Concept Study



Sunrise Metro Exterior Renderings
Concept Study



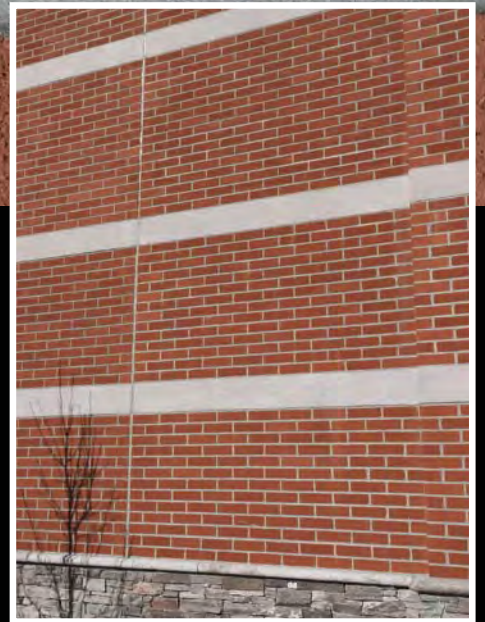
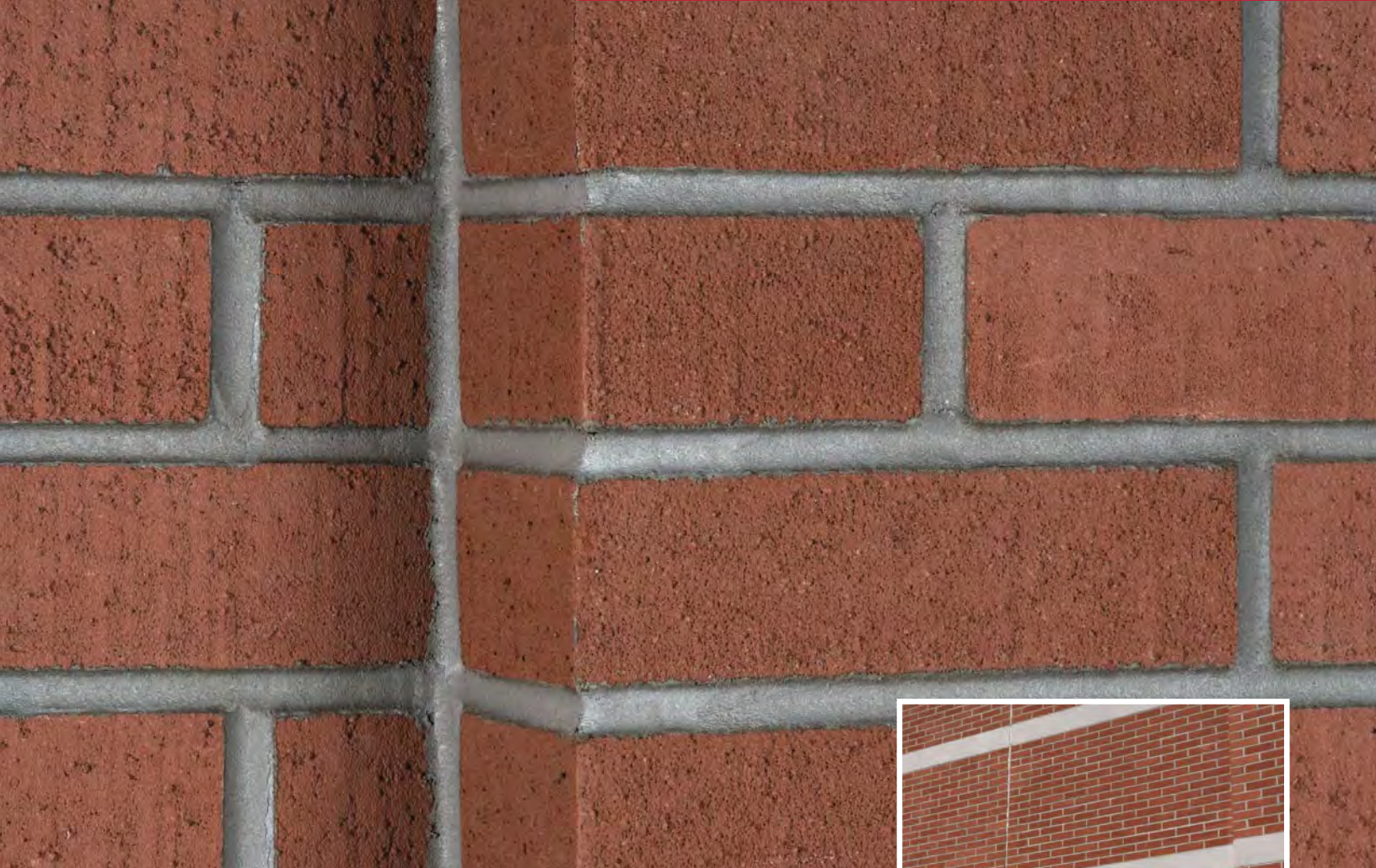
Sunrise Metro Exterior Renderings
Concept Study



