

Brix on Tenth

By

Garbett Homes

Addresses

Parcel #	Acreage	Address
1514253005	0.80	1549 S 1000 W
1514253006	0.07	1551 S 1000 W
1514253065	0.47	1567 S 1000 W
1514253032	0.48	1550 S 900 W
1514253031	0.34	1544 S 900 W
Total	2.2	

Parcel Map

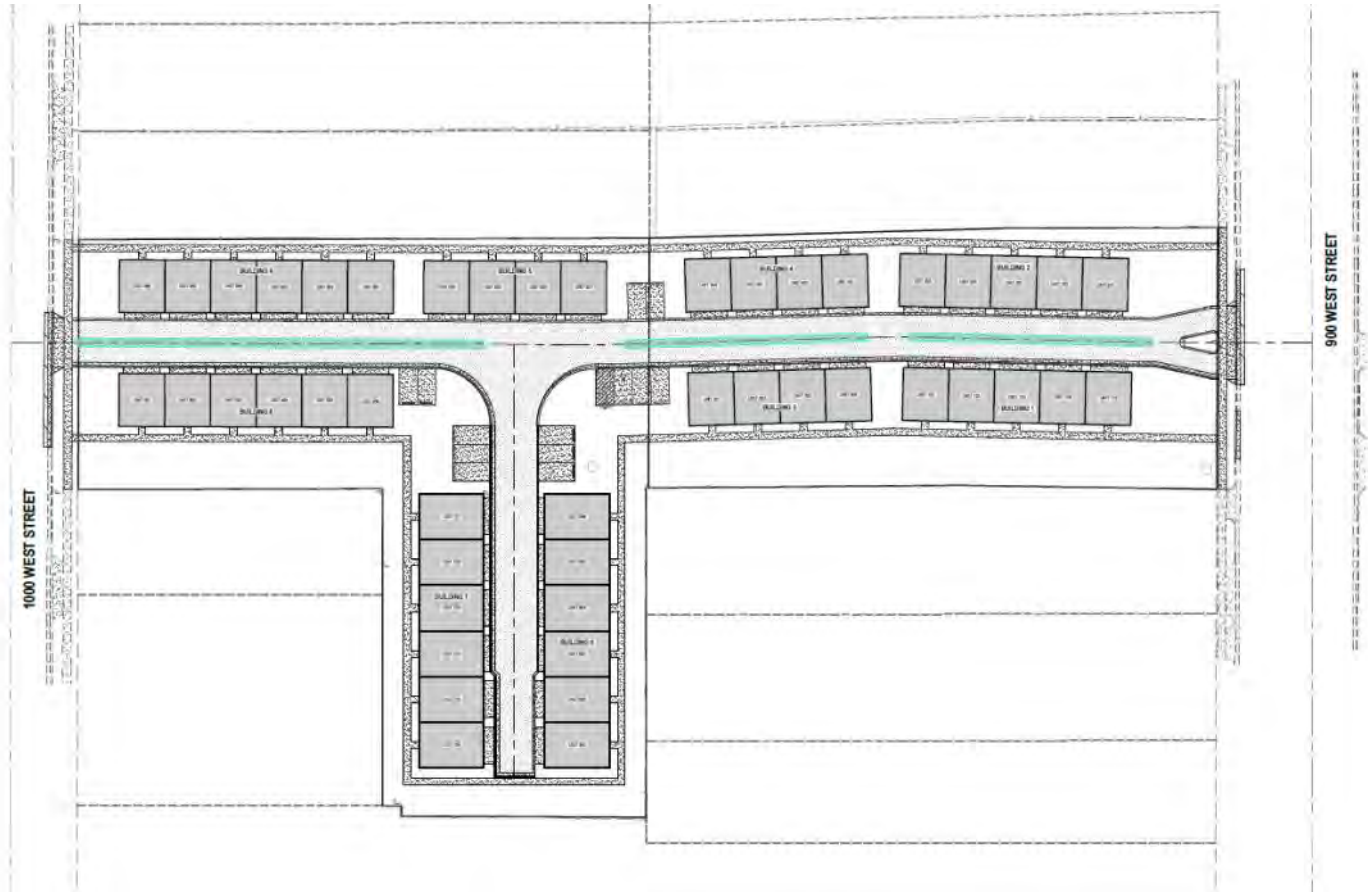


Brix on Tenth

46 total, for sale units.

34 — wo bedroom, two car garage units — 1,335 SF

12 — three bedroom, two car garage units — 1,720 SF



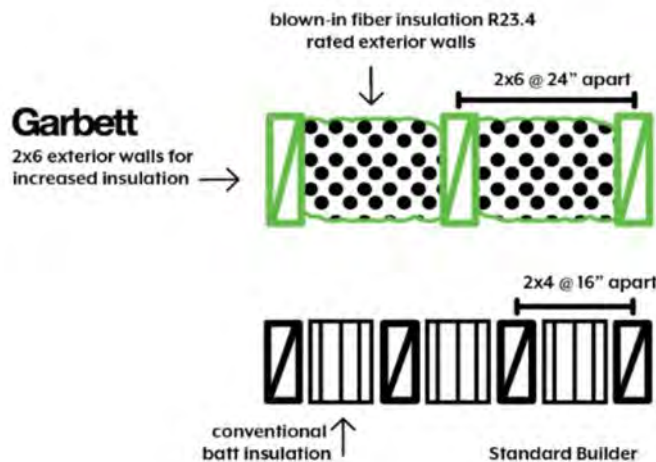
Proposed Use:

Garbett Homes is proposing a 46 unit Town Home Development. These homes will be for sale. This development will be built to the Department of Energy's Zero Energy ready standard, and will be an all electric community. Meaning no gas utilities will be need, but rather it will focus on the use of electric power to heat and cool the home. Each home will have a 2 car garage and depending on the floor plan the Brix project will feature 2 to 3 bedroom options.

A. Meeting the Sustainability objective of Master Planned Developments—Green Building Techniques to be used in the Brix on Tenth development.

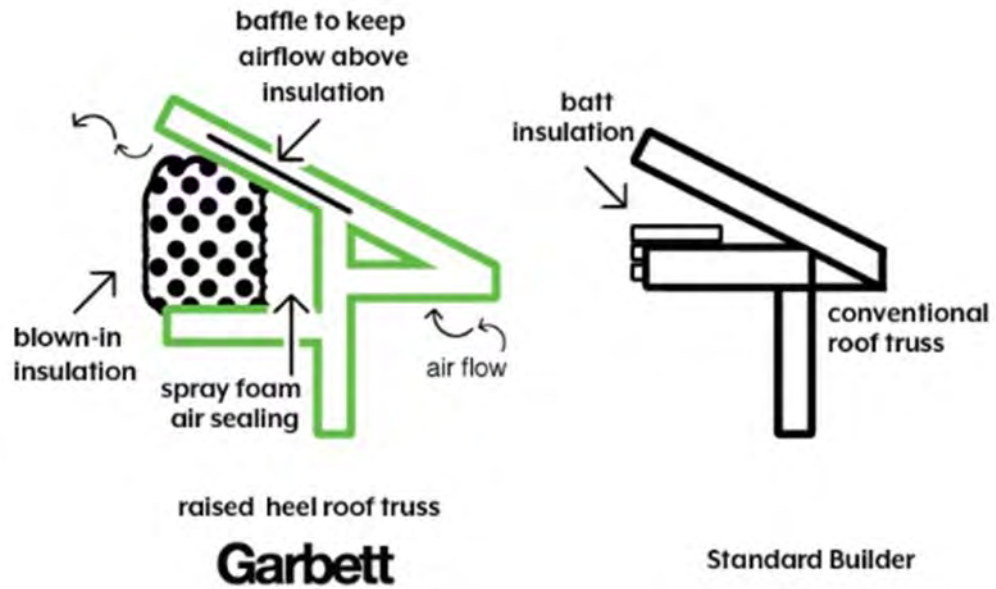
Over the past Decade Garbett Homes has continuously worked to build the most high performing and energy efficient homes for our buyers at a price that they can afford. Brix on Tenth will feature all the technology and techniques we have acquired over this time in order to achieve a high performing extremely energy efficient community. The following will be included in our Brix on Tenth Homes:

- 1. Each home will be pre-wired for solar.** Making it easy and inexpensive for our customers to install solar or subscribe to a solar panel provider. They will also have the option to set up back up battery storage within their own homes.
- 2. 2x6 exterior wall construction**



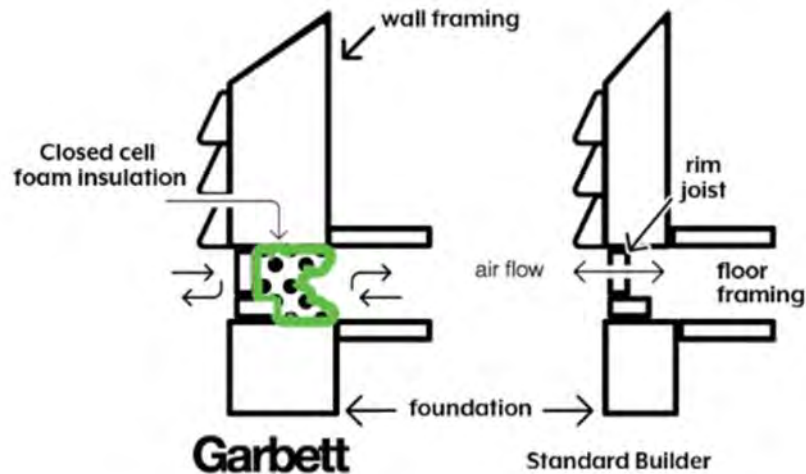
By using 2'x6' exterior walls instead of conventional 2'x4' walls, and spacing studs 24" on center (instead of the standard 16" apart) We're able to make significant gains in insulation. Wood is a poor insulator, so by incorporating these innovations we're able to include more insulation and give you a higher performing

3. Raised-heel Roof Truss:



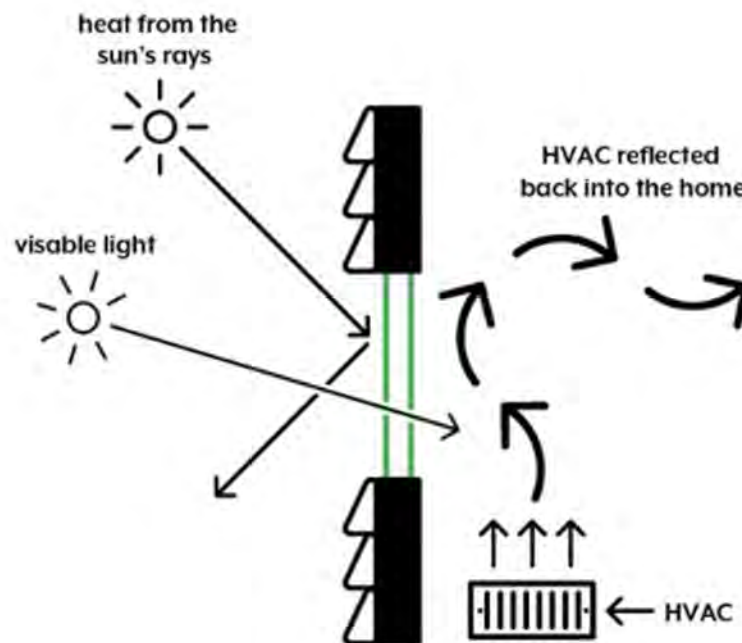
Raised heel roof trusses offer the most energy-efficient roof framing. Getting full insulation coverage over the entire ceiling is difficult when ceiling trusses are not designed to allow the insulation to maintain its desired thickness all the way to the wall. Conventional roof truss assembly (insulated with standard batts) does not allow adequate ceiling insulation and the air passing through the vents is restricted. The Garbett raised heel system uses baffles to allow adequate air flow above the insulation. Blow-in fiber is used to insulate the ceiling, and spray foam is used to air-seal the raised heel, achieving a true and consistent R-60 thermal rating.

4. Raised-heel Roof Truss:



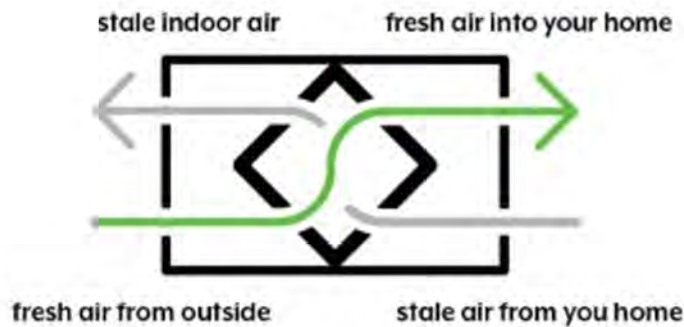
The rim joist can be a significant source of air-leakage. Drafts can be pulled through the house into walls and holes created by plumbing pipes and electrical work. Garbett Homes uses closed-cell spray foam to air-seal and insulate the rim joist. Unlike conventional batt insulation, the spray foam leaves no gaps or voids and won't sag while performing as a super-tight air barrier and insulator.

5. LOW E Windows



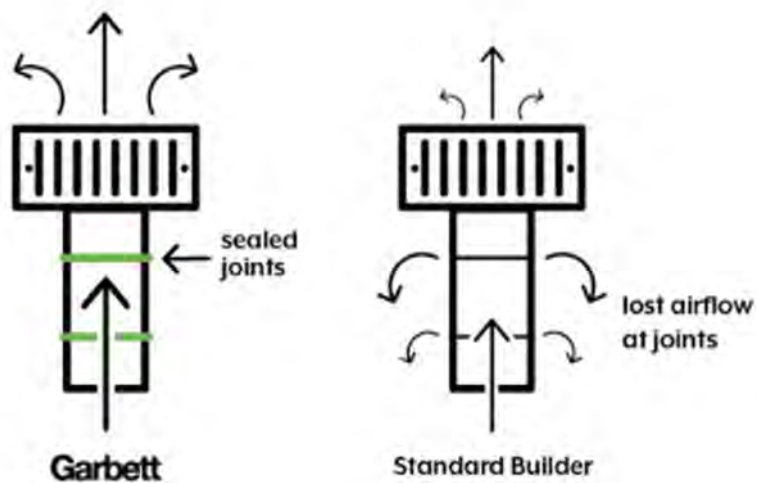
Each Garbett home comes with Low-Emissance (low-E) windows. Low-E windows allow visible light to enter our homes while restricting summer heat from entering. During the winter months, the windows keep cold air outside while reflecting the heat produced from the home back into the home, keeping your home cooler in the summer and warmer in the winter.

6. Advanced ERV System



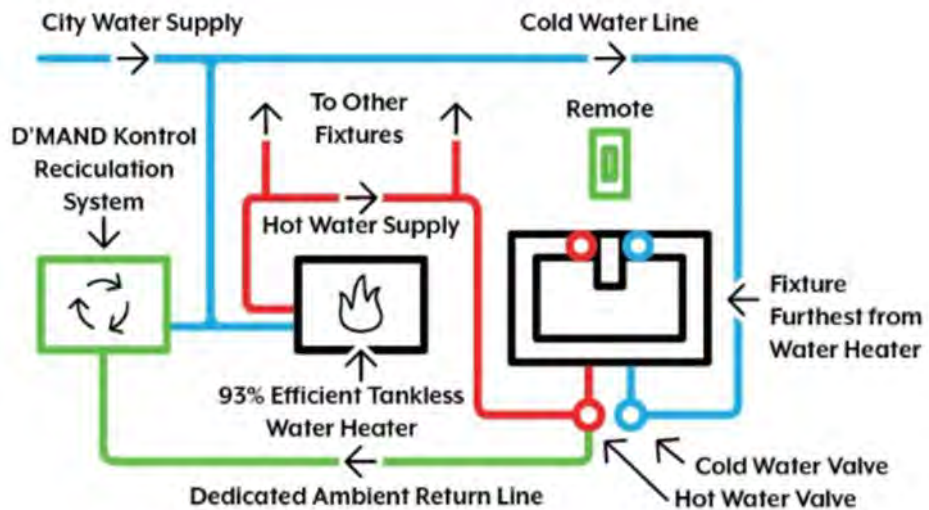
Each home is equipped with an advanced air exchanger that completely replaces all the indoor air with filtered outside air, helping to keep clean indoor air quality levels. The system uses advanced Energy Recovery Ventilation (ERV) technology to precondition the incoming outdoor air. The system precools the air in the warmer seasons and preheats the air in the cooler seasons. The benefit of using energy recovery technology is the ability to improve indoor air quality and reduce the energy used by the heating and cooling equipment. This technology has demonstrated an effective means of reducing energy costs by reducing the home's heating and cooling loads.

7. Air Duct Sealing



All air ducts are sealed with an advanced sealant to provide a flexible air-tight seal. Advanced sealants can bend and flow while maintaining a durable bond.

8. On Demand Hot Water Heater



The D'MAND Kontrol[®] Recirculation System works by circulating ambient (cool) temperature water that normally goes down the drain back to the hot water heater, through the cold water line. At the same time, it fills the hot water line with hot water from the water heater. When the hot water reaches the faucet, the valve closes and the pump turns off automatically providing hot water efficiently and on demand.

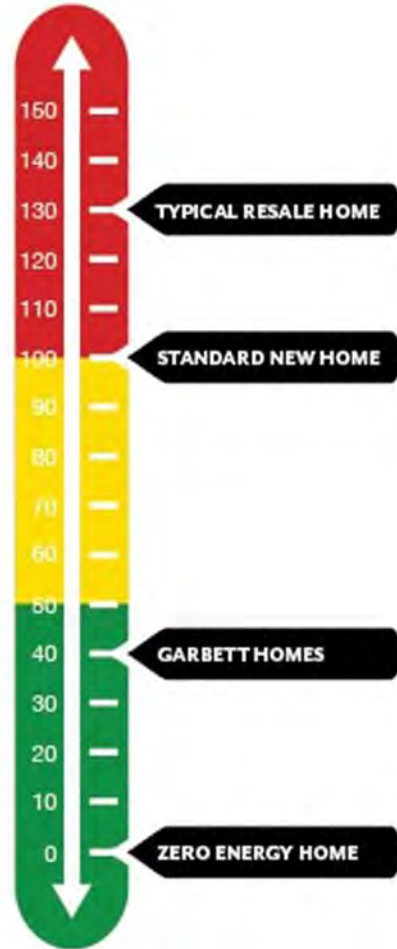
9. Programmable Thermostat

A programmable thermostat allows the adjustment of the temperature of the home to be as efficient as possible. All Garbett homes are equipped with programmable thermostats as a standard feature.

9. Individually tested and rated homes

Through the use of these techniques the homes built at Brix on Tenth will have a superior HERS index score. The HERS score is how we measure the energy efficiency of our homes. Each home is tested and verified by an independent 3rd party rater.

This ensures that we hold ourselves to the accountable to the claims that we are making. We anticipate the homes at Brix on Tenth will have scores in the 40's-50's. A score of 0 means you are a zero energy home and are producing as much energy as you are consuming. A typical home built to code will score in the 80-100 range. When compared to a similar home of similar size, ours would be almost twice as efficient.



B. Master Plan Compatibility

The Westside Master Plan composed in 2014 provides extensive background on the state of the neighborhood, which like the rest of the Salt Lake Valley has seen dramatic growth over the last 50 years. The Westside has traditionally grown faster than most parts of the city as the neighborhood has provided affordable family housing options. To address growth and housing challenges, the City has developed a comprehensive set of goals and policies outlined in various planning documents, including the Westside Master Plan (Adopted 2014), Housing SLC (2023-2027), Growing SLC: A Five-Year Housing Plan (2018-2022), and Plan Salt Lake (Adopted 2015) .

The Westside Master Plan focuses on promoting reinvestment and redevelopment in the Westside community while preserving the character of existing stable neighborhoods. The plan also identifies specific areas, such as the edges of neighborhoods and intersections, for potential growth opportunities.

Growing SLC aims to address the city's affordability needs by reviewing and modifying land-use and zoning regulations. It emphasizes the importance of securing and preserving long-term affordability, increasing the number of housing units on specific parcels, and implementing life cycle housing principles. In-fill ordinances and flexible zoning tools are encouraged, especially along significant transportation routes.

Plan Salt Lake promotes high-density residential development in areas served by transit, with a focus on locating new developments in areas with existing infrastructure and amenities. The plan encourages infill and redevelopment of underutilized land, moderate density increases within existing neighborhoods, and an overall increase in the city's population. Access to opportunities for a healthy lifestyle and support for housing choices, including affordability and accessibility, are key components.

Housing SLC emphasizes the importance of neighborhoods with access to jobs, transit, greenspace, and basic amenities. It acknowledges the challenges of air quality and advocates for reforming city practices to create a responsive, affordable, and high-opportunity housing market. Collaboration with a network of partners, including market-rate developers, is considered crucial in addressing housing instability.

The proposed Brix development aligns with the Westside Master Plan and other city documents. It aims to create an attractive low-density multi-family development, activating the area and promoting further investment in underused parcels. The project supports infill, utilizing land more effectively through additional density, and is expected to breathe life into existing infrastructure and amenities.

In terms of transportation and mobility initiatives, both the Westside Master Plan and Growing SLC stress the importance of well-connected transportation modes within and between the Westside and the rest of the city. Plan Salt Lake emphasizes creating a system of connections to facilitate easy access to employment, services, amenities, and housing while reducing automobile dependency and minimizing emissions.

The proposed projects contribute to these initiatives by bringing people into well-connected areas, reducing reliance on automobiles, and supporting the broader goal of reducing pollution in Utah. With the state's air quality challenges, the emphasis on walkable/bikeable streets, neighborhood centers, and placing people within a ¼ mile radius of transit aligns with the broader strategy to combat pollution caused by transportation, which accounts for a significant portion of wintertime pollution in the state.

C. Design and Compatibility

1. Scale, Mass and Intensity

The Brix project is compatible with the neighborhood. Already there are a number of existing townhome projects that are either recently built, or currently under construction. These projects are similar in density, scale and mass to what is being proposed for Brix. The proposed scale mass and intensity of the Brix project will be compatible with the neighborhood especially considering the below highlighted projects that are already approved.



2. Building orientation and materials compatibility

The Brix project will feature an attractive mix of hardy board siding and stucco. These buildings have been designed in partnership with the award winning KTG architecture firm to implement the latest in contemporary design and architecture trends. These buildings are similar in contemporary feel to the other town-home projects approved, without being so identical as to become monotonous.



3. Building setbacks

A. The project complies with, or exceeds all setbacks that are required in the RMF-30 zone. The 10' border along the north property line is the smallest setback of the project, the other setbacks are 17' and 30', thus creating additional relief from the density that will improve the feel of the project.

B. Provide sufficient space for private amenities: Each home will feature a private patio for the residents, this will allow greater interaction with the street at the ground level, better integrating the project into the community.