Sunrise Metro Exterior Renderings
Concept Study

NEWBRICK™
by dryvit

Lightweight, insulated, energy efficient
cladding changing the way we think
about masonry construction.



Commercial Building
Shelton, CT



Office Building
Schenectady, NY

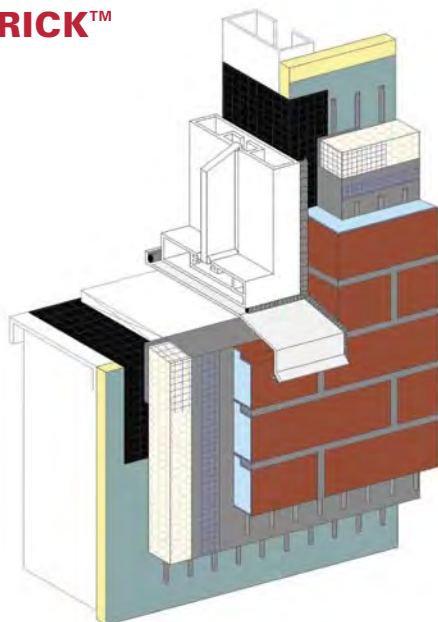


NEWBRICK™ IS DESIGNED WITH THE SAME TRADITIONAL BRICK APPEARANCE.

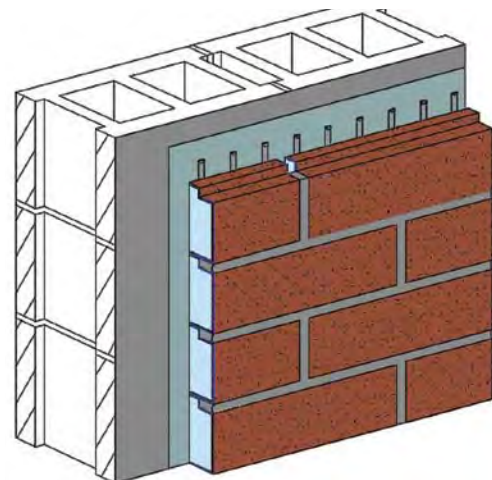
But, now with so much more!

NewBrick™, offers the industry a different way to build more **cost and energy efficient traditional looking** buildings from the ground up in a **faster and simpler way**. A game-changing innovation in exterior wall design that can be installed over most common building systems, including concrete and masonry, as well as over any Dryvit Outsulation® CI system.

NEWBRICK™



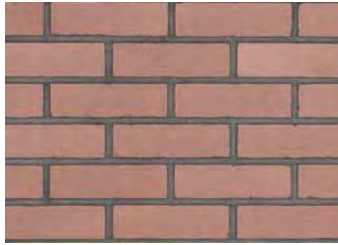
**NEWBRICK™ WITH CI APPLICATION
OVER AN OUTSULATION® SYSTEM**



**NEWBRICK™ VENEER
OVER A SOLID SUBSTRATE**

VERSATILE DESIGN CAPABILITY FOR ANY PROJECT.

NewBrick is available in 16 standard colors and four standard blends so you can create looks that run from traditional to modern. Custom colors and blends are available for your project's specifications.



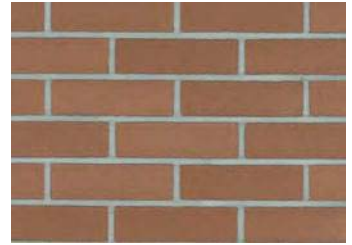
Cannon Dawn | 985BST



Castle Wall | 930BST



Citadel | 940BST



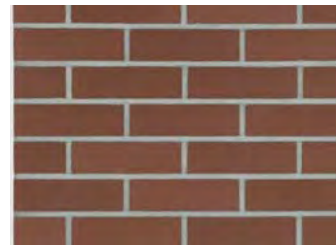
Country Cottage | 915BST



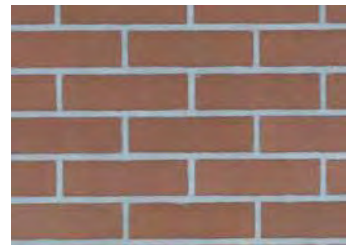
Earthen Vessel | 935BST



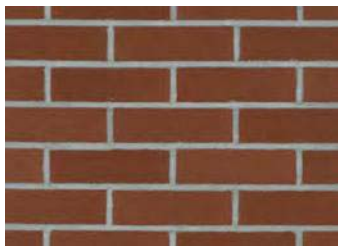
Gatehouse | 910BST



Harbor Side | 920BST



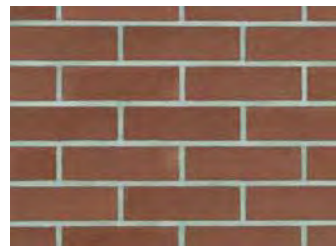
Heritage House | 965BST



Homeland | 950BST



Patriot Red | 970BST



Provincial Park | 960BST



Riverbank | 900BST



Rustic Villa | 945BST



School Yard | 925BST



Town Square | 980BST



Valley Field | 975BST

Colors shown should be considered approximate of actual NewBrick colors. Some natural variations will be apparent with the product relating to selected color, texture and lighting. A field installed mock-up should be required for every project to confirm design intent of color and texture.

STANDARD BLENDS AND TEXTURES

With NewBrick from Dryvit, the architect can now design cost effective and classic looking buildings. Below are available standard blends, textures, and effects. Custom matches can be provided on request.

BLENDS



Corinth (60% Heritage House Flashed, 30% Heritage House, 10% Riverbank)



Georgetown (60% Heritage House, 30% Valley Field, 10% Riverbank)



Littleton (50% Provincial Park, 50% Country Cottage)



Rockland (60% Provincial Park, 30% Country Cottage, 10% Riverbank)