C. Open space. The 13,000 square foot linear park provides a great opportunity for shared open space. The generous setback along this portion of the project of over 17' will also create a nicer perimeter that will help to minimize negative affects on the surrounding properties.

D. Sight lines to the street will be created by the interior drive way that will allow access to the homes and the large linear park. Both these will provide an opportunity for newly created sight lines that will enhance the community.

E. Buildings have been placed with maintenance in mind. With the setbacks and spacing between units, service for maintenance and repairs will be sufficient.

4. Ground floor transparency, access and architectural detailing

All units offer ground floor transparency. Because of the location of the stairs in the two bedroom unit there is less opportunity for transparency in that home. To help alleviate this issue we will be adding 3' privacy fencing to all units. This creates a very desirable amenity for home owners and helps to break up the visual from the pedestrian view. These fences will add need interest.



5. Lighting—Back and front lighting will be illuminated by timer cell outdoor lighting on each of the units. This will attractively illuminate the units while keeping impacts to a minimum on neighboring homes.

6. Trash—each home will have it's own garbage and recycling cans that will be housed within the garage.

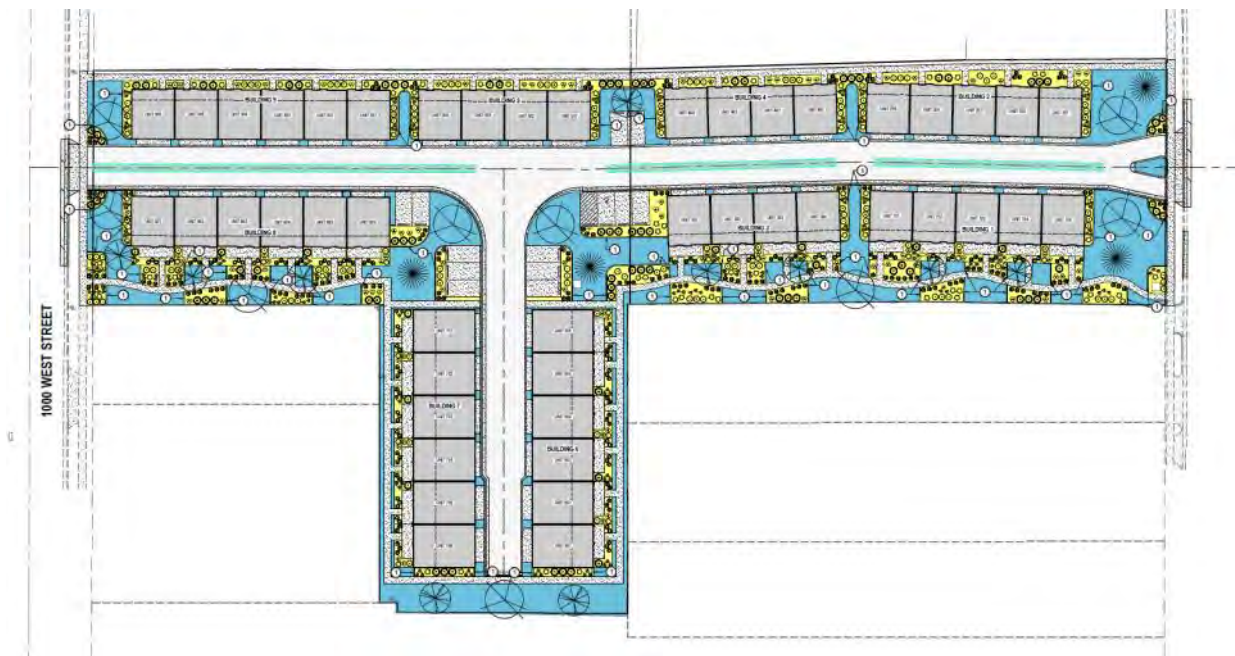
7. The guest parking is located within the interior of the project providing easy access to each of the units and removing it from the street face.

D. Landscaping

1. Where possible mature trees along the linear park area will be preserved. It is difficult to predict how construction will unfold, but the highlighted tree, presents in our opinion, the best opportunity for saving.



2. Around the perimeter of the project and the linear park, all landscaping will be installed by the developer and maintained by the HOA. The minimal landscaping that is there currently will be replaced per the proposed landscaping plan.
3. The landscape plan offers a buffer to the neighboring homes. Most significantly the 30' setback through the middle of the community offers a buffer that is rarely feasible in this type of a development. It will significantly minimize negative impacts by offering a brand new amenity for the entire community.
4. We feel strongly that this landscape plan is not only appropriate, but beneficial to the community. Providing increased open space and attractive elements.



E. Mobility

1. it is not anticipated that drive access to local streets will negatively impact the safety, purpose and character of the street. Each access point to the community is replacing a current access. We are adding no additional access points.
2. This site design offers better circulation of a range of transportation options. By creating a mid block access from 900 to 1000 west, the block becomes more pedestrian friendly. Making access to amenities and businesses easier. This new midblock access makes bus stops and bike paths more accessible, it gives a significant shortcut for pedestrians without introducing new dangers.
3. The midblock access creates a new access point for pedestrians and cyclists that can offer an attractive alternative to a busy road.
4. The fire department has reviewed the proposed plan and finds it acceptable. They have been very helpful in making sure we comply with all their regulations and requirements.

F. Existing site features. The main feature that significantly contributes to the character of the neighborhood is the proposed linear park. It will offer new open space to the community that was not previously there, or able to be used.

G. Utilities—It is not anticipated that the development utility requirements will have a negative impact on the neighborhood or environment.

Exceptions sought.

1. **Exception of the maximum height of 30' to allow for 34' .** This exception will allow us to deliver a home that is unique and different from the flat roof style townhome projects that are being built, or have recently been built in the neighbor hood, while minimizing the impact on neighbors
2. **Exception to allow the front deck to encroach on the 10' setback along the north property line.** The deck will extrude out 4'6" from the face of the home. We have constantly received positive feedback on decks on the main level of our homes. They are a critical amenity that are appreciated by a majority of buyers. Allowing this exception will help us deliver a more desirable home for future residents.



3. **Exception to transparency requirements for homes not fronting public streets.** As part of the Zero Energy Ready program it requires that the transparency of the building not exceed, 15% of the finished square footage for each floor. Windows do not insulate the home as effectively as solid materials and insulation. In order achieve the Zero energy ready certification we are asking for an exception to the transparency rules on units that do not front the public street.

Unit 1



ENERGY - TRANSPARENCY			
UNIT 1 - INTERIOR			
FIRST FLOOR	FLOOR AREA	PROVIDED	%
	117 SF	6 SF	5.1%
SECOND FLOOR	622 SF	50 SF	8.1%
THIRD FLOOR	590 SF	65 SF	10.9%
UNIT 1 - END			
FIRST FLOOR	FLOOR AREA	PROVIDED	%
	118 SF	6 SF	5.1%
SECOND FLOOR	627 SF	74 SF	11.8%
THIRD FLOOR	601 SF	89 SF	14.8%
UNIT 1 - END SIDE ENTRY			
FIRST FLOOR	FLOOR AREA	PROVIDED	%
	118 SF	21 SF	17.8%
SECOND FLOOR	627 SF	95 SF	15.2%
THIRD FLOOR	601 SF	110 SF	18.3%

Unit 2



ENERGY - TRANSPARENCY			
UNIT 2 - INTERIOR			
FIRST FLOOR	FLOOR AREA	PROVIDED	%
	256 SF	21 SF	8.2%
SECOND FLOOR	736 SF	59 SF	8.1%
THIRD FLOOR	728 SF	81 SF	11.2%
UNIT 2 - END			
FIRST FLOOR	FLOOR AREA	PROVIDED	%
	258 SF	31 SF	12.0%
SECOND FLOOR	747 SF	79 SF	10.6%
THIRD FLOOR	739 SF	101 SF	13.7%

Units with reduced transparency





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 303.825.6400

KTGY Project No: 20231077

Project Contact: Madelyn Kodros
 Email: mkodros@ktgy.com

Principal: William Ramsey
 Project Designer: Morgan Hopley

Developer

GARBETT HOMES
 273 N. EAST CAPITOL STREET.

SALT LAKE CITY, UTAH 84103
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BRIX ON 10TH
 SALT LAKE CITY, UTAH

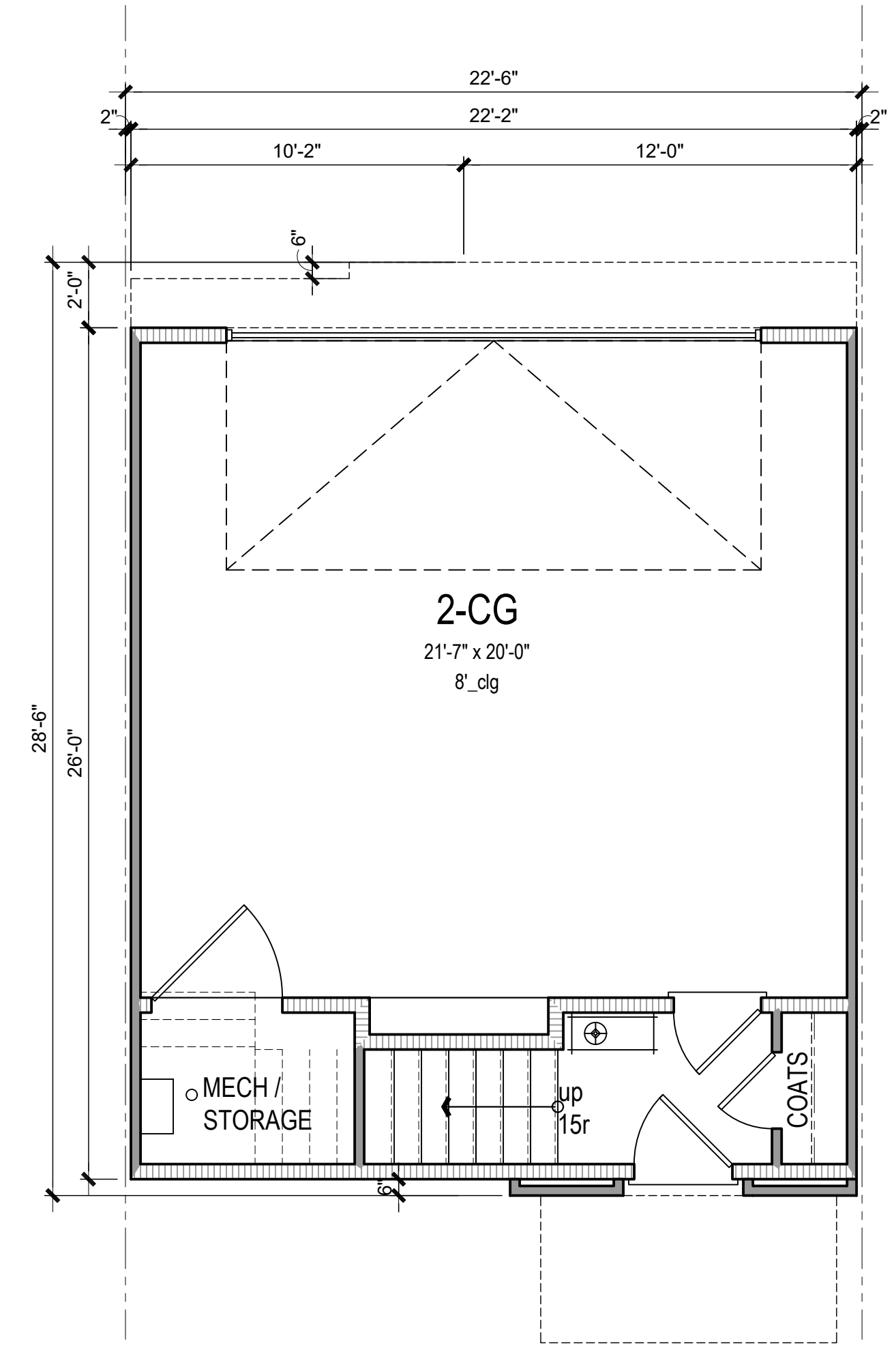
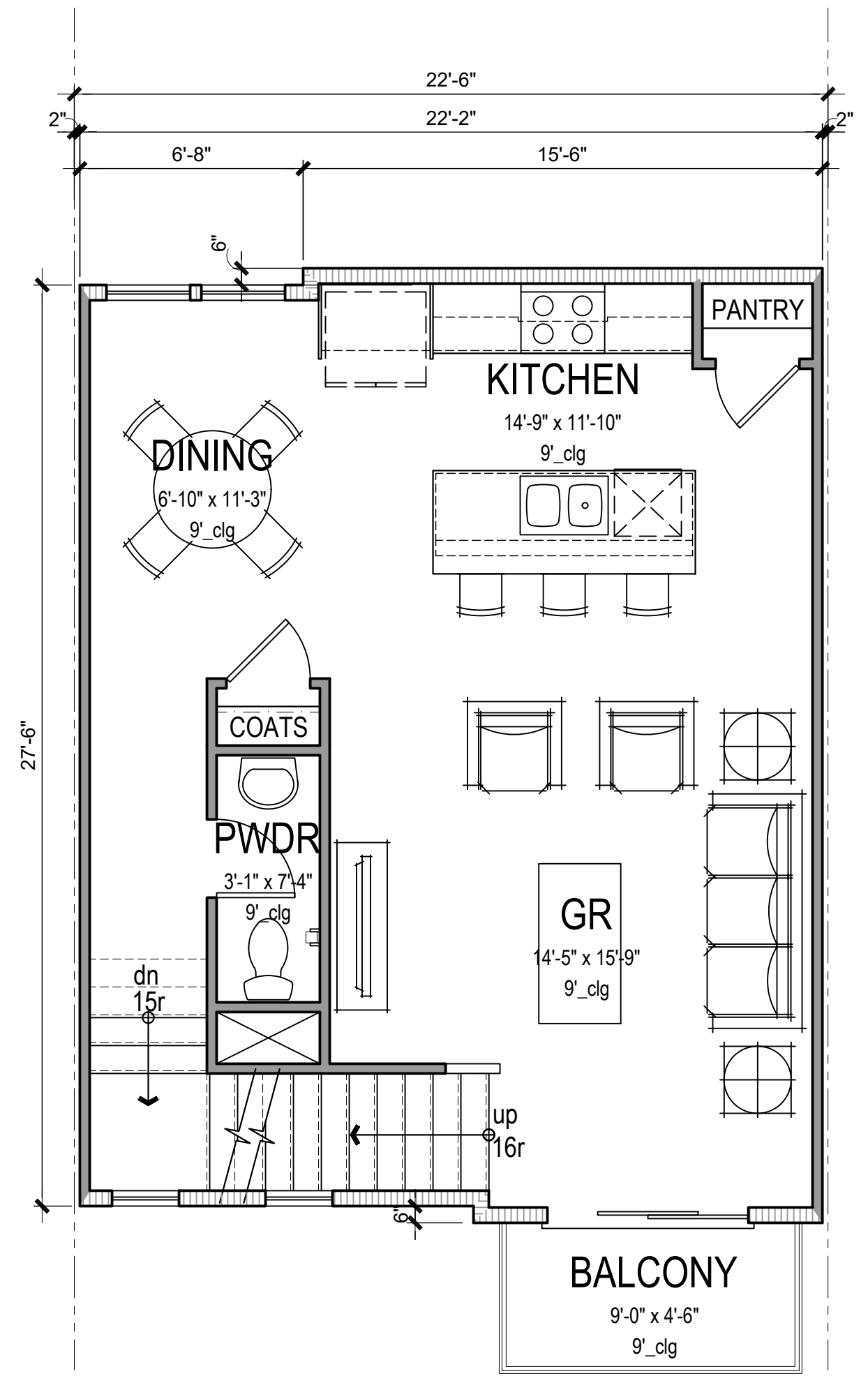
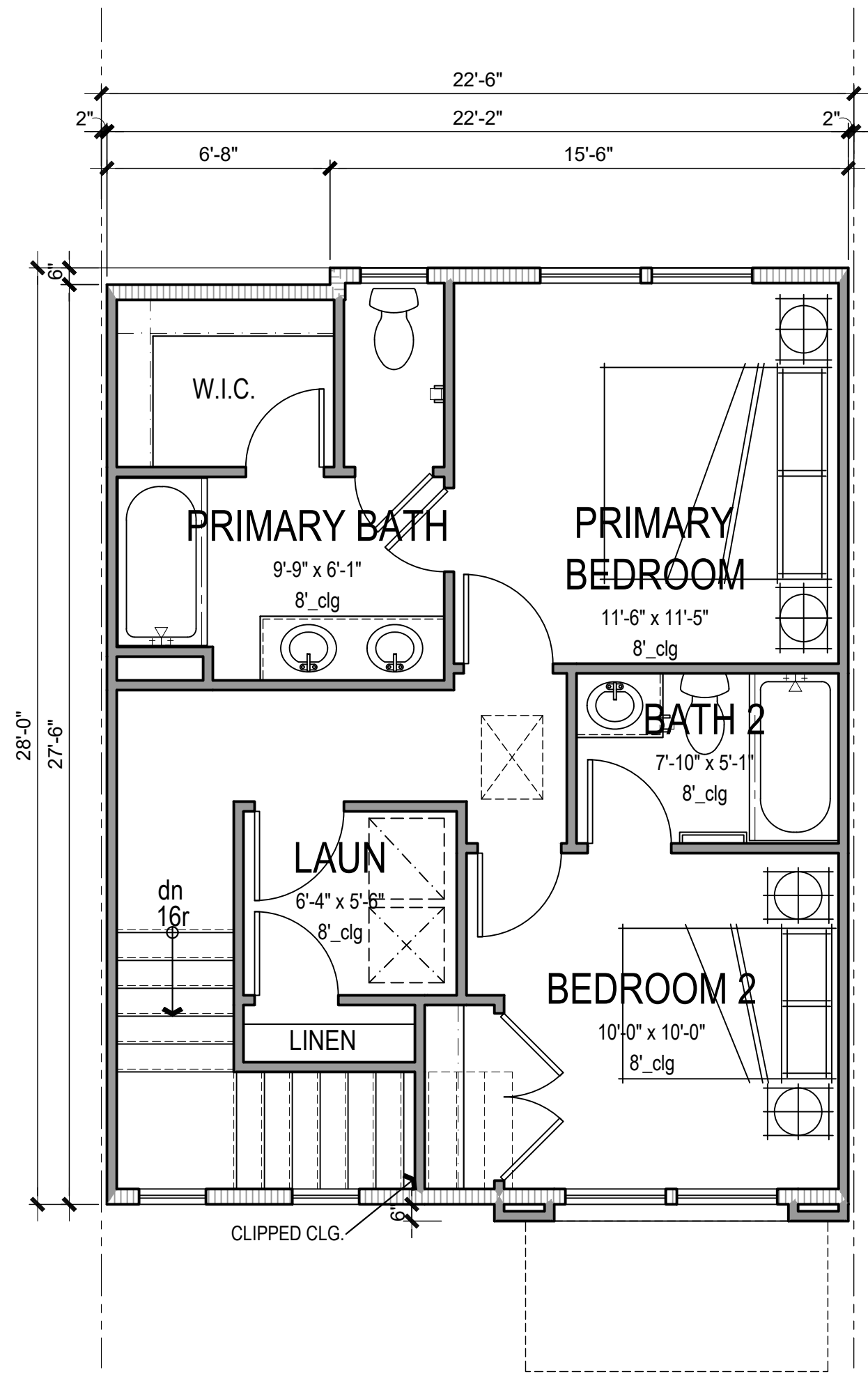
No.	Date	Description