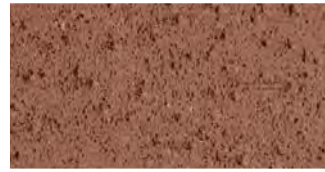
TEXTURES



Smooth



Velour



Wire Cut



Coarse Cut

EFFECTS



Iron Spot



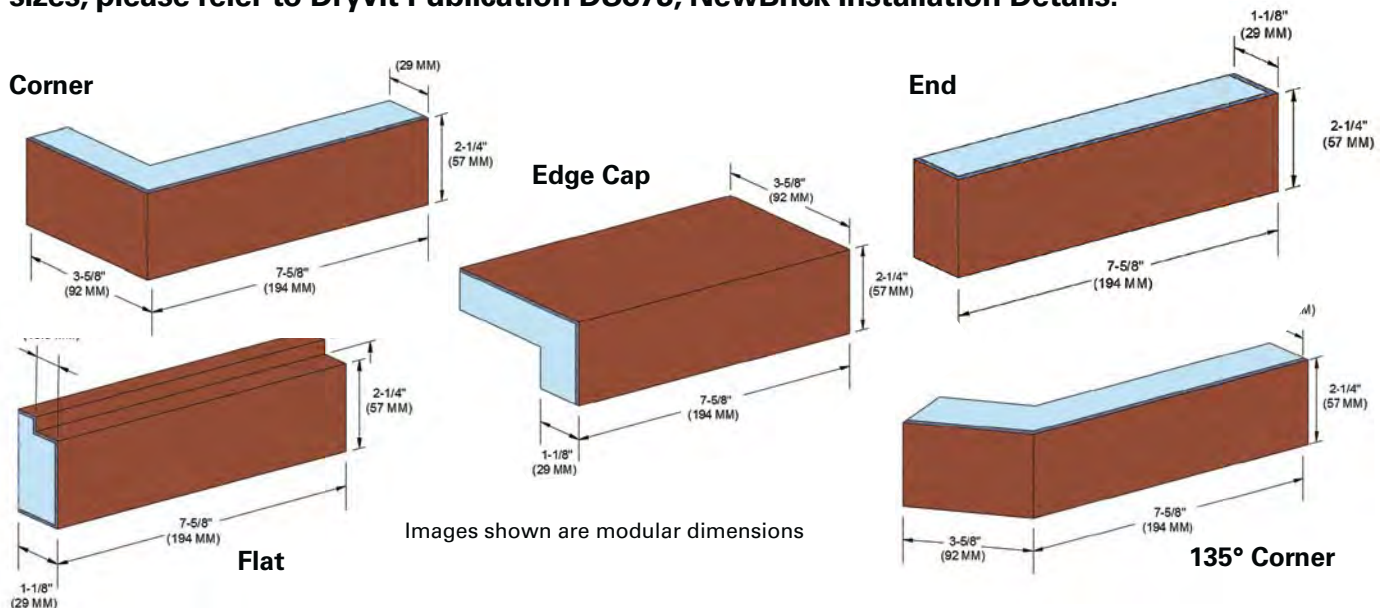
Flashed

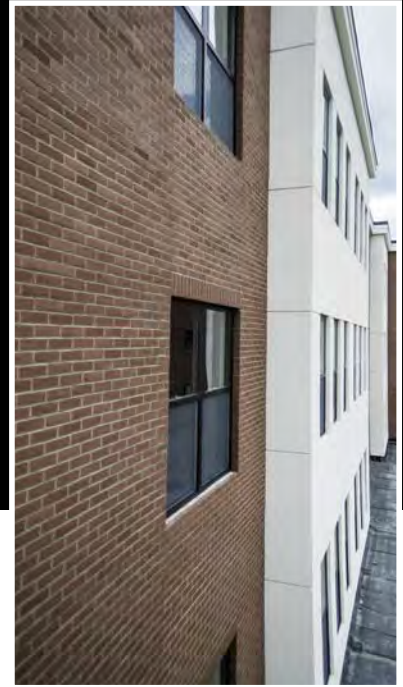


Flashed with Iron Spot

BRICK SIZES

NewBrick is available in four popular sizes — Modular, Utility, Economy and Norman. Shown below are the types and dimensions for Modular. For dimensions on other NewBrick sizes, please refer to Dryvit Publication DS873, NewBrick Installation Details.





NEWBRICK™ IS A LIGHTWEIGHT INSULATED BRICK PRODUCT.
It retains clay brick's classic size and appearance, with so much more.

LIGHTWEIGHT!

- Only 2.45 lbs./sq. ft. before mortar, resulting in higher daily productivity
- Eliminates ties, pans, shelf angles and significantly reduces load bearing footings
- Safer to work with – especially on multi-story construction projects
- Easy to cut and very little dust
- Compresses the exterior construction schedules
- More bricks per truck lowers transportation costs

ENERGY EFFICIENT!

- Thermal insulation built right into NewBrick, helps to reduce energy bills!
- When used in combination with Outsulation CI system, it can contribute to LEED credits

TESTED!

- Meets NFPA 285
- Contributes to the insulation requirements as published in the IECC and ASHRAE 90.1 when installed over any Outsulation CI system

- Meets the State of California energy efficiency requirements as defined in Title 24, part 6 when installed over any Outsulation CI system

SIMPLE!

- Quick and easy installation
- When installed over Outsulation CI system, the system includes air, water and vapor barrier, continuous insulation (CI), resistive drainage plane, and a cladding system that comes with a complete single source system warranty
- Single manufacturer and installed by a single contractor simplifies jobsite responsibilities and reduces coordination between trades
- Can be installed directly to nearly any solid substrate or any Dryvit Outsulation CI system
- Easy to repair if damaged
- Simple, yet versatile, allowing for decorative patterns and bonds
- NewBrick's horizontal alignment guide makes installation process easier and faster

WEIGHT AND SIMPLICITY MATTER

For the project: lower weight and increased simplicity equals lower total cost. NewBrick eliminates the need for pans, ties, shelf angles, thermal bridging solutions, and significantly reduces the size of load bearing footings increasing simplicity and reducing project costs. When combined with an integrated Air Weather Barrier (AWB), code approved flashings, continuous insulation and dual drainage planes, NewBrick meets or exceeds the latest building code in every climate zone, all fully tested.

For the installer: lower weight and simplicity equals increased ease of use, which increases productivity. When combined with Outsulation, the wall assembly from sheathing to NewBrick veneer is installed by a single source, which reduces trade coordination, all fully protected by a wall warranty from sheathing to NewBrick.



For more information on how NewBrick by Dryvit can revolutionize your next project call us at 1-800-556-7752, ext. 6 or email us at newbrick@dryvit.com.



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