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November 13, 2024

**UNIT PLAN 1 -
 INTERIOR UNITS**

A1-00



UNIT 1 FLOOR PLAN - LEVEL 3 SCALE: 1/4"=1'-0" 3

UNIT 1 FLOOR PLAN - LEVEL 2 SCALE: 1/4"=1'-0" 2

UNIT 1 FLOOR PLAN - LEVEL 1 SCALE: 1/4"=1'-0" 1



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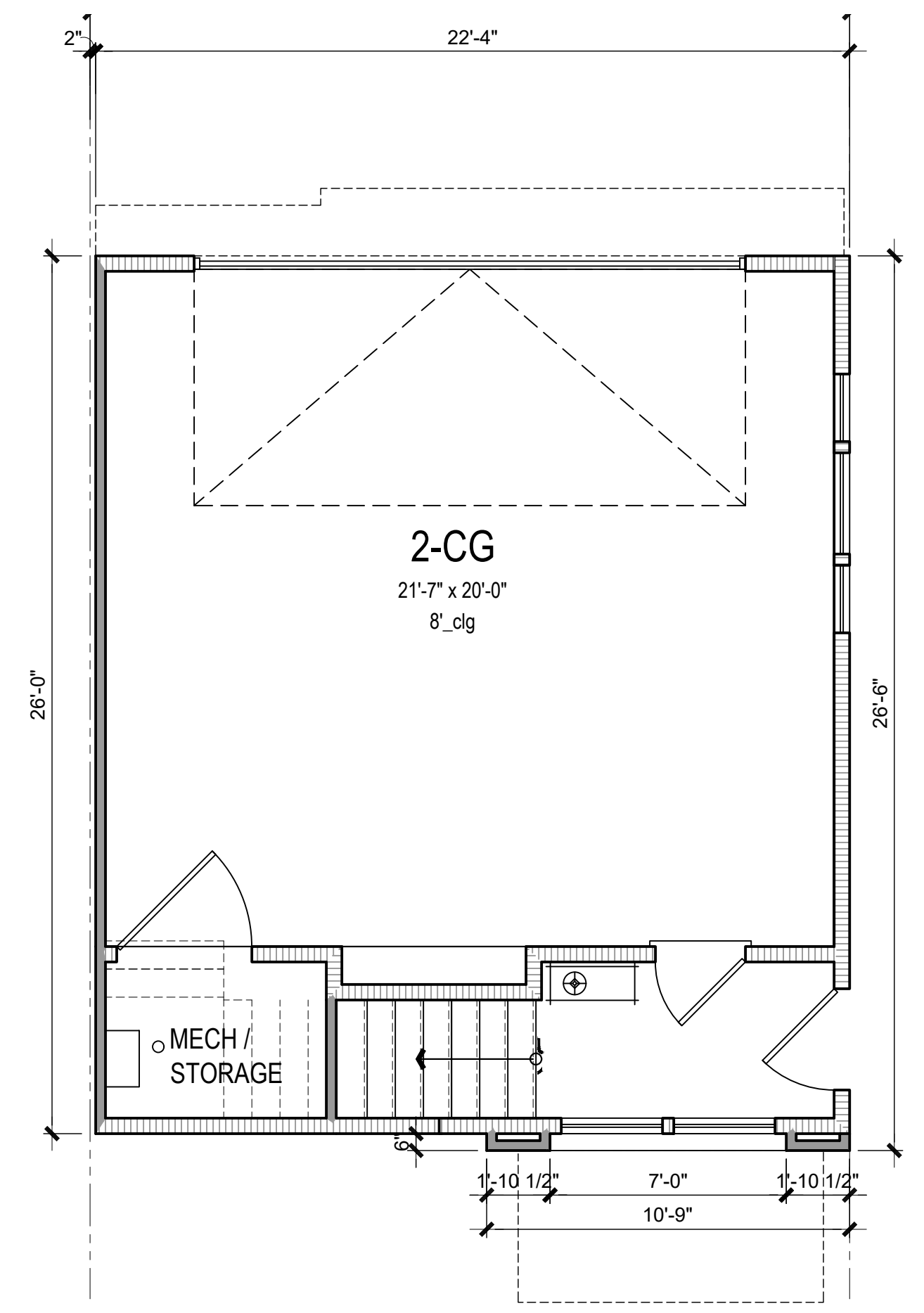
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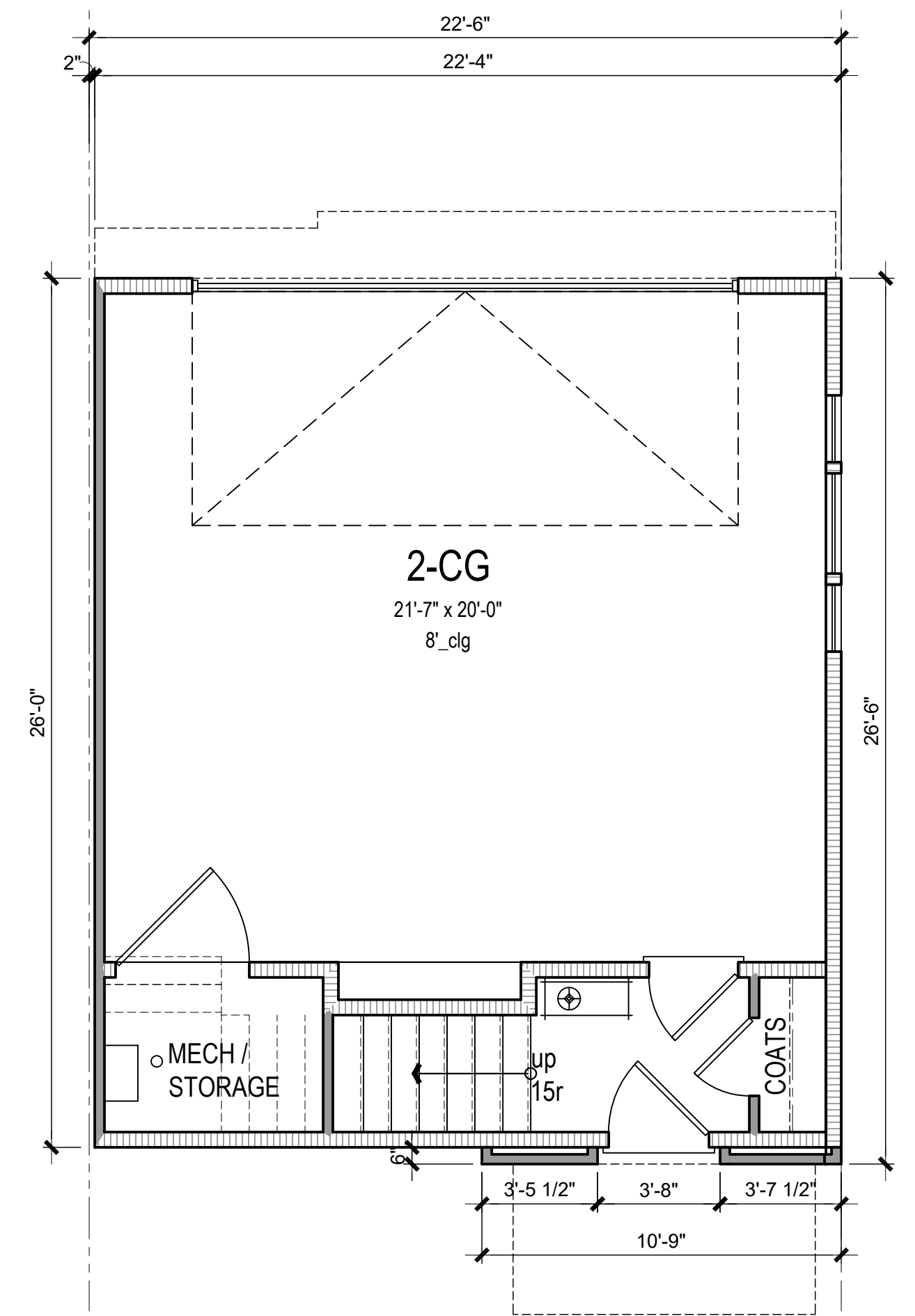
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UNIT PLAN 1 - END UNITS



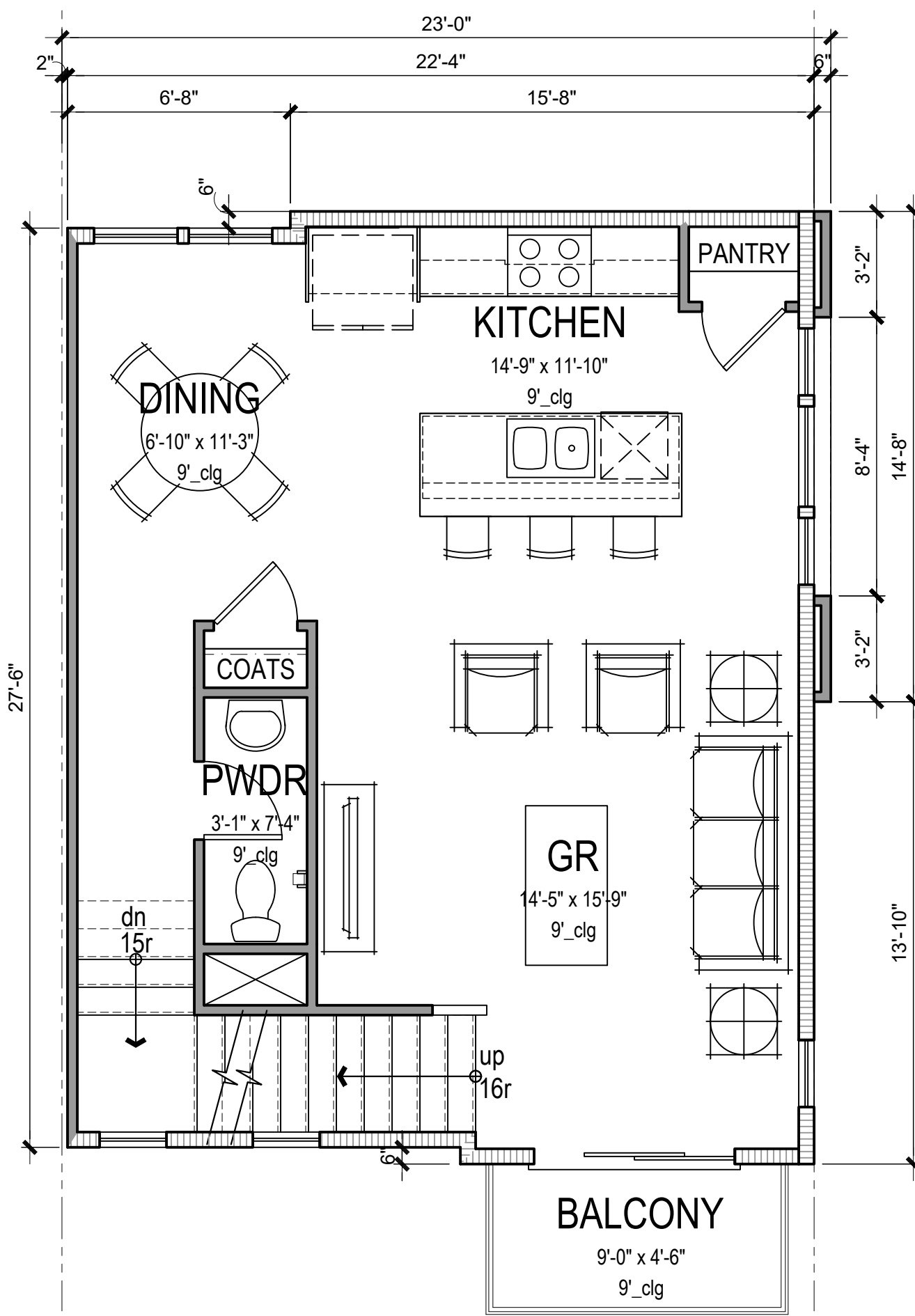
UNIT 1E - SIDE ENTRY SCALE: 1/4"=1'-0" **4**



LEVEL 1 LIVING - 118 SQ. FT.
GARAGE - 463 SQ. FT.

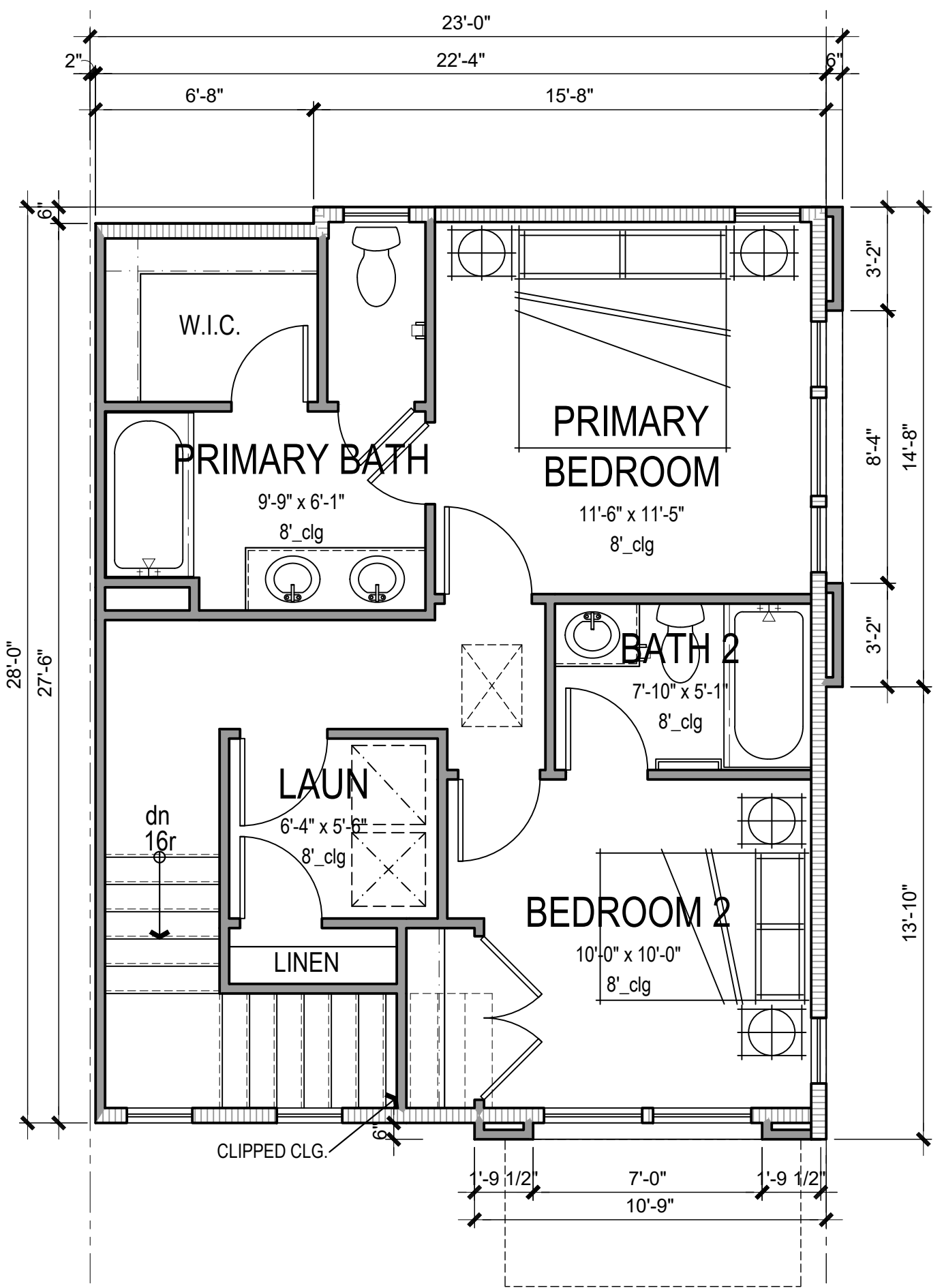
NOTE: MIRRORED CONDITION MAY OCCUR. SEE BUILDING COMPOSITES FOR LOCATIONS

FLOOR PLAN - UNIT 1E - LEVEL 1 SCALE: 1/4"=1'-0" **1**



LEVEL 2 LIVING - 627 SQ. FT.
LEVEL 2 OUTDOOR - 41 SQ. FT.

FLOOR PLAN - UNIT 1E - LEVEL 2 SCALE: 1/4"=1'-0" **2**



LEVEL 3 LIVING - 601 SQ. FT.

FLOOR PLAN - UNIT 1E - LEVEL 3 SCALE: 1/4"=1'-0" **3**



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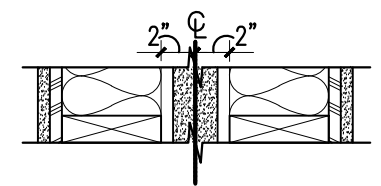
November 13, 2024

**4-PLEX BUILDING
 FIRST FLOOR PLANS -
 UNIT 1**

A1-40

PLAN NOTES

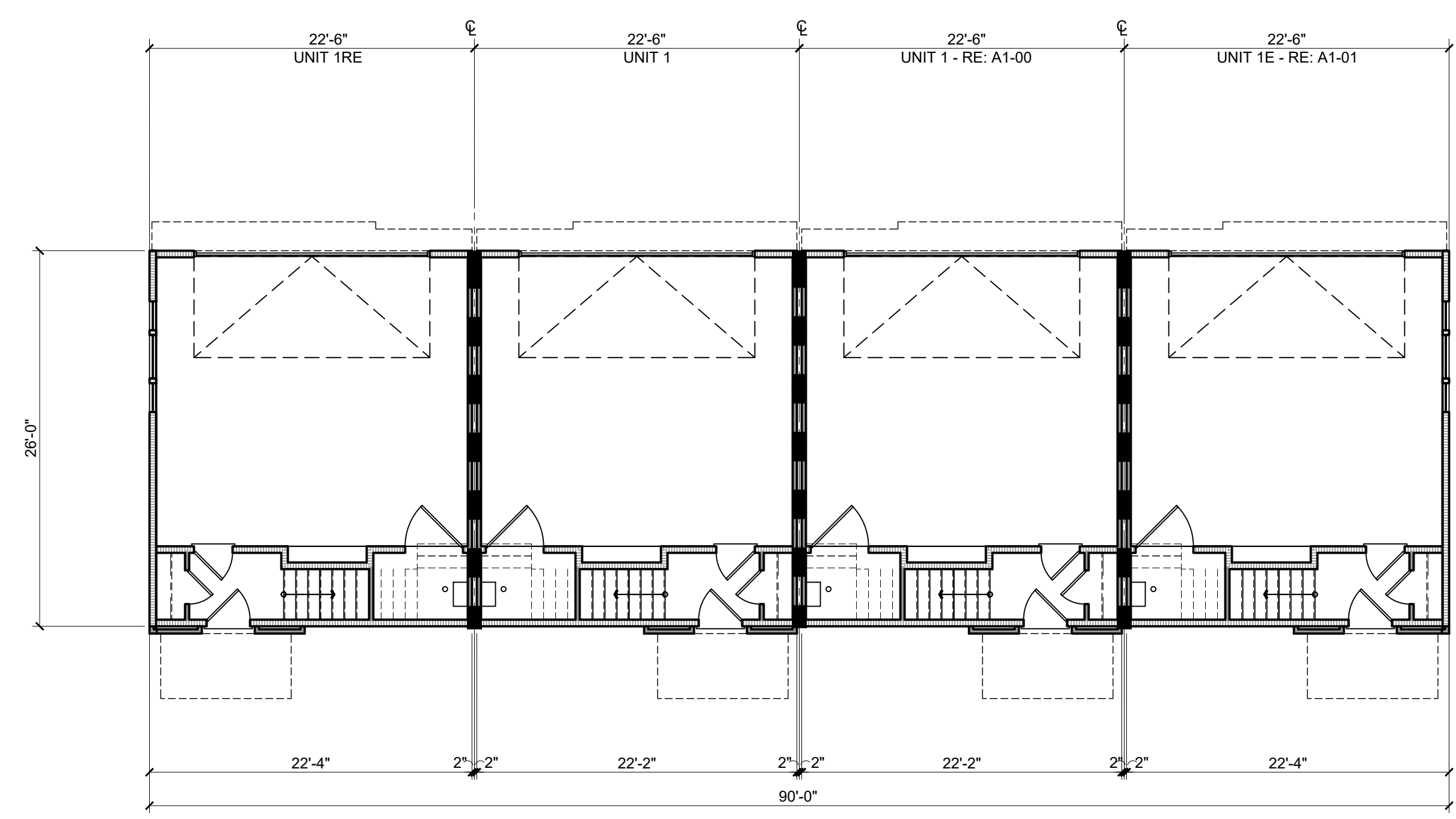
- ALL EXTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE:
 FOS - FACE OF STUD
 CL - CENTERLINE
- ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL 2-HR RATED UNIT SEPARATION WALLS ARE DIMENSIONED TO CENTERLINE OF AIR GAP.
 • CENTERLINE OF WALL
 OFFSET 2" FROM EACH
 INTERIOR FACE OF STUD.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE:
 FOF - FACE OF FINISH
 CL - CENTERLINE
- REF: A0-01 FOR ABBREVIATIONS
- REF: A0-02 & A0-03 FOR GENERAL NOTES APPLICABLE TO ENTIRE PROJECT.
- REF: A-D00 & A-D01 SHEETS FOR RATED ASSEMBLY DETAILS.
- DIMENSION FROM INTERIOR DOOR JAMB TO ADJACENT WALL IS 4" UNLESS DIMENSIONED OTHERWISE.
- THE COMPOSITE BUILDING PLAN IS PROVIDED FOR PLAN TO PLAN RELATIONSHIPS. REF: A5 SERIES UNIT PLANS FOR DETAILED INFO INCLUDING DIMENSIONS, WALL TYPES, ETC.
- SHEAR PANELS MAY OCCUR AND REQUIRE WALL FLUSH OUT ADJUSTMENTS. REFER TO STRUCTURAL FOR SHEAR PANEL LOCATIONS.
- FLOOR ELEVATIONS INDICATED ON PLANS ARE TO TOP OF CONCRETE OR TOP OF SUBFLOOR U.N.O.
- THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 5% (1:20). THE CROSS SLOPE SHALL NOT BE STEEPER THAN 2% (1:50).
- R = REVERSED UNIT PLAN.



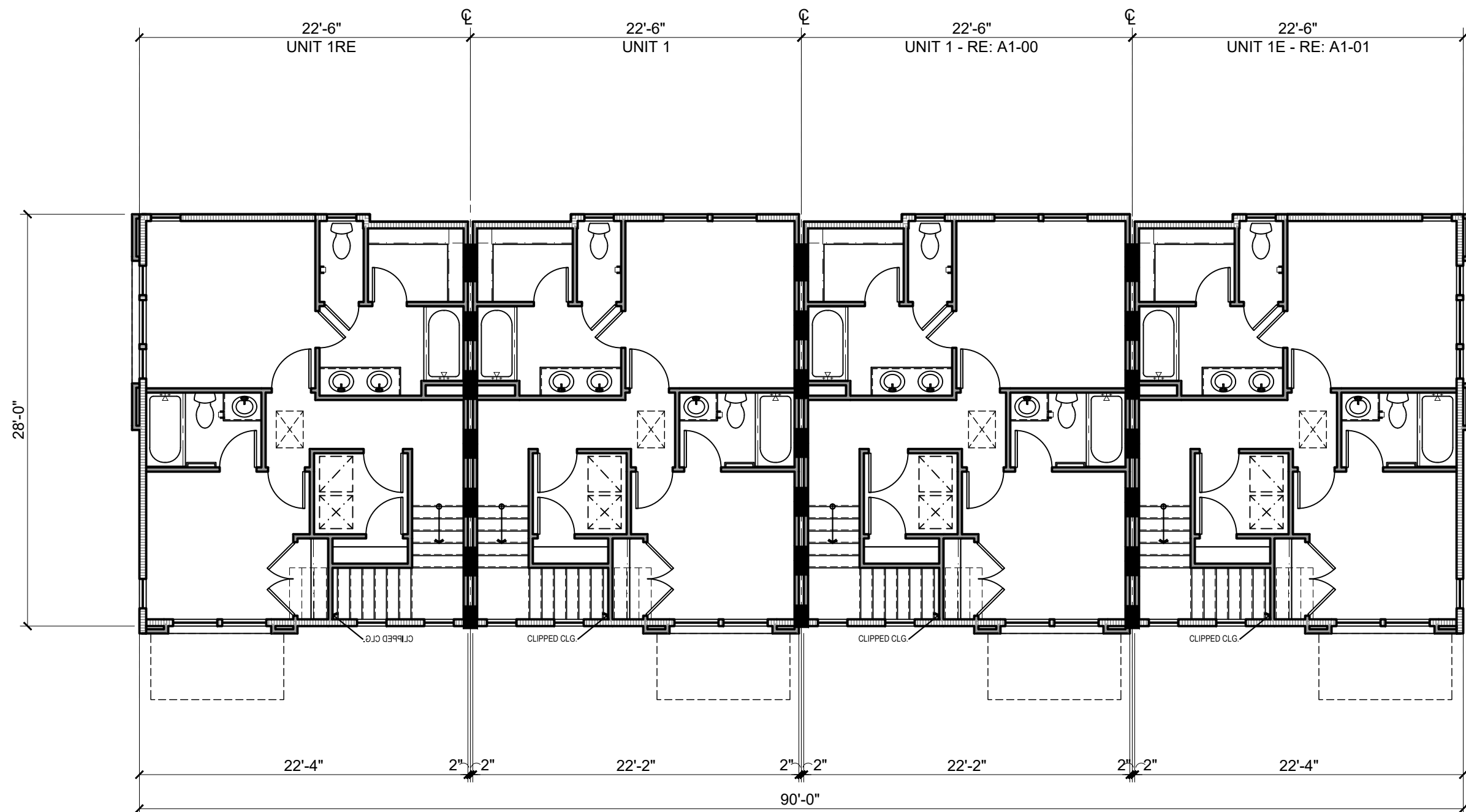
PLAN LEGEND

- FIRE SEPARATION LINE / CENTERLINE OF 2-HR RATED UNIT SEPARATION WALL
- ==== 6" EXTERIOR WOOD STUD WALL - REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS
- ==== 4" INTERIOR WOOD STUD WALL - REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS
- ===== SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F.
- ■ ■ ■ 2-HR RATED UNIT SEPARATION WALL; REF: A-D00 & A-D01 SHEETS

NOT USED SCALE: 1/8"=1'-0" 2



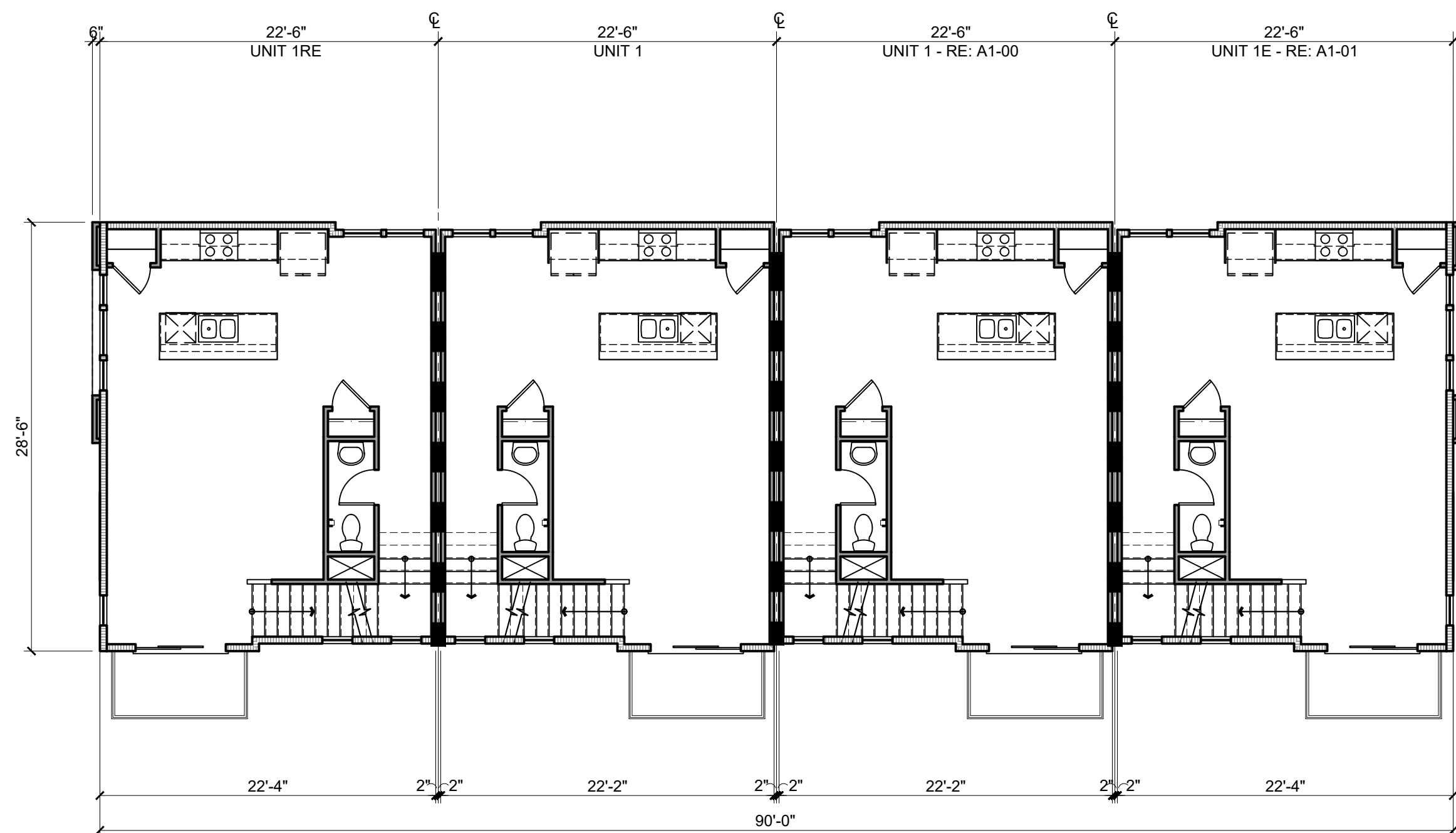
BUILDING FIRST FLOOR PLAN SCALE: 1/8"=1'-0" 1



BUILDING THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

2



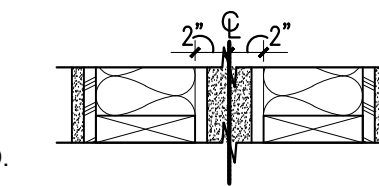
BUILDING SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

1

PLAN NOTES

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- ==== 4" INTERIOR WOOD STUD WALL - REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS
- ===== SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F.
- ■ ■ ■ 2-HR RATED UNIT SEPARATION WALL; REF: A-D00 & A-D01 SHEETS



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KTGY Project No: 20231077

Project Contact: Madelyn Kodros
Email: mkodros@ktgy.com

Principal: William Ramsey
Project Designer: Morgan Hopley

Developer



GARBETT HOMES
273 N. EAST CAPITOL STREET.

SALT LAKE CITY, UTAH 84103
PHONE NO. 801-456-2430
FAX NO. --

BRIX ON 10TH
SALT LAKE CITY, UTAH

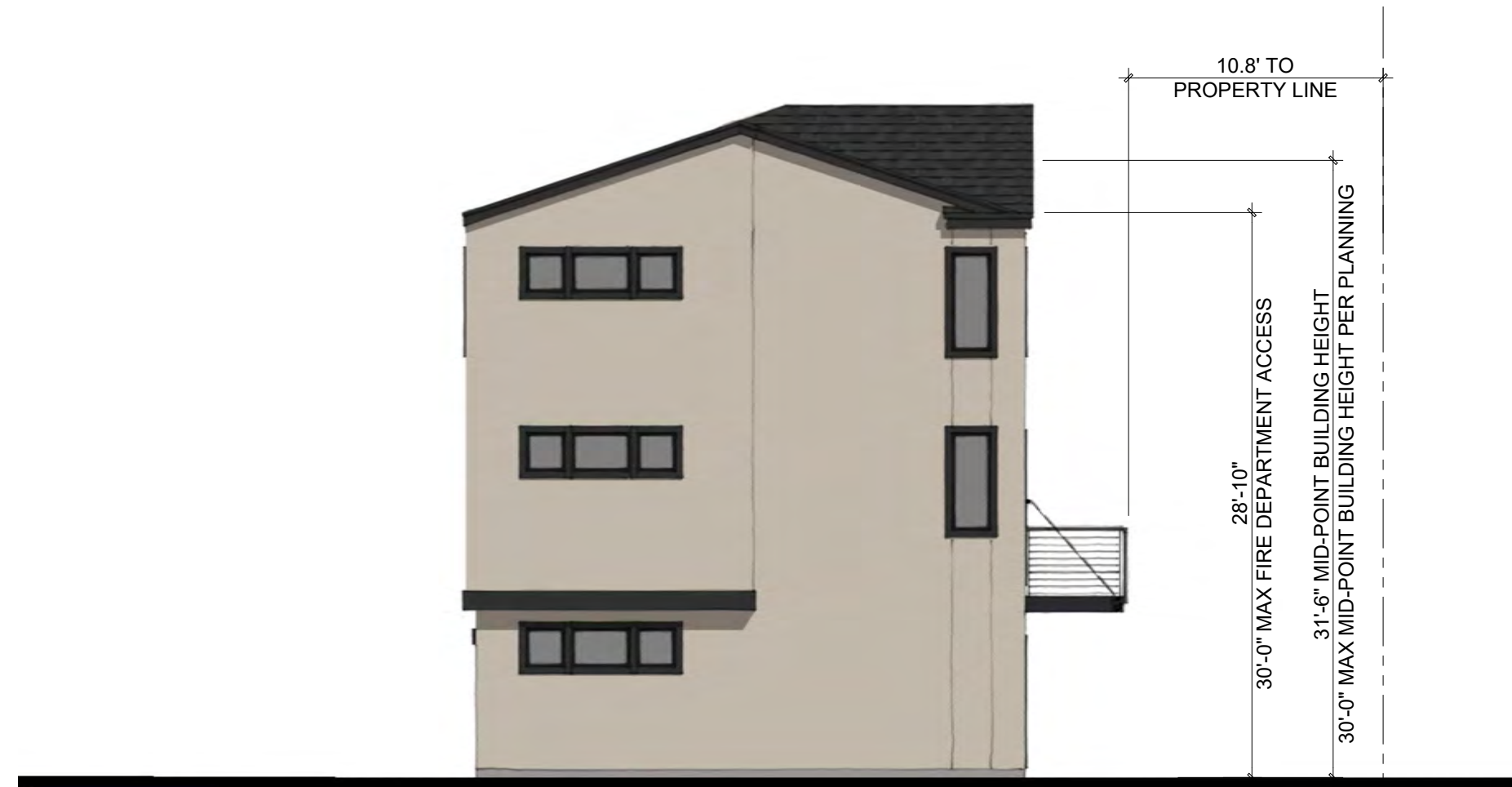
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November 13, 2024

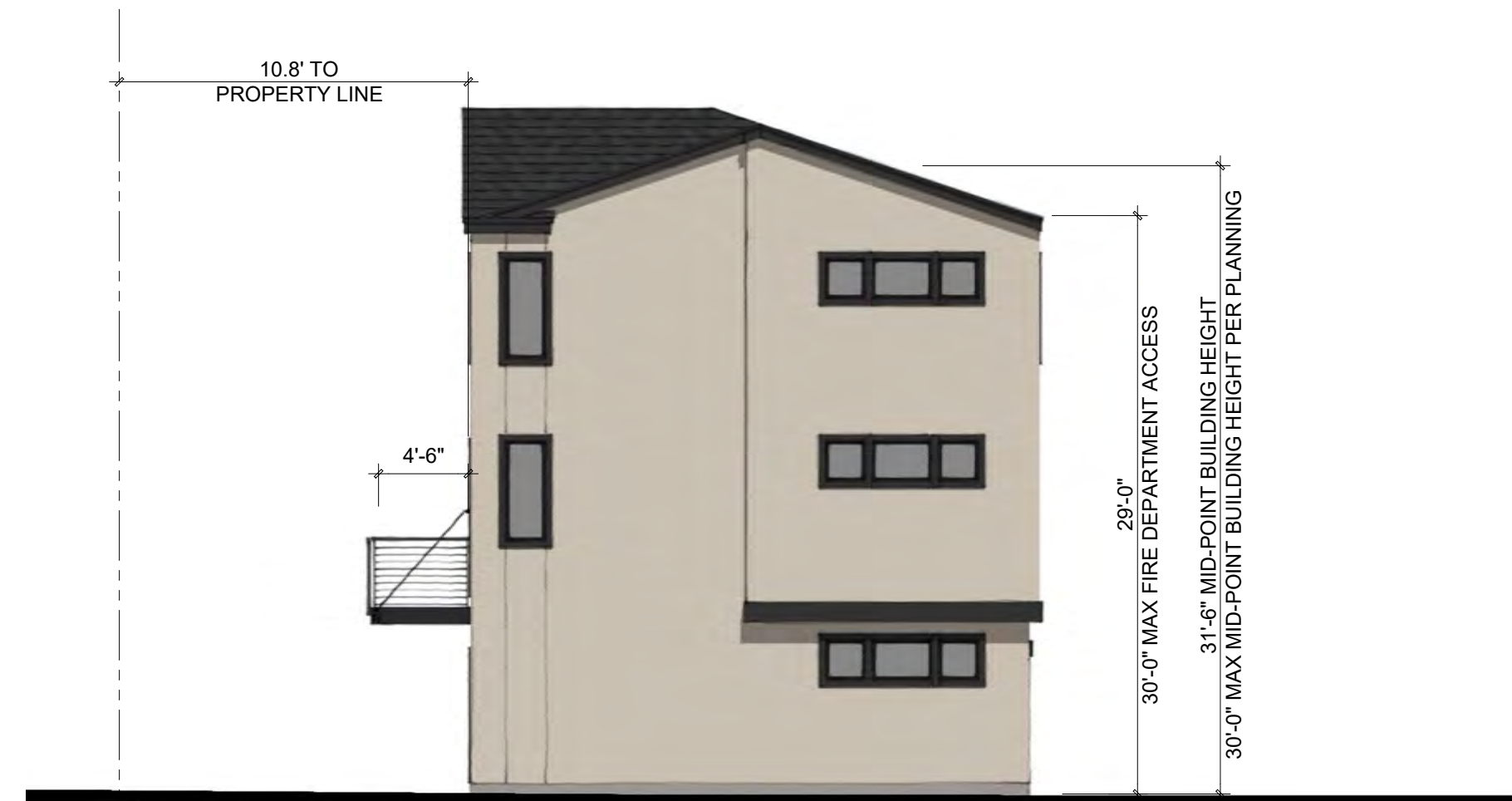
4-PLEX BUILDING
SECOND AND THIRD
FLOOR PLANS - UNIT 1

A1-41



LEFT BUILDING ELEVATION

SCALE: 1/8"=1'-0" 4



RIGHT BUILDING ELEVATION

SCALE: 1/8"=1'-0" 3



REAR BUILDING ELEVATION

SCALE: 1/8"=1'-0" 2



FRONT BUILDING ELEVATION

SCALE: 1/8"=1'-0" 1

ENERGY - TRANSPARENCY			
UNIT 1 - INTERIOR	FLOOR AREA	PROVIDED	%
FIRST FLOOR	117 SF	6 SF	5.1%
SECOND FLOOR	622 SF	50 SF	8.1%
THIRD FLOOR	596 SF	65 SF	10.9%
UNIT 1 - END	FLOOR AREA	PROVIDED	%
FIRST FLOOR	118 SF	6 SF	5.1%
SECOND FLOOR	627 SF	74 SF	11.8%
THIRD FLOOR	601 SF	89 SF	14.8%



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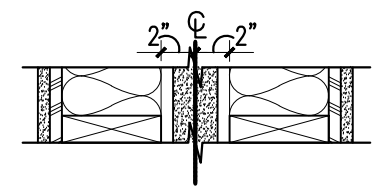
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November 13, 2024

4-PLEX BUILDING
 COLORED ELEVATIONS -
 UNIT 1

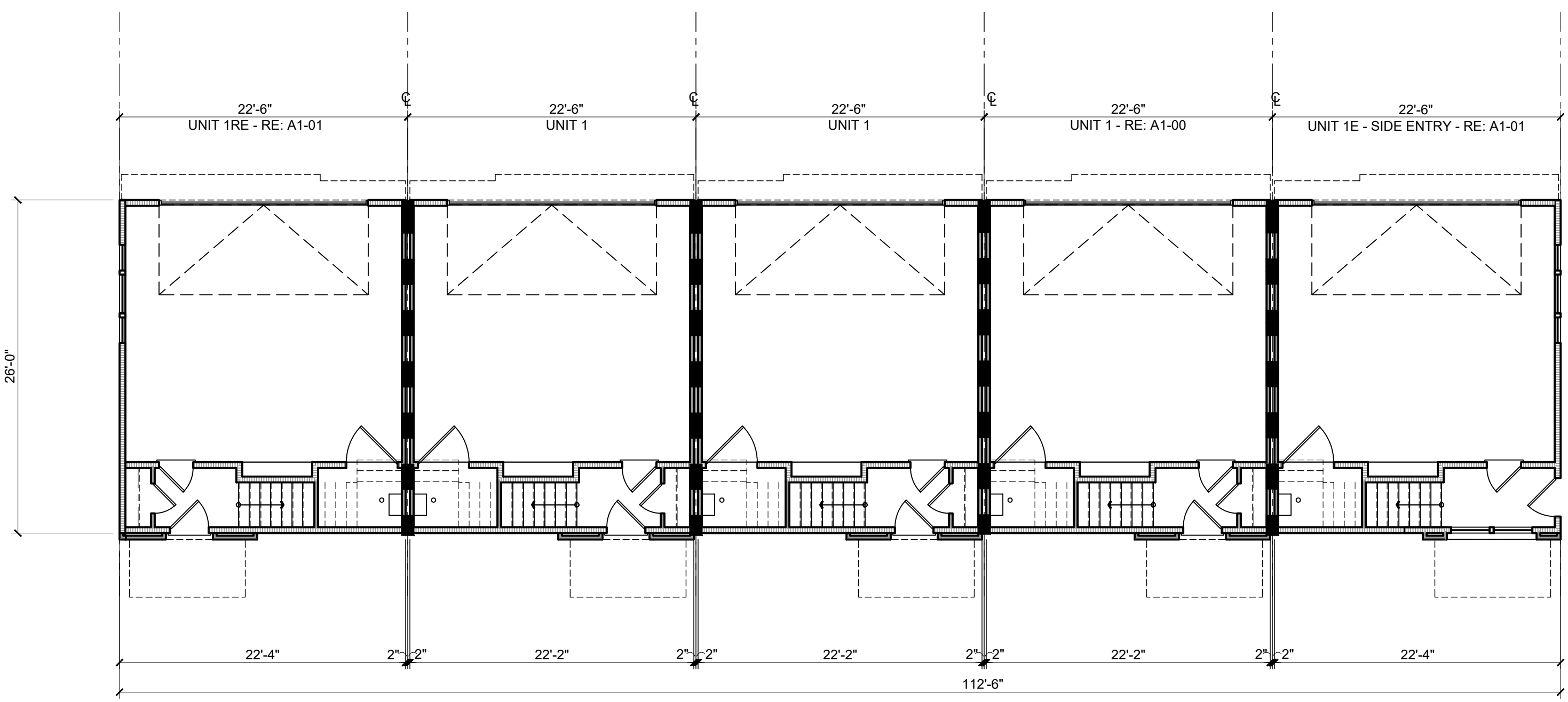
PLAN NOTES

- ALL EXTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE:
FOS - FACE OF STUD
CL - CENTERLINE
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• CENTERLINE OF WALL
• OFFSET 2" FROM EACH
• INTERIOR FACE OF STUD.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE:
FOF - FACE OF FINISH
CL - CENTERLINE
- REF: A0-01 FOR ABBREVIATIONS
- REF: A0-02 & A0-03 FOR GENERAL NOTES APPLICABLE TO ENTIRE PROJECT.
- REF: A-D00 & A-D01 SHEETS FOR RATED ASSEMBLY DETAILS.
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- THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 5% (1:20). THE CROSS SLOPE SHALL NOT BE STEEPER THAN 2% (1:50).
- R = REVERSED UNIT PLAN.



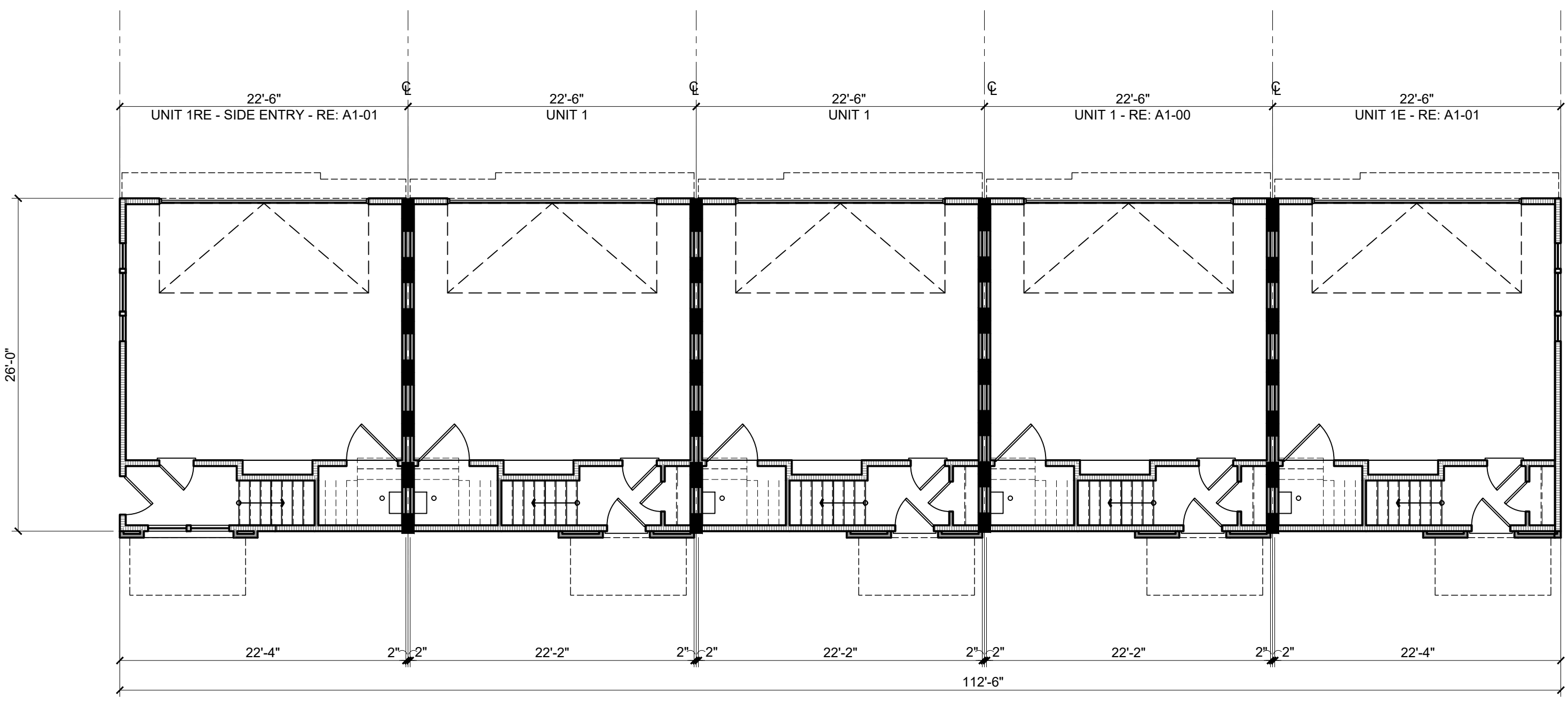
PLAN LEGEND

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- ==== 6" EXTERIOR WOOD STUD WALL - REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS
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- SOFFIT, REF: A5-10 & A5-20 FOR HEIGHT A.F.F.
- ■ ■ ■ 2-HR RATED UNIT SEPARATION WALL: REF: A-D00 & A-D01 SHEETS



BUILDING FIRST FLOOR PLAN - SIDE ENTRY - RIGHT

SCALE: 1/8"=1'-0" 2



BUILDING FIRST FLOOR PLAN - SIDE ENTRY - LEFT

SCALE: 1/8"=1'-0" 1



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Garbett

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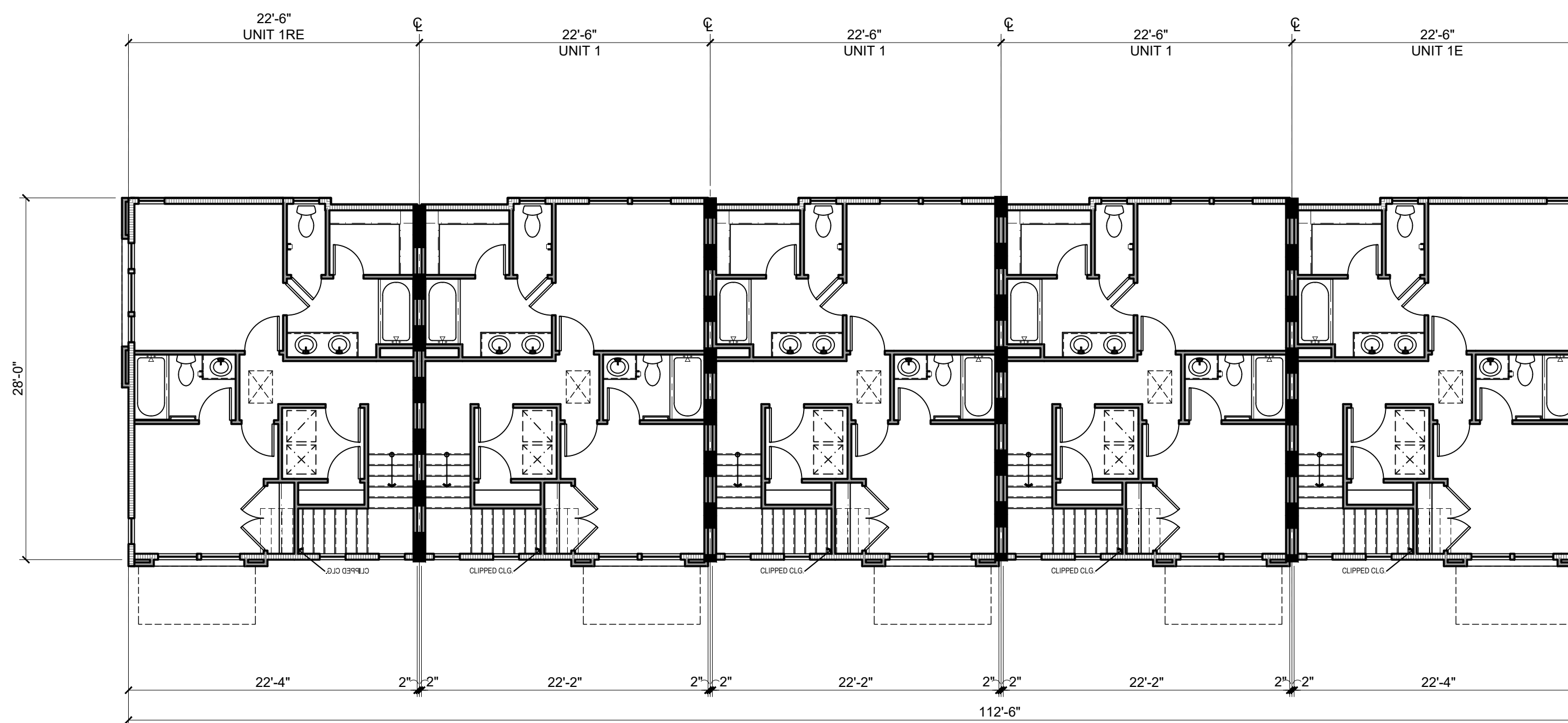
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November 13, 2024
5-PLEX BUILDING
FIRST FLOOR PLANS -
UNIT 1

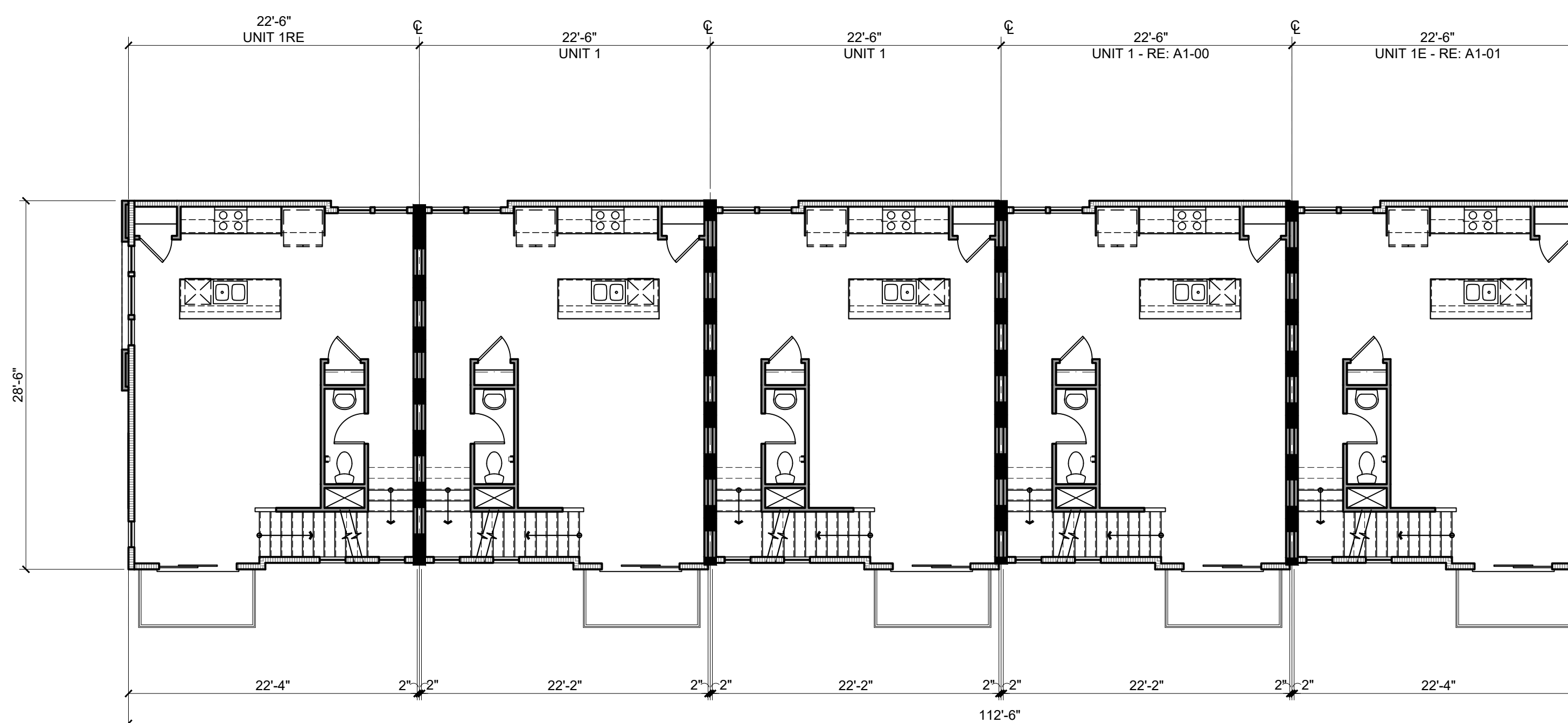
A1-50



BUILDING THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

2



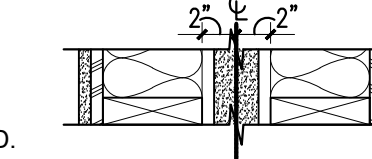
BUILDING SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

1

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• CENTERLINE OF WALL
• OFFSET 2" FROM EACH INTERIOR FACE OF STUD.
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PLAN LEGEND

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- ■ ■ ■ ■ 2-HR RATED UNIT SEPARATION WALL; REF: A-D00 & A-D01 SHEETS



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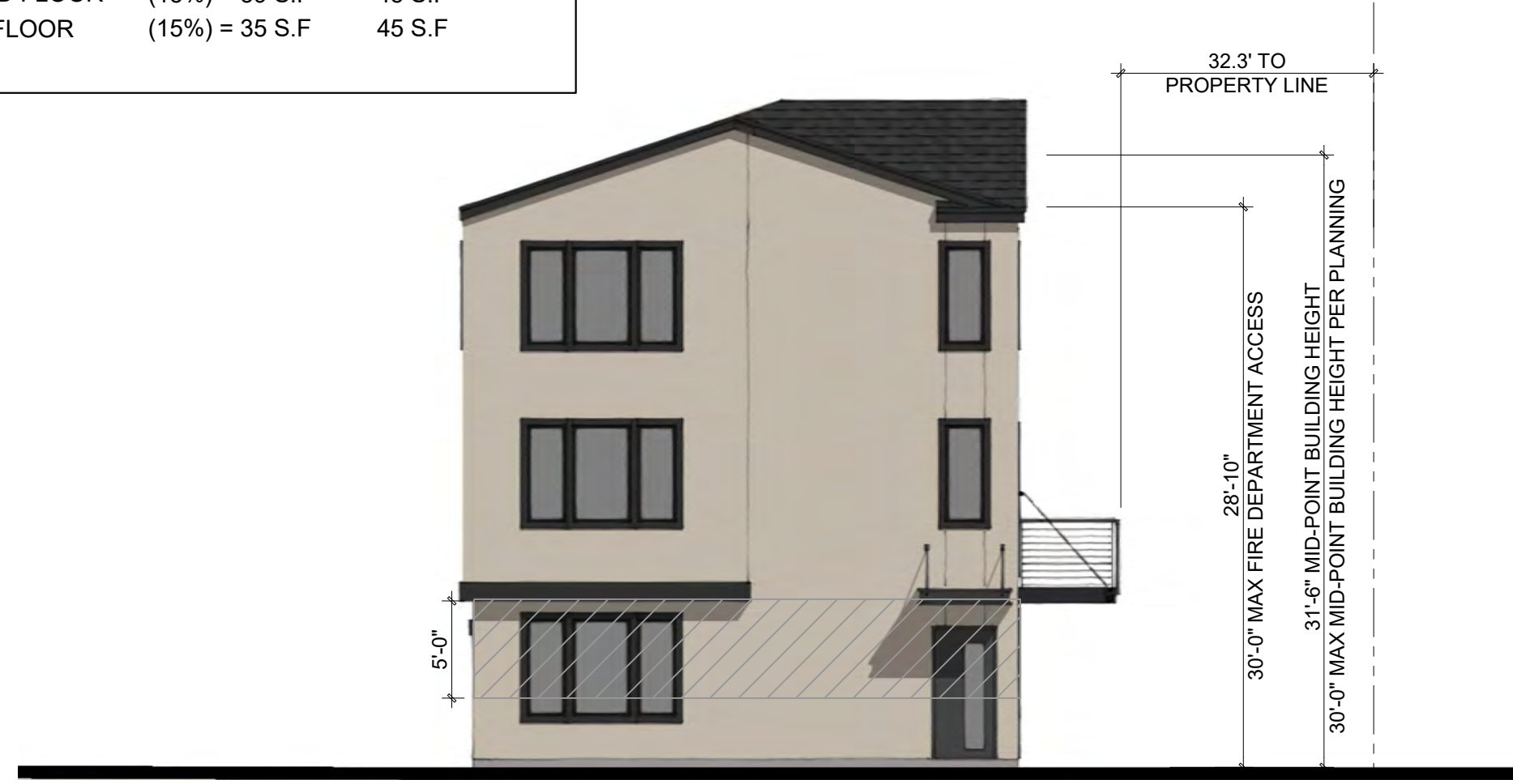
November 13, 2024

5-PLEX BUILDING
SECOND AND THIRD
FLOOR PLANS - UNIT 1

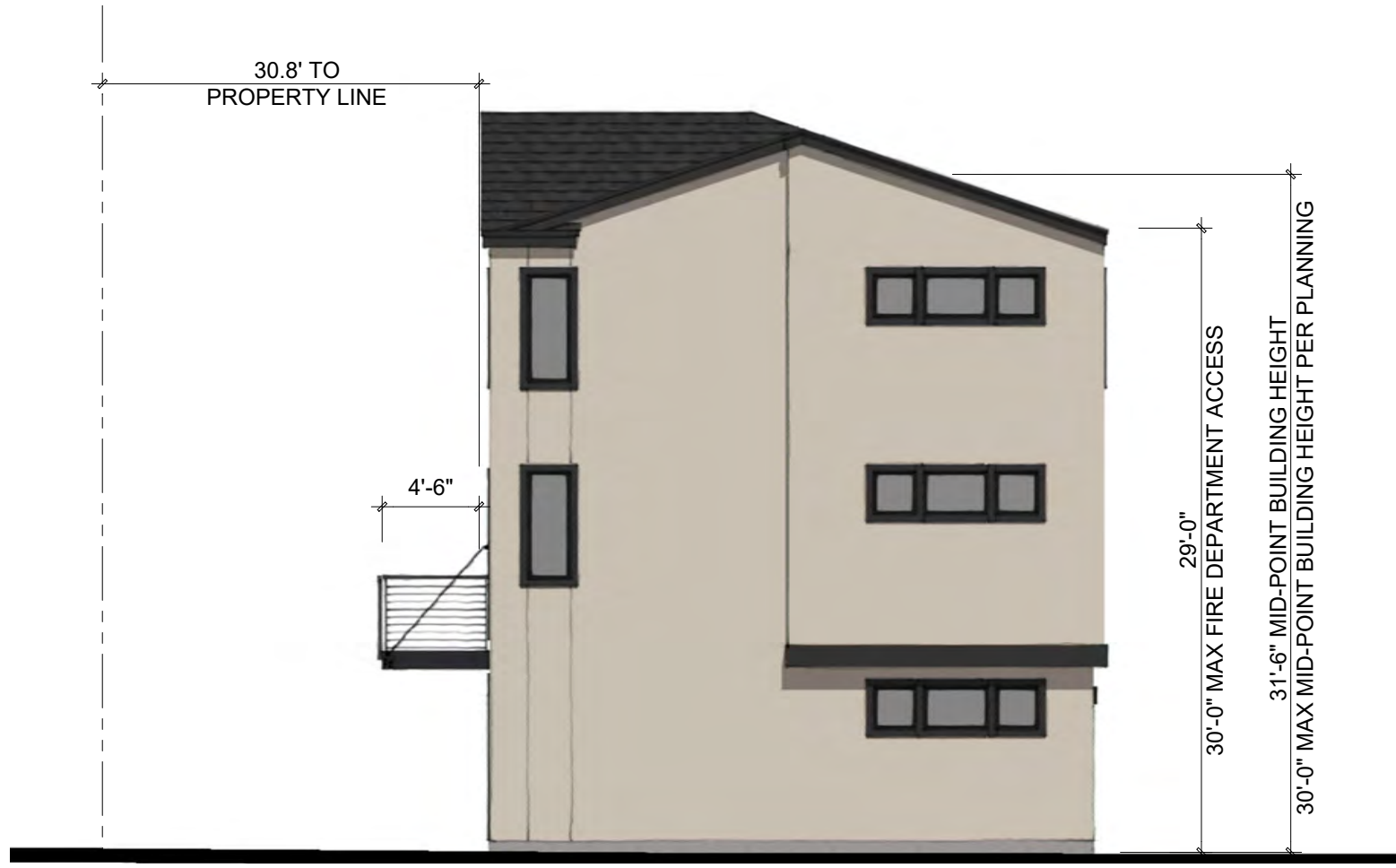
A1-51

ZONING - TRANSPARENCY

UNIT 1	REQD	ACTUAL
SIDE ELEVATION		
- FIRST FLOOR*	(20%) = 27 S.F	35 S.F
*AS MEASURED BETWEEN 3'-0" AND 8'-0".		
- SECOND FLOOR	(15%) = 39 S.F	45 S.F
- THIRD FLOOR	(15%) = 35 S.F	45 S.F



LEFT BUILDING ELEVATION - SIDE ENTRY SCALE: 1/8"=1'-0" 4



RIGHT BUILDING ELEVATION SCALE: 1/8"=1'-0" 3



REAR BUILDING ELEVATION SCALE: 1/8"=1'-0" 2



FRONT BUILDING ELEVATION SCALE: 1/8"=1'-0" 1

ENERGY - TRANSPARENCY

UNIT 1 - INTERIOR	FLOOR AREA	PROVIDED	%
FIRST FLOOR	117 SF	6 SF	5.1%
SECOND FLOOR	622 SF	50 SF	8.1%
THIRD FLOOR	596 SF	65 SF	10.9%
UNIT 1 - END	FLOOR AREA	PROVIDED	%
FIRST FLOOR	118 SF	6 SF	5.1%
SECOND FLOOR	627 SF	74 SF	11.8%
THIRD FLOOR	601 SF	89 SF	14.8%
UNIT 1 - END SIDE ENTRY	FLOOR AREA	PROVIDED	%
FIRST FLOOR	118 SF	21 SF	17.8%
SECOND FLOOR	627 SF	95 SF	15.2%
THIRD FLOOR	601 SF	110 SF	18.3%



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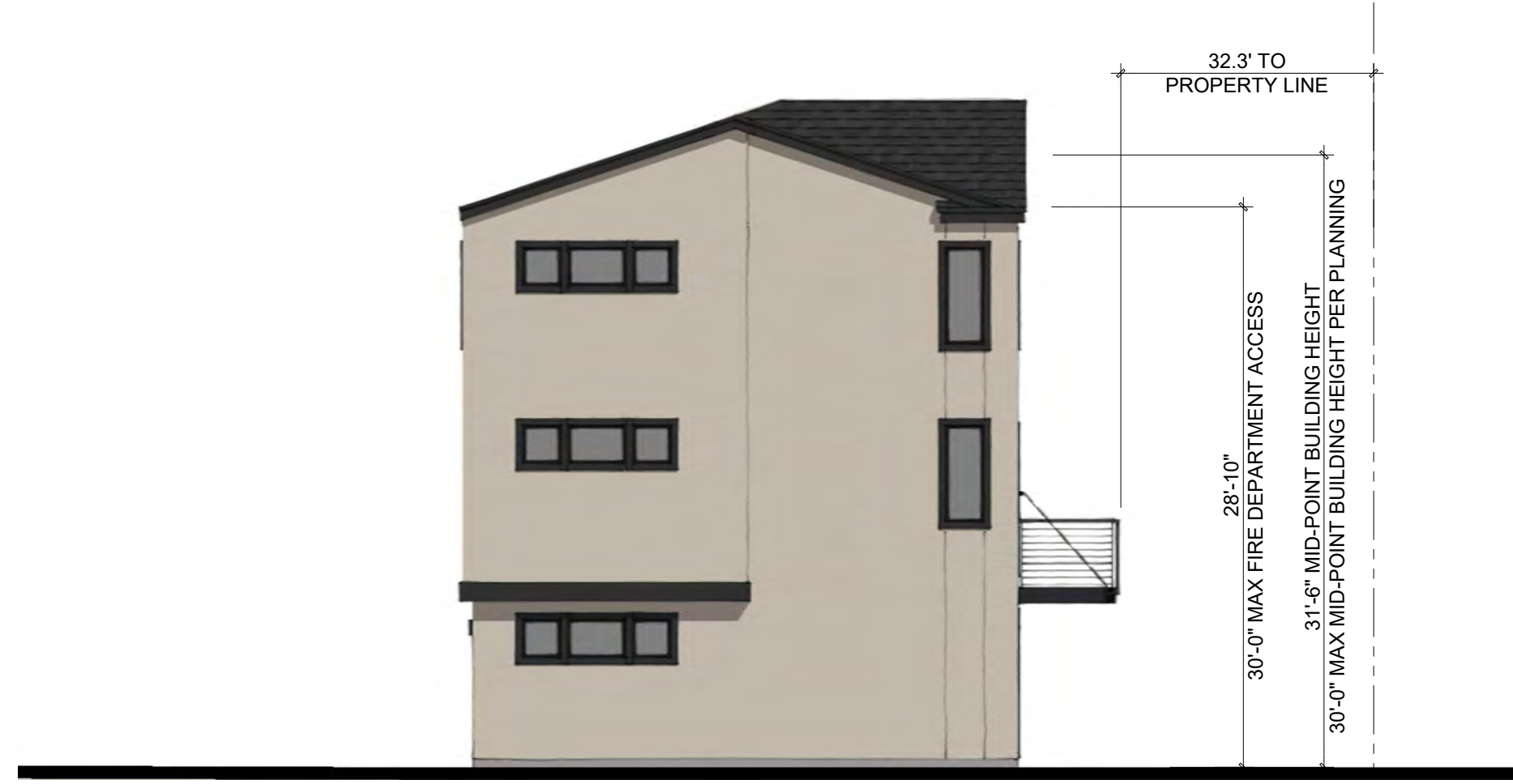
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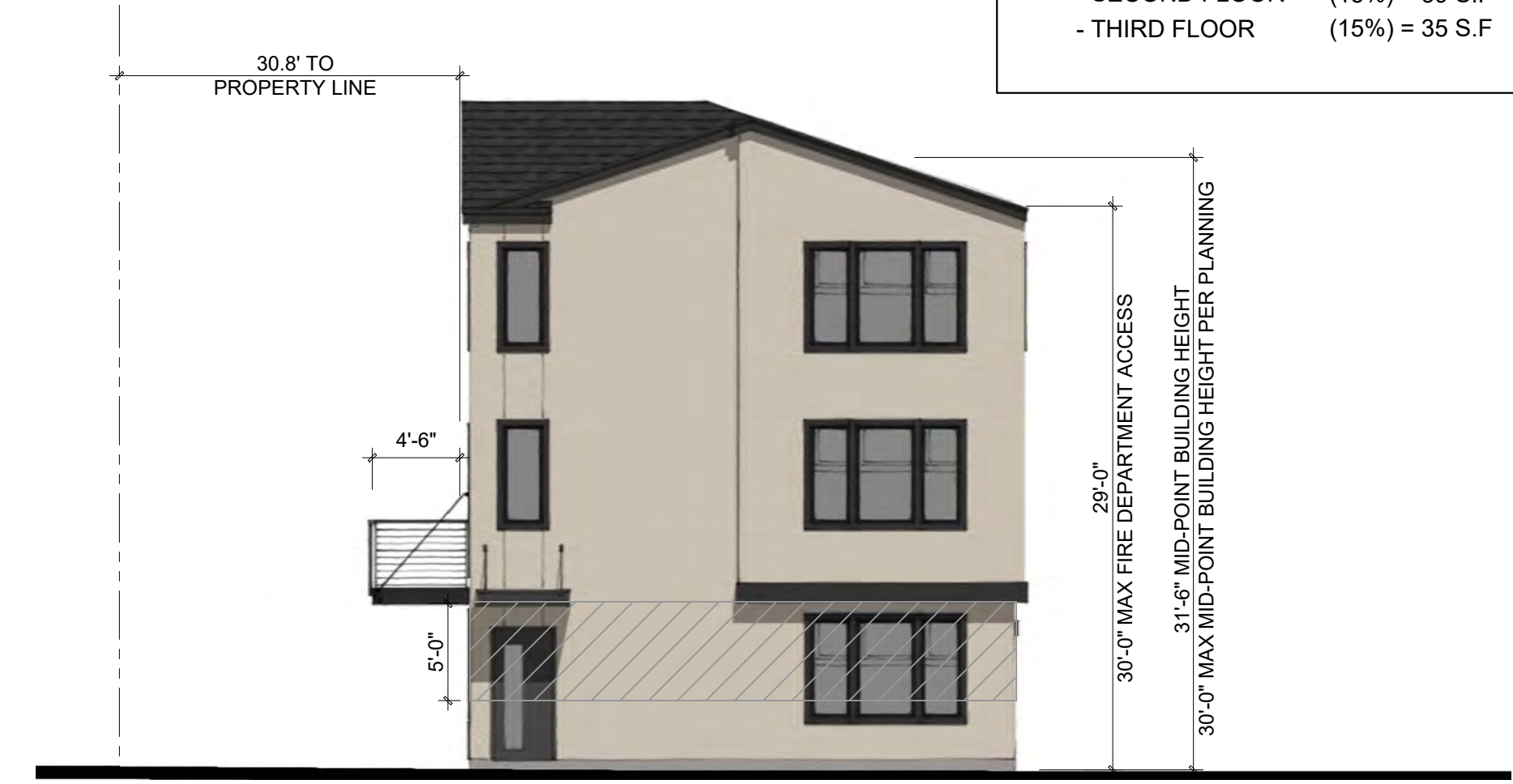
November 13, 2024
**5-PLEX BUILDING
 COLORED ELEVATIONS -
 UNIT 1**

ZONING - TRANSPARENCY

UNIT 1	REQD	ACTUAL
SIDE ELEVATION		
- FIRST FLOOR*	(20%) = 27 S.F.	35 S.F.
*AS MEASURED BETWEEN 3'-0" AND 8'-0".		
- SECOND FLOOR	(15%) = 39 S.F.	45 S.F.
- THIRD FLOOR	(15%) = 35 S.F.	45 S.F.



LEFT BUILDING ELEVATION SCALE: 1/8"=1'-0" 4



RIGHT BUILDING ELEVATION - SIDE ENTRY SCALE: 1/8"=1'-0" 3



REAR BUILDING ELEVATION SCALE: 1/8"=1'-0" 2



FRONT BUILDING ELEVATION SCALE: 1/8"=1'-0" 1

ENERGY - TRANSPARENCY

UNIT 1 - INTERIOR	FLOOR AREA	PROVIDED	%
FIRST FLOOR	117 SF	6 SF	5.1%
SECOND FLOOR	622 SF	50 SF	8.1%
THIRD FLOOR	596 SF	65 SF	10.9%
UNIT 1 - END			
FIRST FLOOR	118 SF	6 SF	5.1%
SECOND FLOOR	627 SF	74 SF	11.8%
THIRD FLOOR	601 SF	89 SF	14.8%
UNIT 1 - END SIDE ENTRY			
FIRST FLOOR	118 SF	21 SF	17.8%
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**5-PLEX BUILDING
 COLORED ELEVATIONS -
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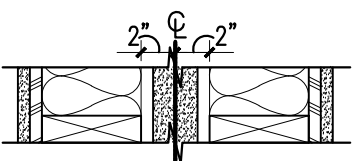


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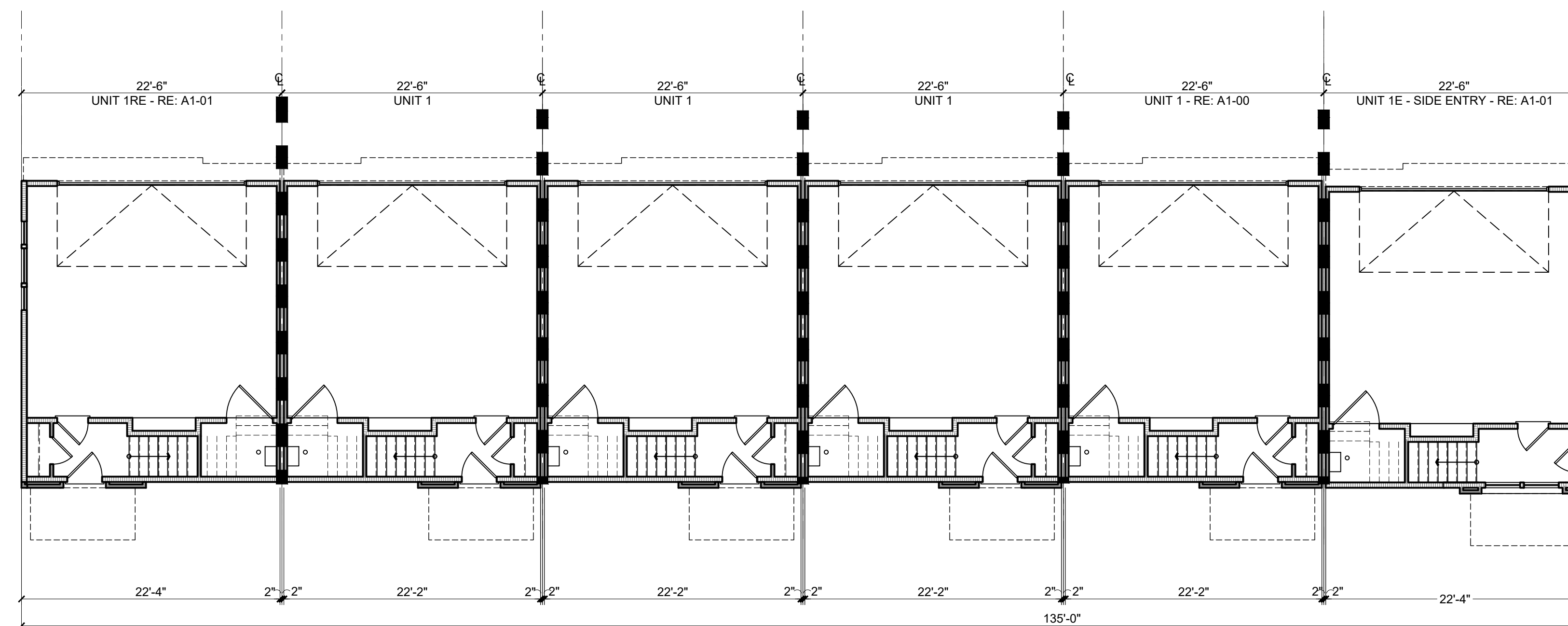
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PLAN NOTES

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 2. ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE.
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 OFFSET 2" FROM EACH
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- 
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 13. R = REVERSED UNIT PLAN.

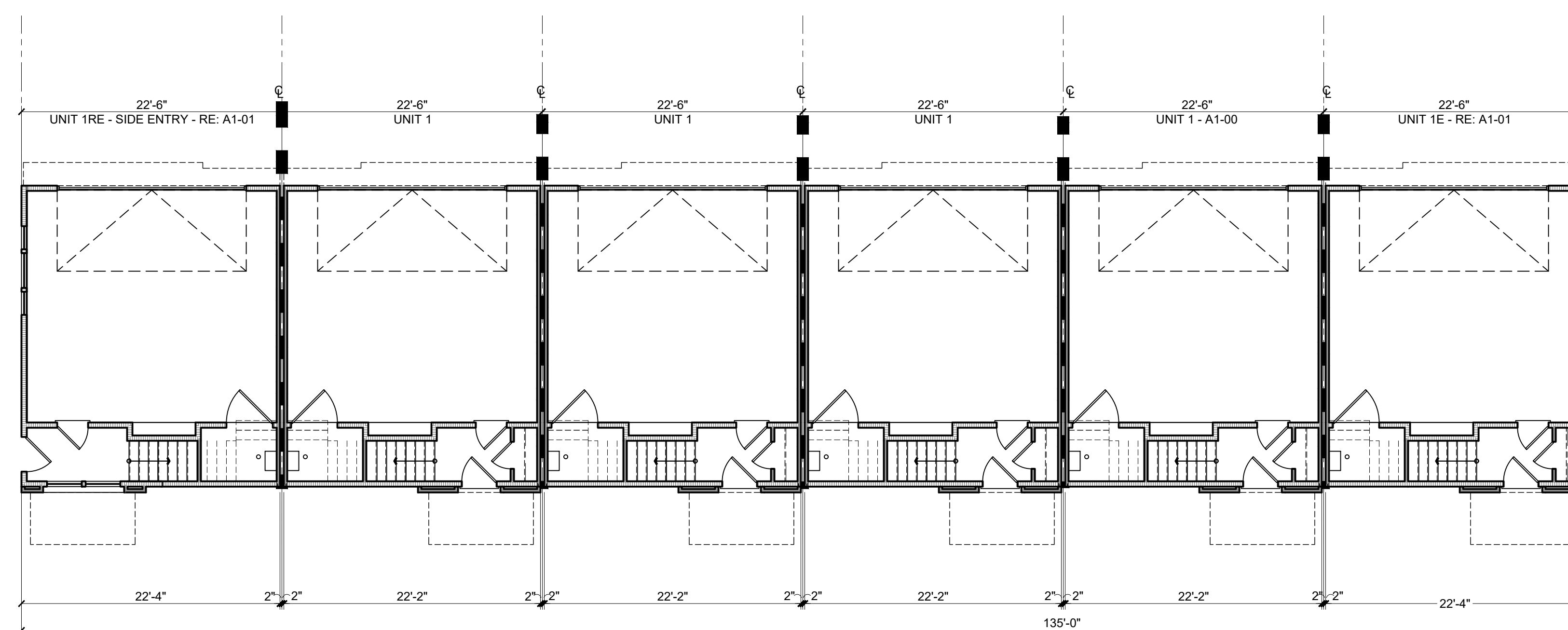
PLAN LEGEND

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- ===== 6" EXTERIOR WOOD STUD WALL - REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS
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- SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F.
- 2-HR RATED UNIT SEPARATION WALL; REF: A-D00 & A-D01 SHEETS



BUILDING FIRST FLOOR PLAN - SIDE ENTRY - RIGHT

SCALE: 1/8"=1'-0" 2



BUILDING FIRST FLOOR PLAN - SIDE ENTRY - LEFT

SCALE: 1/8"=1'-0" 1

No. Date Description

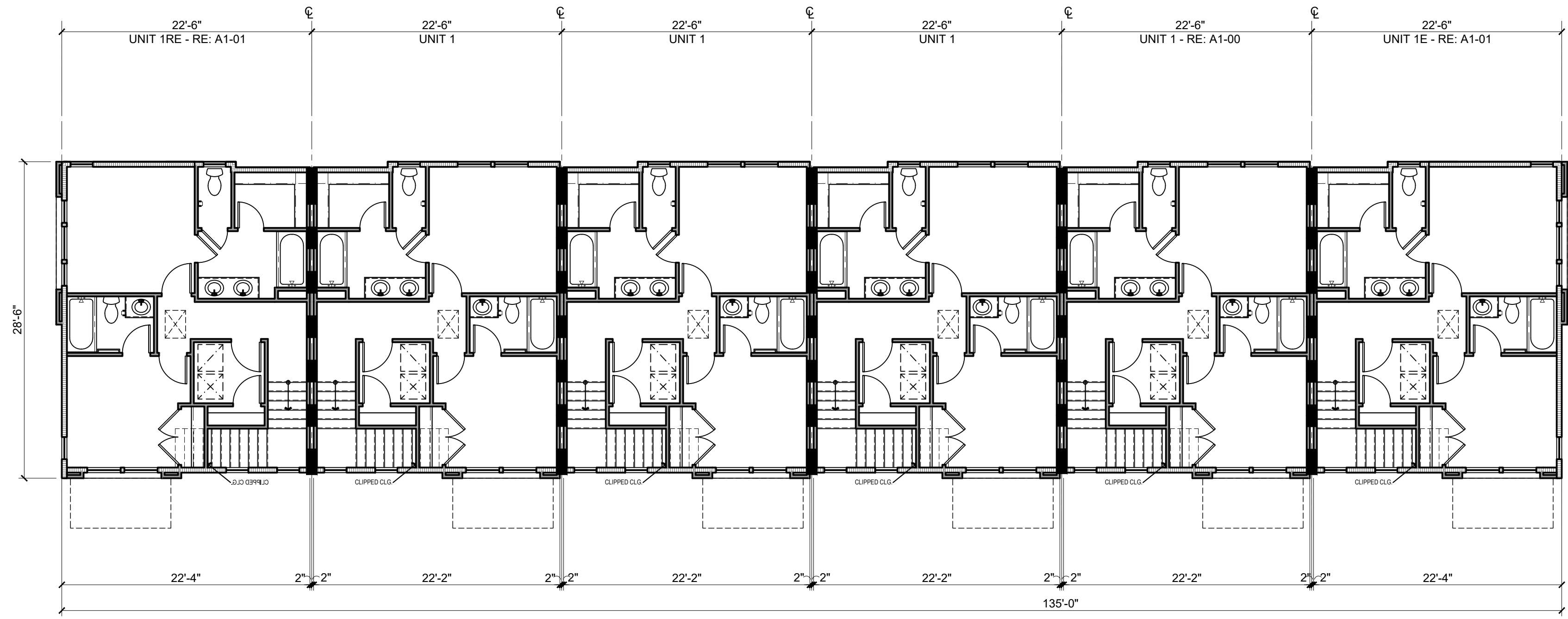
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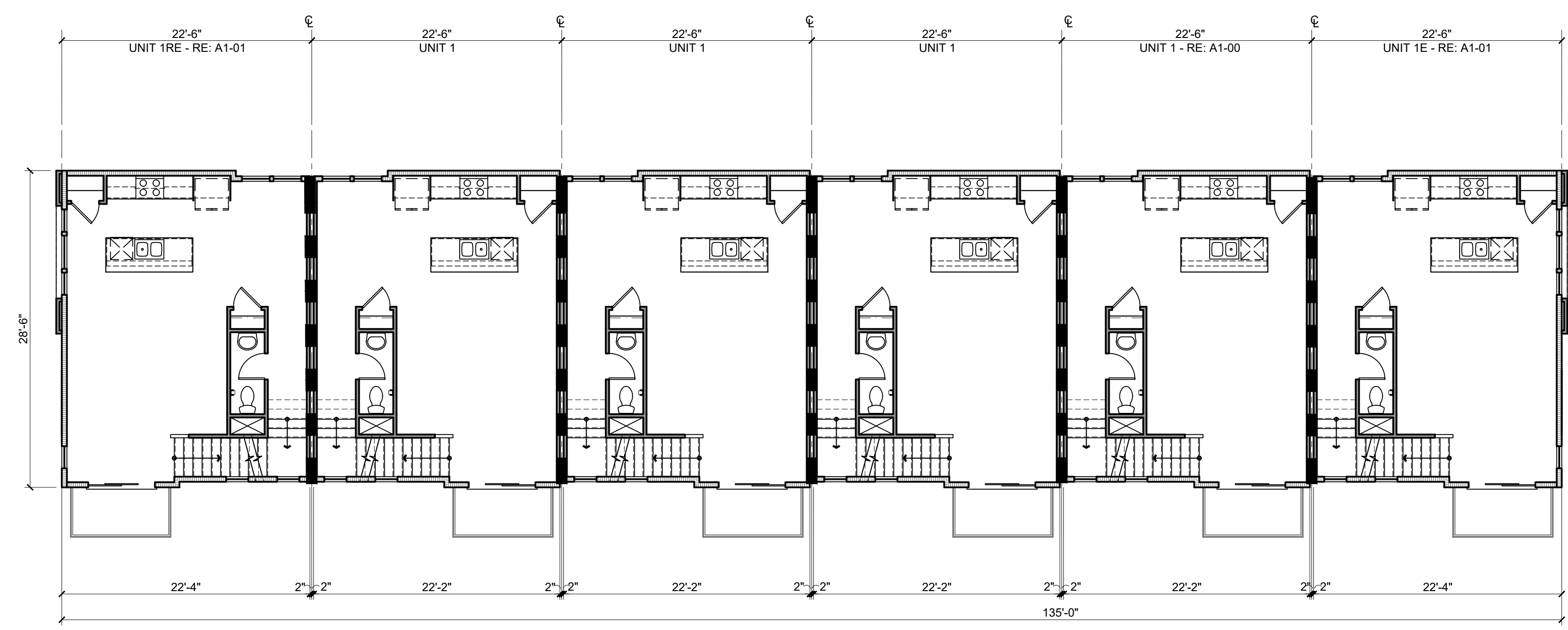
November 13, 2024

6-PLEX BUILDING
 FIRST FLOOR PLANS -
 UNIT 1

A1-60



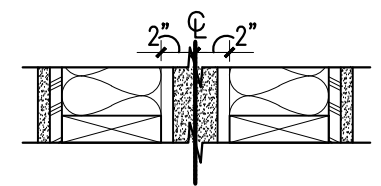
BUILDING THIRD FLOOR PLAN SCALE: 1/8"=1'-0" 2



BUILDING SECOND FLOOR PLAN SCALE: 1/8"=1'-0" 1

PLAN NOTES

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6-PLEX BUILDING
SECOND AND THIRD
FLOOR PLANS - UNIT 1

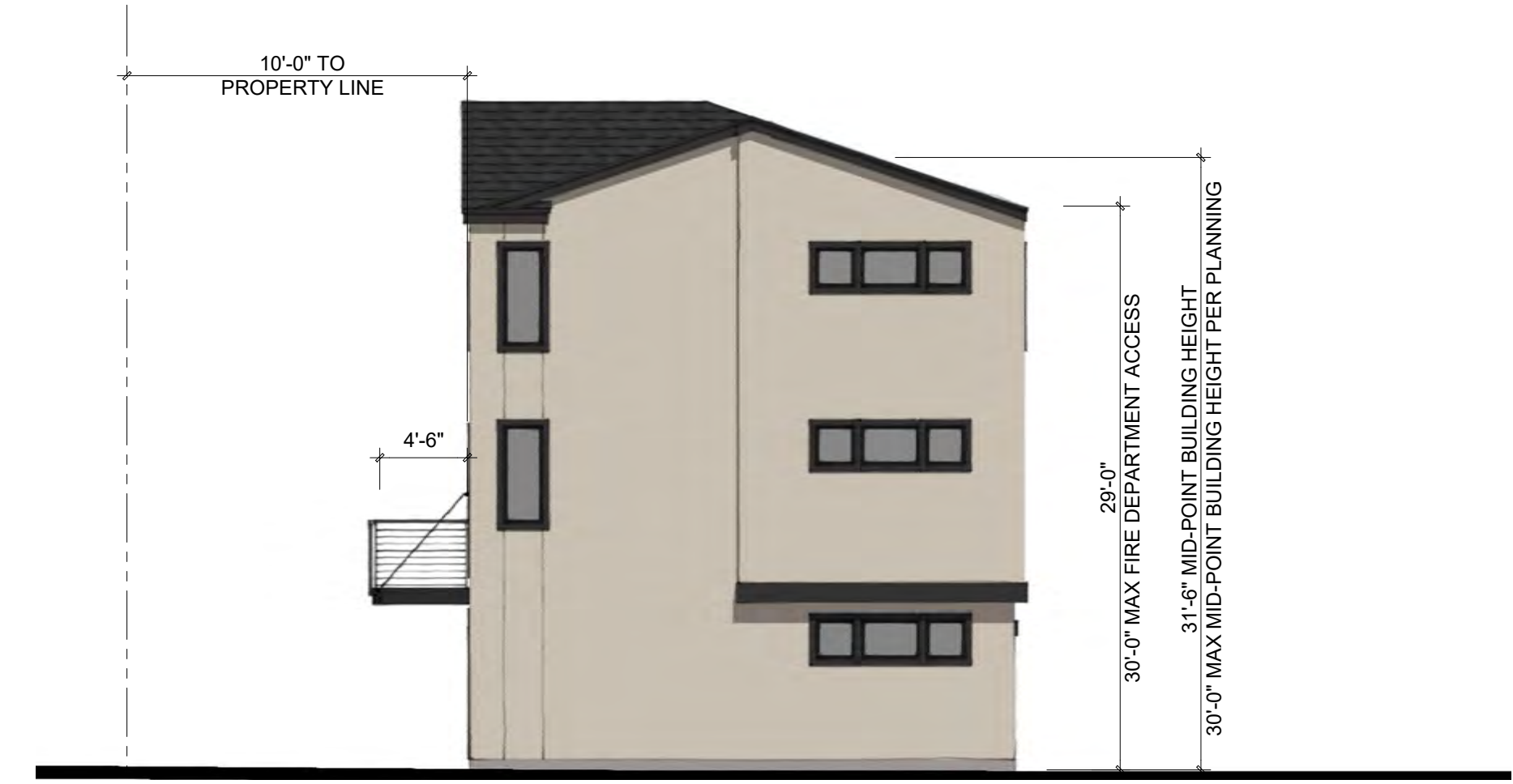
A1-61

ZONING - TRANSPARENCY

UNIT 1	REQ'D	ACTUAL
SIDE ELEVATION		
- FIRST FLOOR*	(20%) = 27 S.F.	35 S.F.
*AS MEASURED BETWEEN 3'-0" AND 8'-0"		
- SECOND FLOOR	(15%) = 39 S.F.	45 S.F.
- THIRD FLOOR	(15%) = 35 S.F.	45 S.F.



LEFT BUILDING ELEVATION - SIDE ENTRY SCALE: 1/8"=1'-0" 4



RIGHT BUILDING ELEVATION SCALE: 1/8"=1'-0" 3



REAR BUILDING ELEVATION SCALE: 1/8"=1'-0" 2



FRONT BUILDING ELEVATION SCALE: 1/8"=1'-0" 1

ENERGY - TRANSPARENCY

UNIT 1 - INTERIOR	FLOOR AREA	PROVIDED	%
FIRST FLOOR	117 SF	6 SF	5.1%
SECOND FLOOR	622 SF	50 SF	8.1%
THIRD FLOOR	596 SF	65 SF	10.9%
UNIT 1 - END	FLOOR AREA	PROVIDED	%
FIRST FLOOR	118 SF	6 SF	5.1%
SECOND FLOOR	627 SF	74 SF	11.8%
THIRD FLOOR	601 SF	89 SF	14.8%
UNIT 1 - END SIDE ENTRY	FLOOR AREA	PROVIDED	%
FIRST FLOOR	118 SF	21 SF	17.8%
SECOND FLOOR	627 SF	95 SF	15.2%
THIRD FLOOR	601 SF	110 SF	18.3%



Architecture | Branding | Interiors | Planning
 3660 Blake Street
 Suite 500
 Denver, CO 80205
 ktgy.com
 303.825.6400

KTGY Project No: 20231077

Project Contact: Madelyn Kodros
 Email: mkodros@ktgy.com

Principal: William Ramsey
 Project Designer: Morgan Hopley

Developer



GARBETT HOMES
 273 N. EAST CAPITOL STREET.

SALT LAKE CITY, UTAH 84103
 PHONE NO. 801-456-2430
 FAX NO. --

BRIX ON 10TH
 SALT LAKE CITY, UTAH

No.	Date	Description

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor throughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

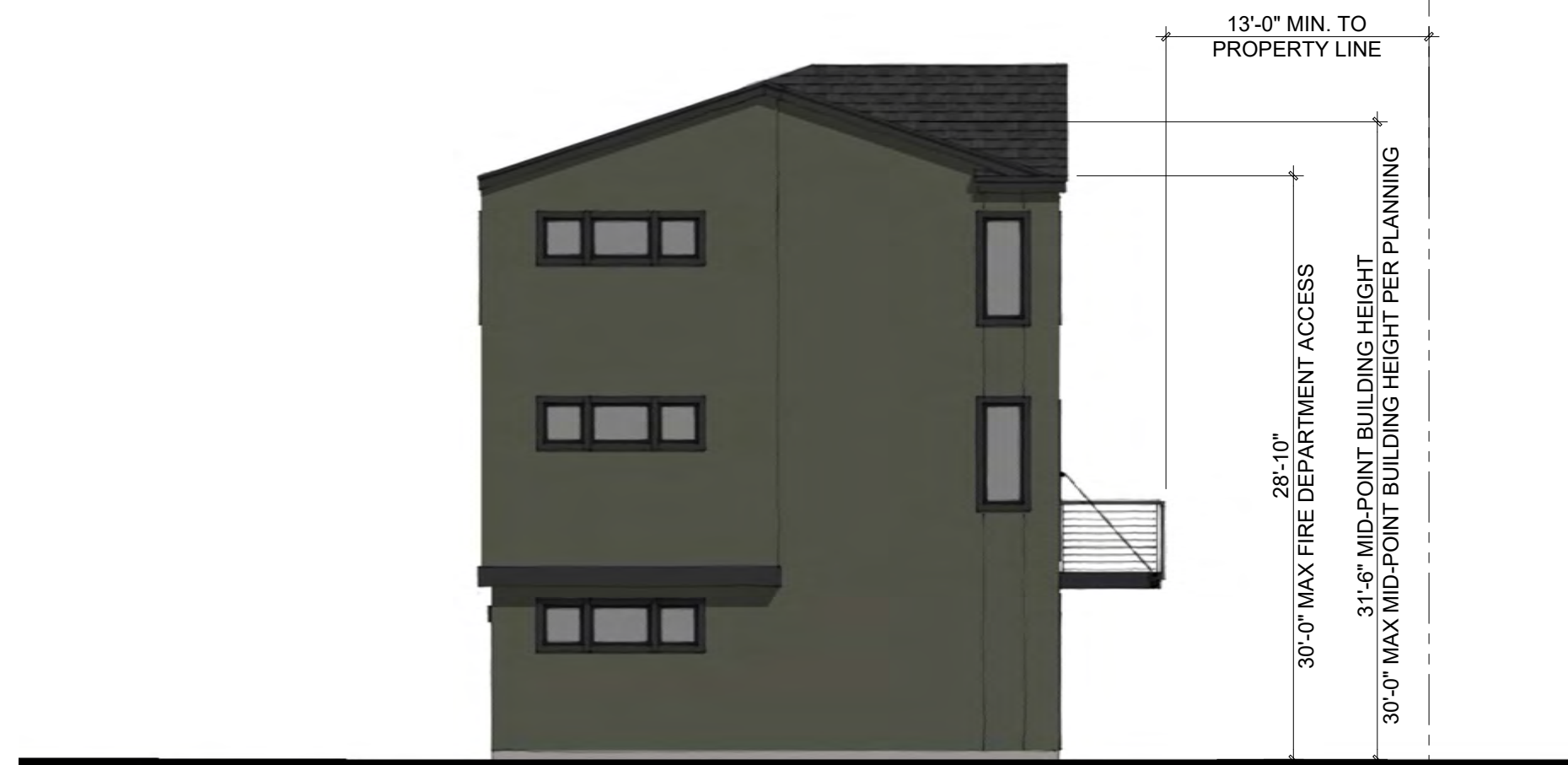
November 13, 2024

**6-PLEX BUILDING
 COLORED ELEVATIONS -
 UNIT 1**

A1-62

ZONING - TRANSPARENCY

UNIT 1	REQD	ACTUAL
SIDE ELEVATION		
- FIRST FLOOR*	(20%) = 27 S.F.	35 S.F.
*AS MEASURED BETWEEN 3'-0" AND 8'-0".		
- SECOND FLOOR	(15%) = 39 S.F.	45 S.F.
- THIRD FLOOR	(15%) = 35 S.F.	45 S.F.



LEFT BUILDING ELEVATION

SCALE: 1/8"=1'-0" 4



RIGHT BUILDING ELEVATION - SIDE ENTRY

SCALE: 1/8"=1'-0" 3



REAR BUILDING ELEVATION

SCALE: 1/8"=1'-0" 2



FRONT BUILDING ELEVATION

SCALE: 1/8"=1'-0" 1

ENERGY - TRANSPARENCY

UNIT 1 - INTERIOR	FLOOR AREA	PROVIDED	%
FIRST FLOOR	117 SF	6 SF	5.1%
SECOND FLOOR	622 SF	50 SF	8.1%
THIRD FLOOR	596 SF	65 SF	10.9%

UNIT 1 - END	FLOOR AREA	PROVIDED	%
FIRST FLOOR	118 SF	6 SF	5.1%
SECOND FLOOR	627 SF	74 SF	11.8%
THIRD FLOOR	601 SF	89 SF	14.8%

UNIT 1 - END SIDE ENTRY	FLOOR AREA	PROVIDED	%
FIRST FLOOR	118 SF	21 SF	17.8%
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November 13, 2024

6-PLEX BUILDING
 COLORED ELEVATIONS -
 UNIT 1

A1-63

Developer



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 273 N. EAST CAPITOL STREET.

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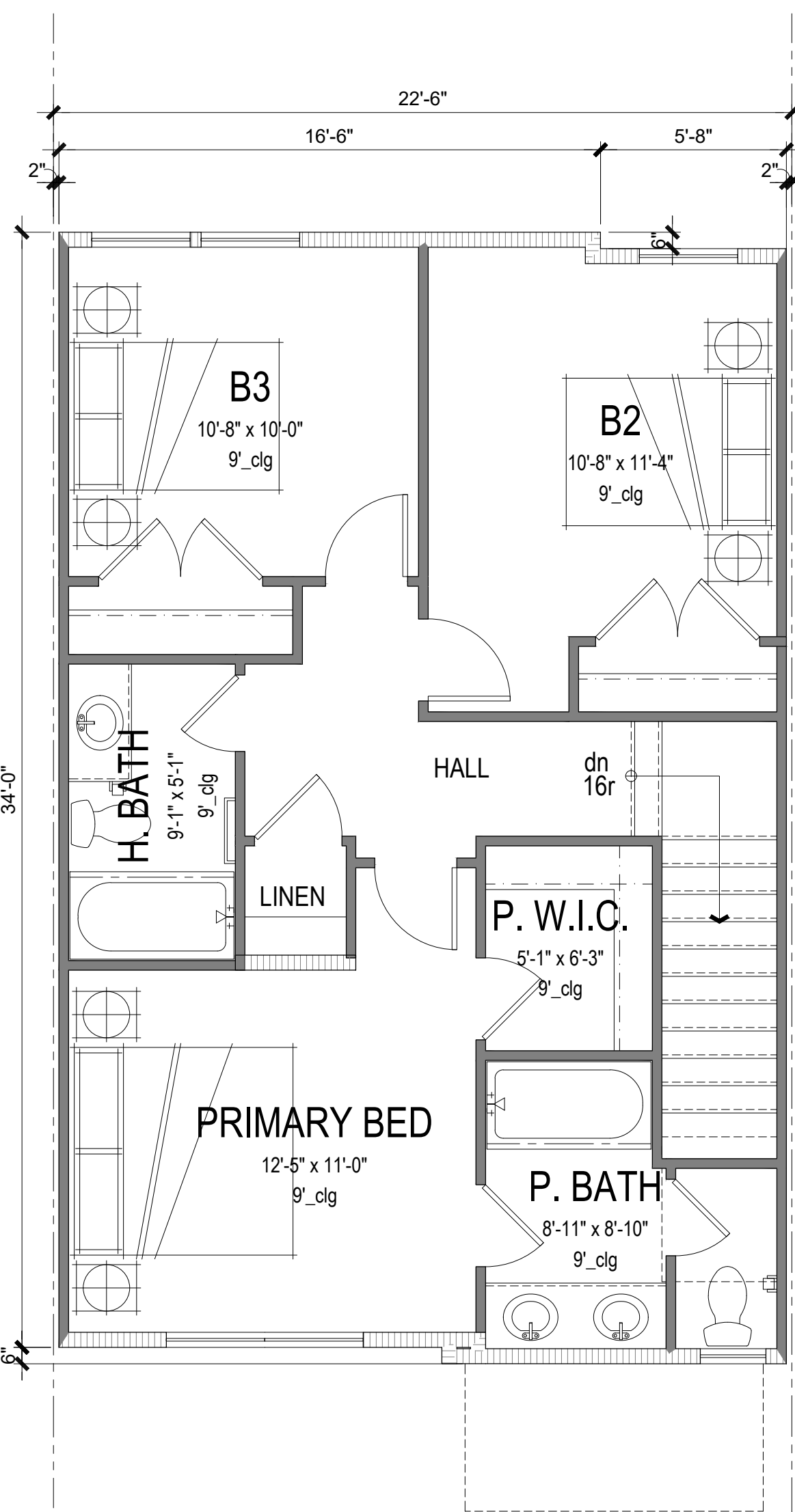
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 SALT LAKE CITY, UTAH

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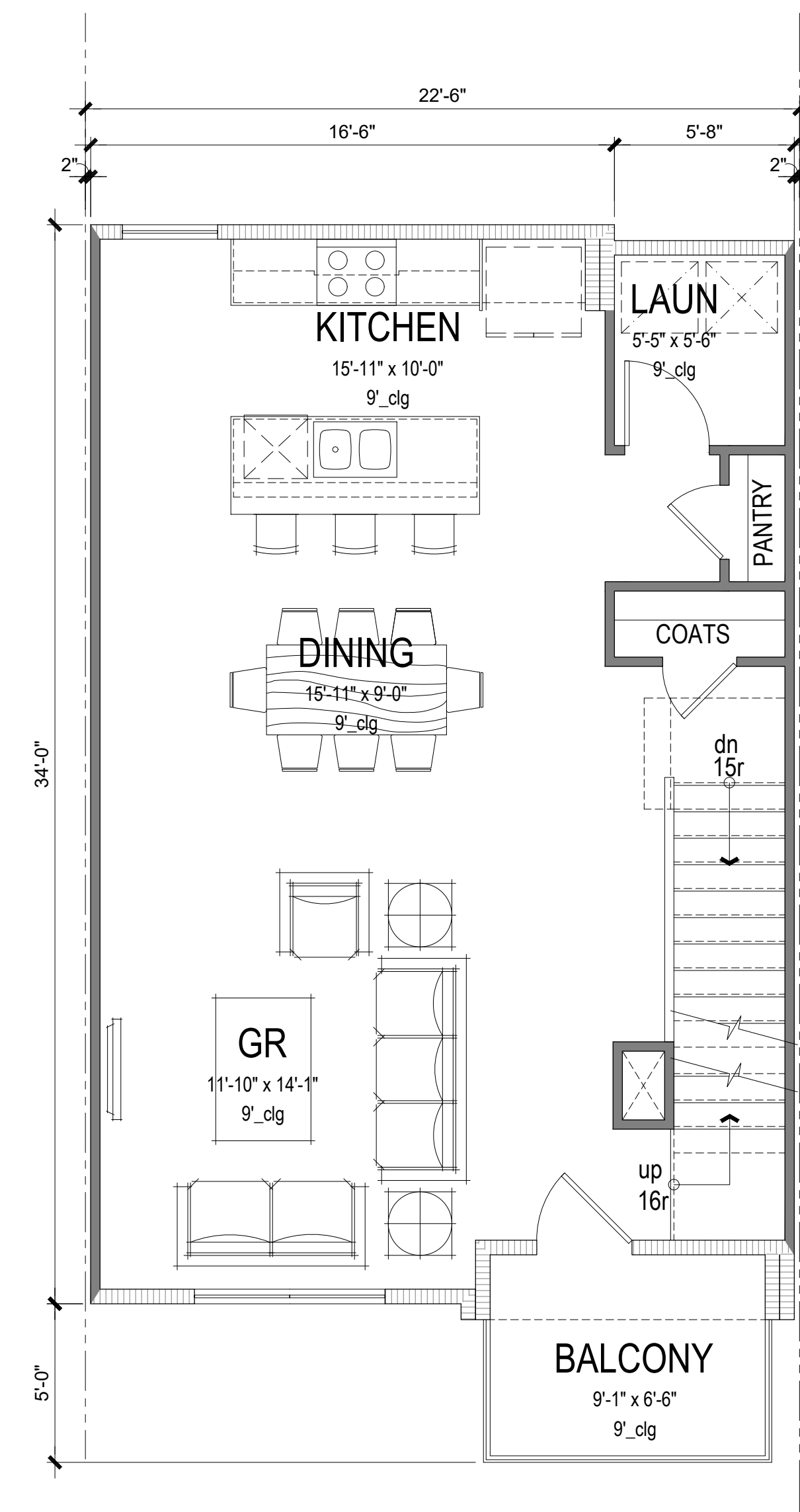
November 13, 2024

UNIT PLAN 2 -
 INTERIOR UNITS



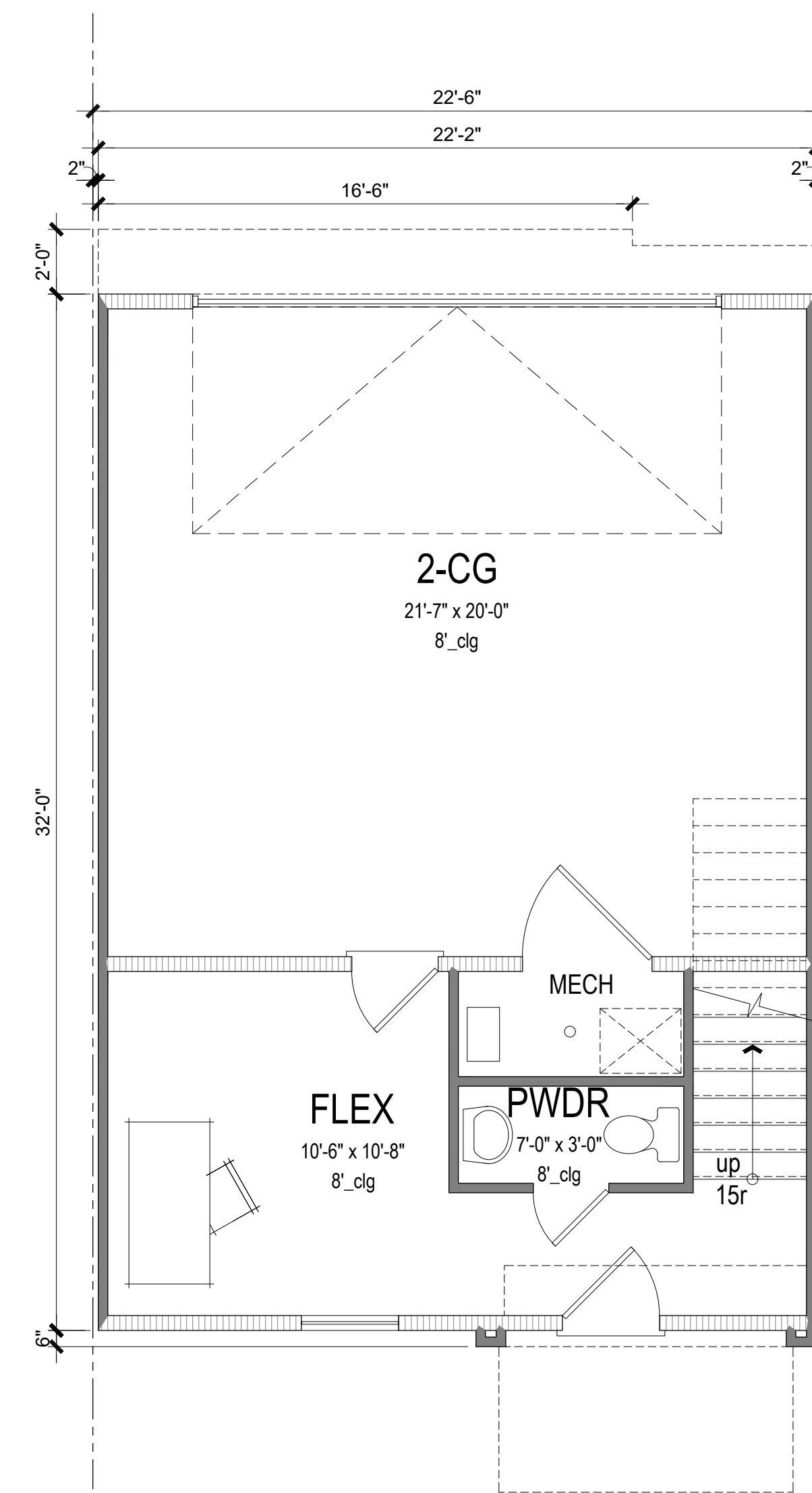
LEVEL 3 LIVING - 728 SQ. FT.

UNIT 2 FLOOR PLAN - LEVEL 3 SCALE: 1/4"=1'-0" 4



LEVEL 2 LIVING - 736 SQ. FT.
 LEVEL 2 OUTDOOR - 58 SQ. FT.

UNIT 2 FLOOR PLAN - LEVEL 2 SCALE: 1/4"=1'-0" 3



LEVEL 1 LIVING - 256 SQ. FT.
 GARAGE - 453 SQ. FT.

UNIT 2 FLOOR PLAN - LEVEL 1 SCALE: 1/4"=1'-0" 1

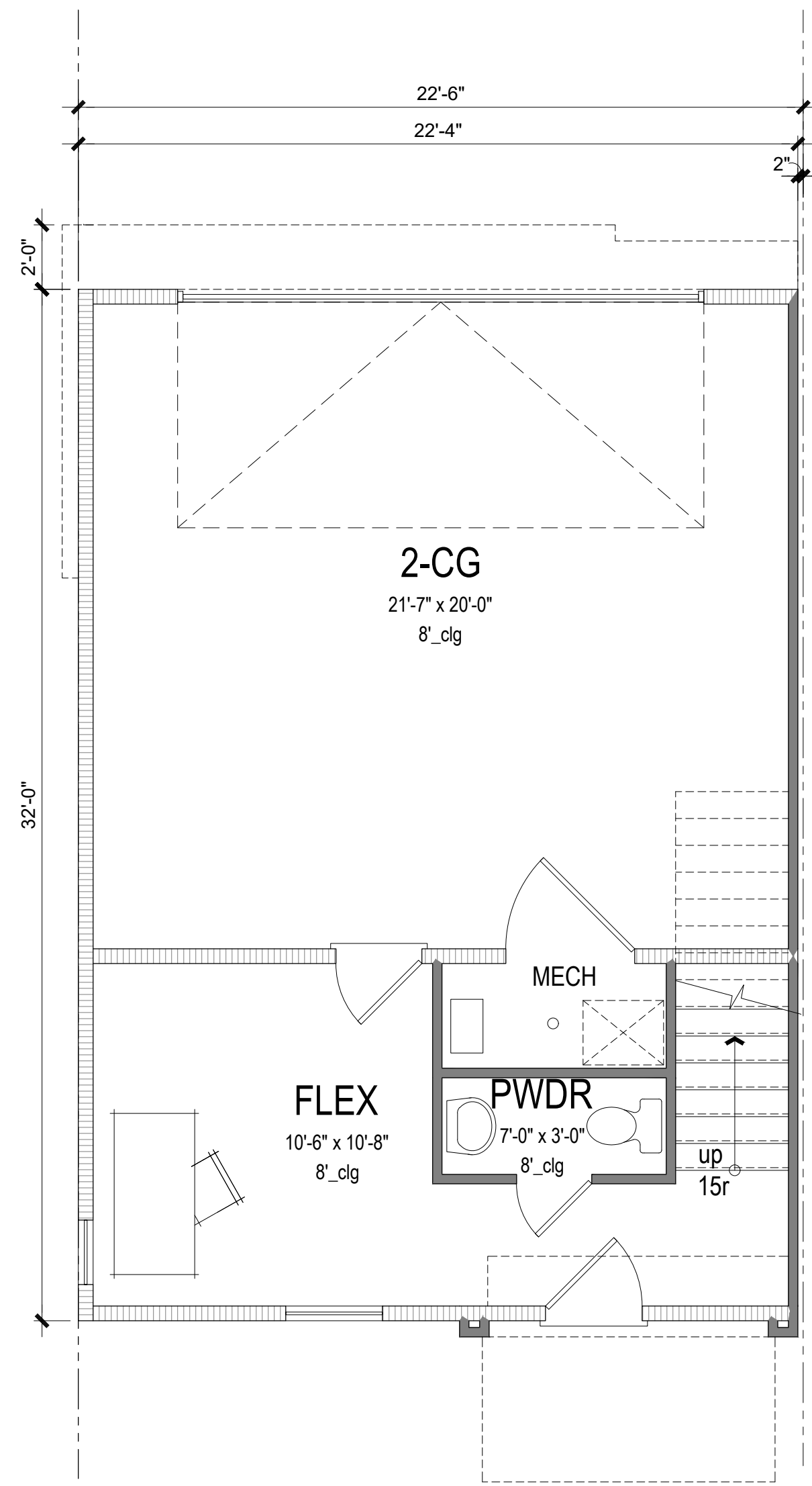
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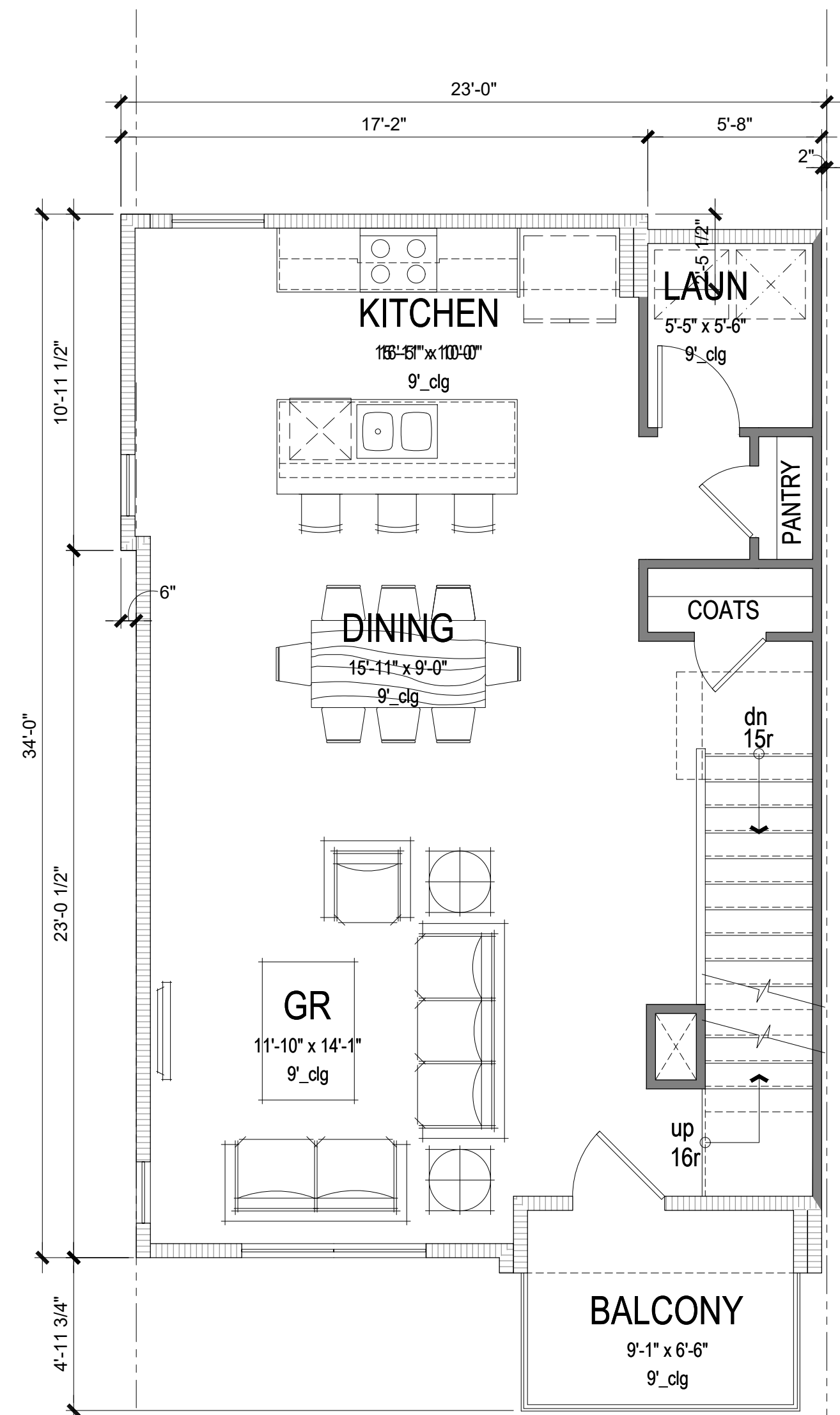
November 13, 2024

**UNIT PLAN 2 - END
 UNITS**

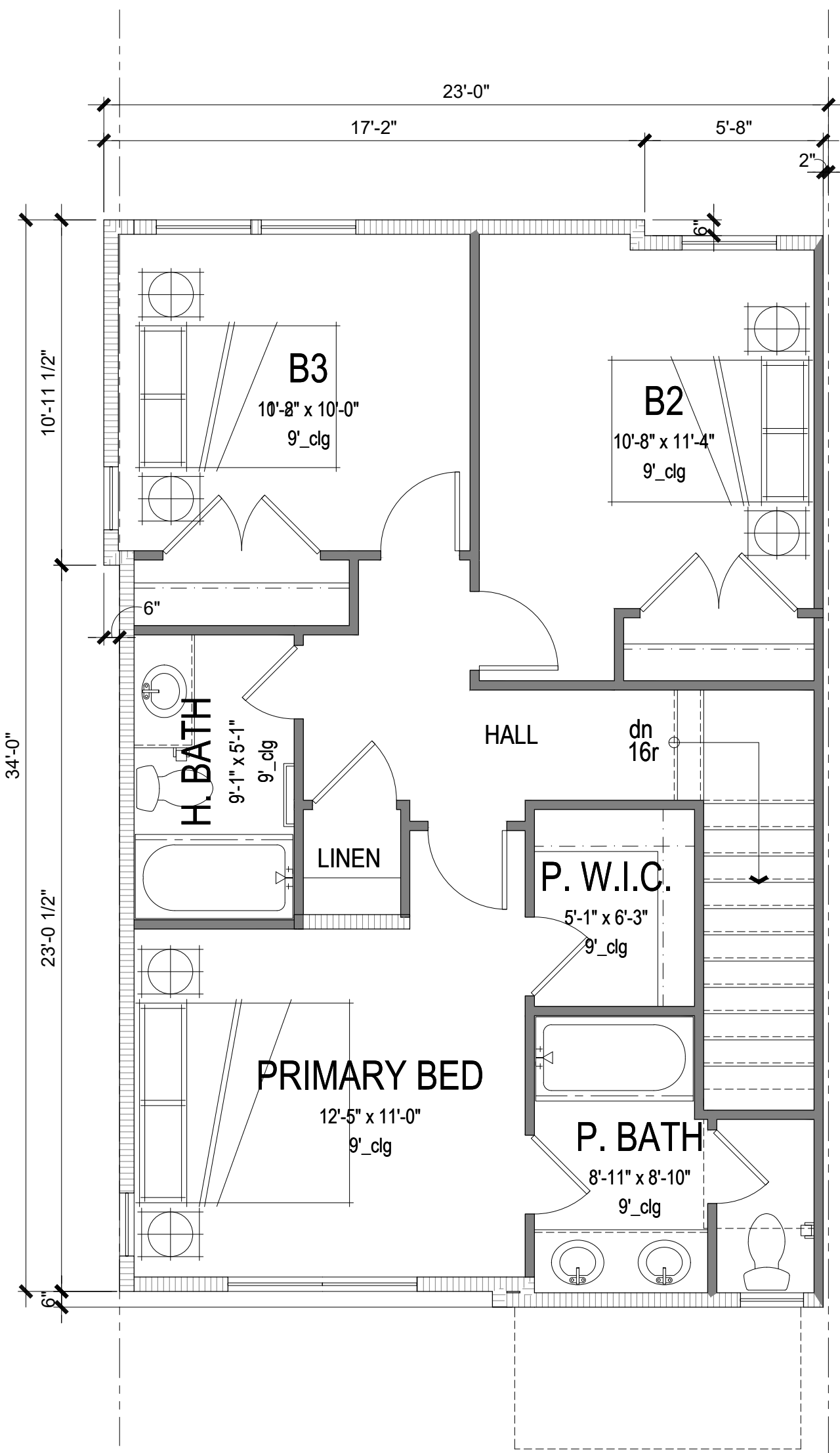


LEVEL 1 LIVING - 258 SQ. FT.
GARAGE - 457 SQ. FT.

NOTE: MIRRORED CONDITION MAY OCCUR. SEE BUILDING COMPOSITES FOR LOCATIONS



LEVEL 2 LIVING - 747 SQ. FT.
LEVEL 2 OUTDOOR - 58 SQ. FT.



LEVEL 3 LIVING - 739 SQ. FT.

UNIT 2 FLOOR PLAN - LEVEL 3 SCALE: 1/4"=1'-0" **4**

UNIT 2 FLOOR PLAN - LEVEL 2 SCALE: 1/4"=1'-0" **3**

UNIT 2 FLOOR PLAN - LEVEL 1 SCALE: 1/4"=1'-0" **1**




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 Project Designer: Morgan Hopley

Developer

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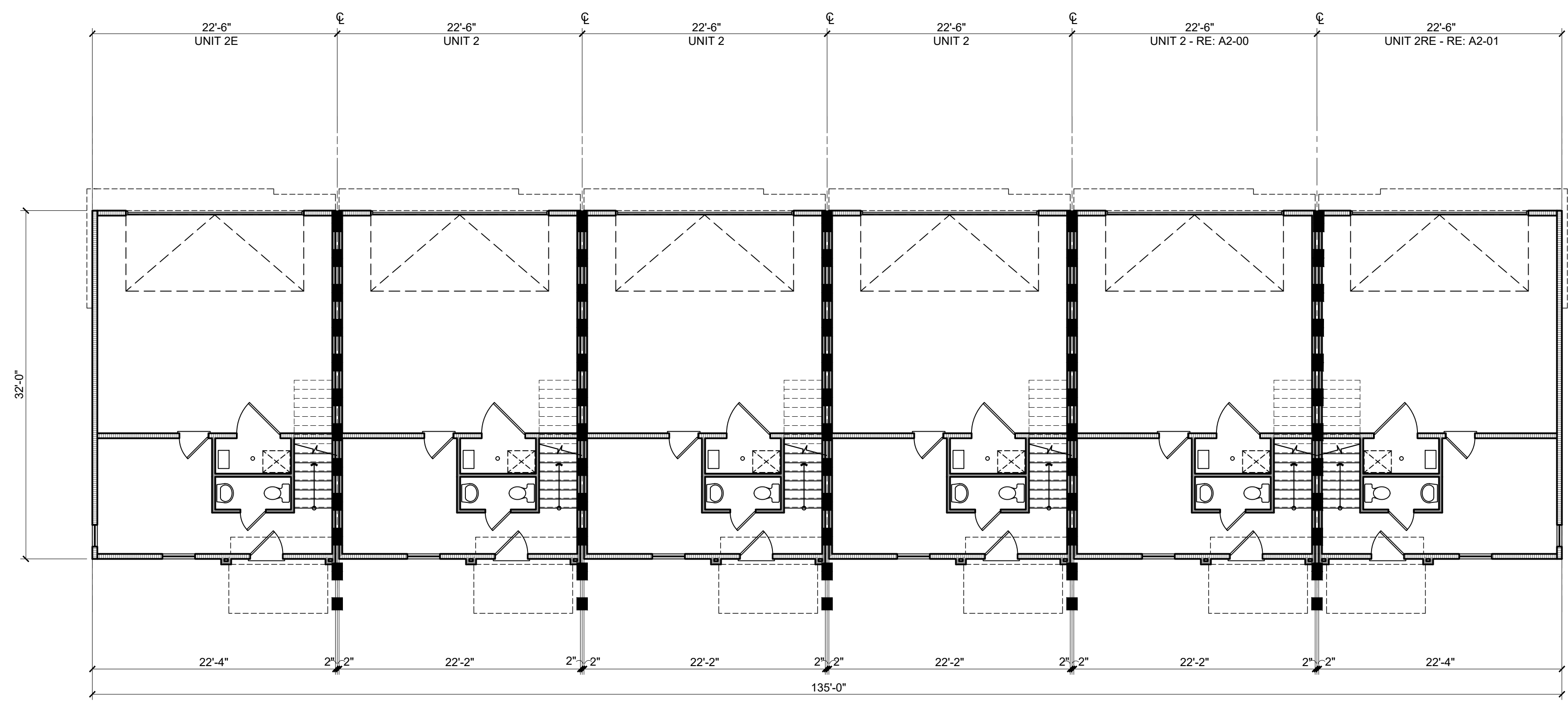
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November 13, 2024
**6-PLEX BUILDING
 FIRST FLOOR PLANS -
 UNIT 2**

A2-60

NOT USED SCALE: 1/8"=1'-0" 2



BUILDING FIRST FLOOR PLAN SCALE: 1/8"=1'-0" 1



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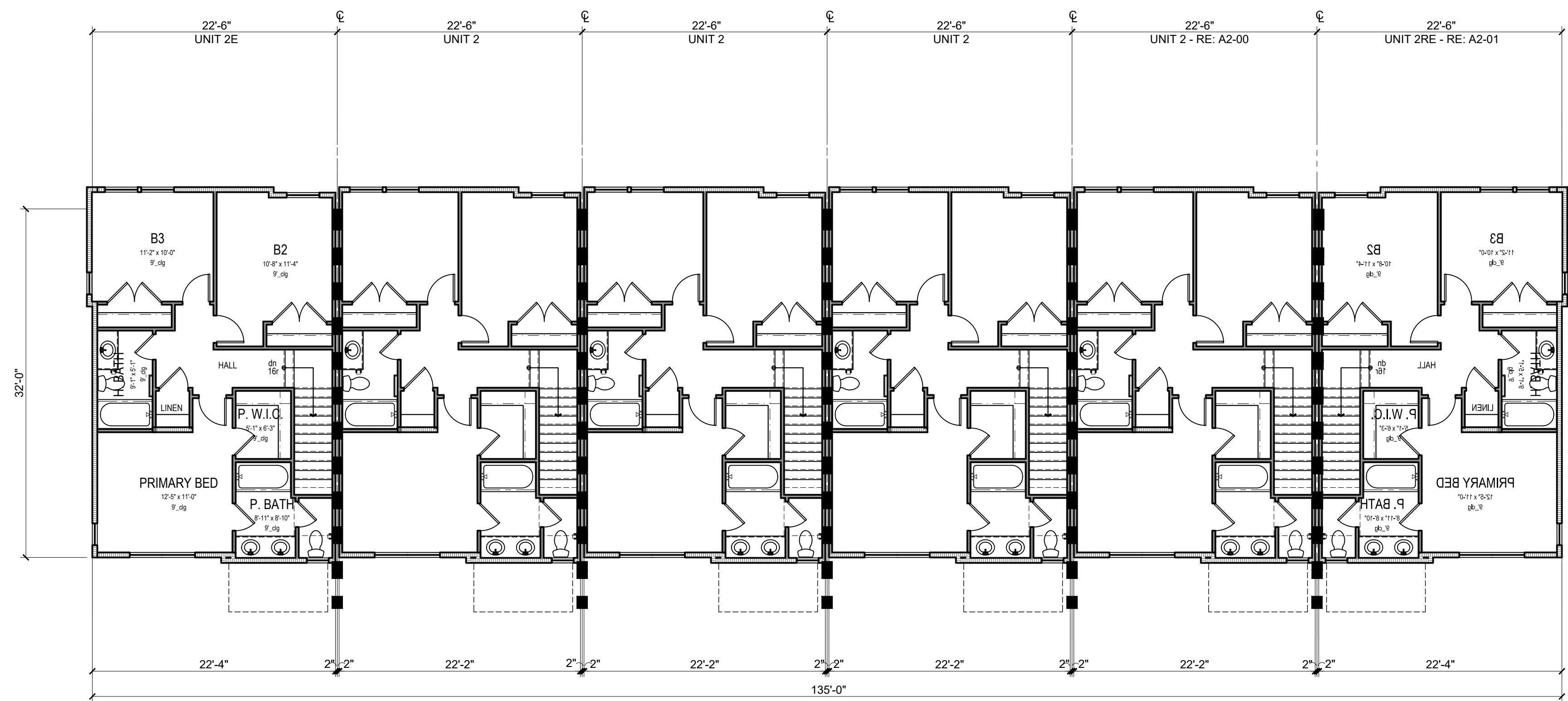
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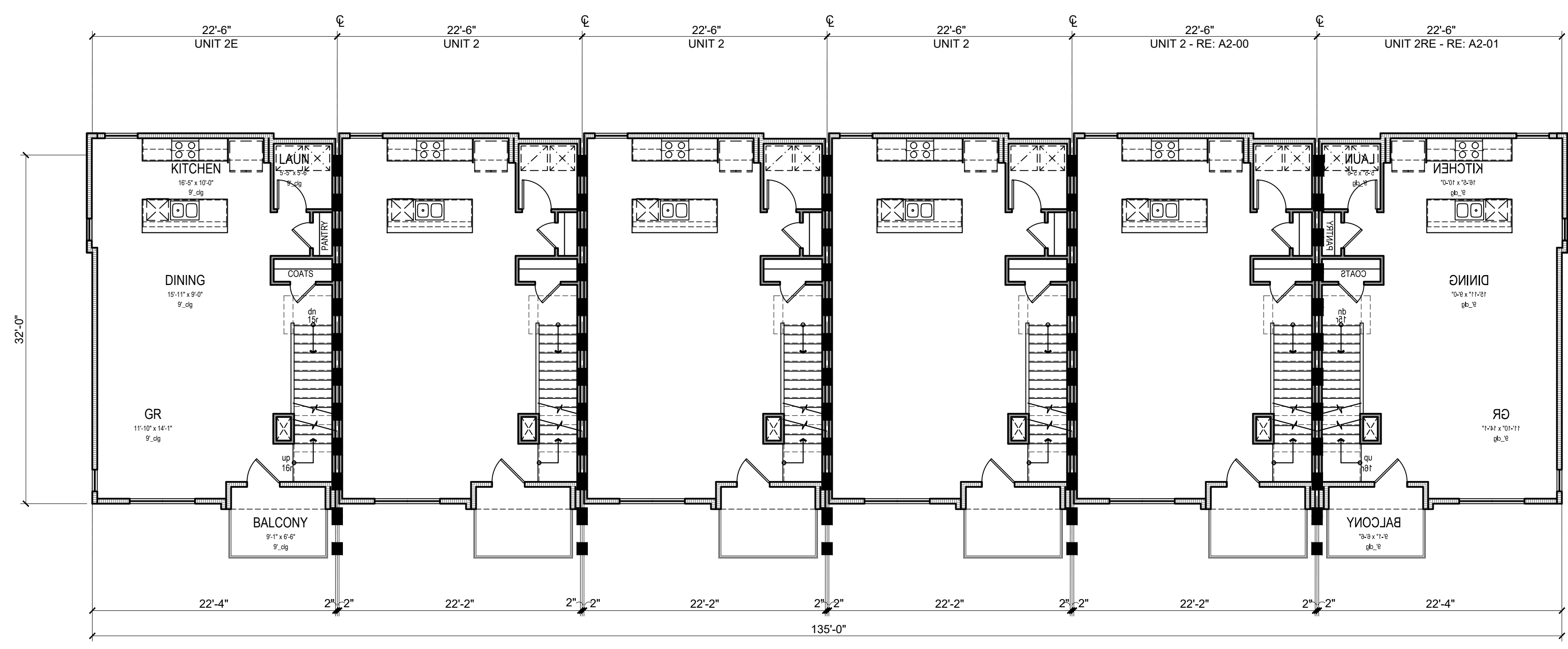
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SALT LAKE CITY, UTAH 84103
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BRIX ON 10TH
 SALT LAKE CITY, UTAH



BUILDING THIRD FLOOR PLAN SCALE: 1/8"=1'-0" **2**



BUILDING SECOND FLOOR PLAN SCALE: 1/8"=1'-0" **1**

No.	Date	Description

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November 13, 2024
6-PLEX BUILDING
SECOND AND THIRD
FLOOR PLANS - UNIT 2

A2-61



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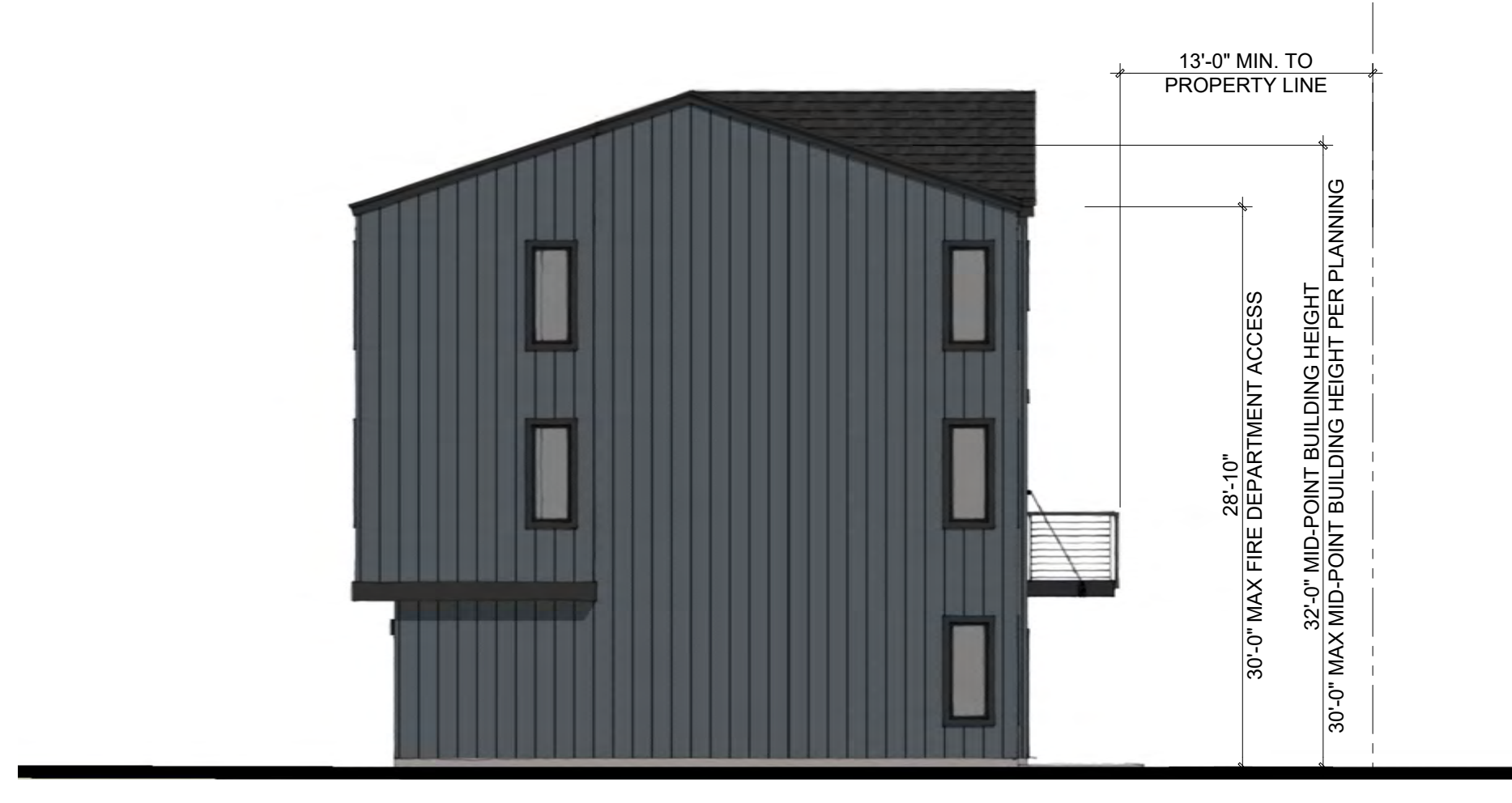
BRIX ON 10TH
 SALT LAKE CITY, UTAH

No.	Date	Description

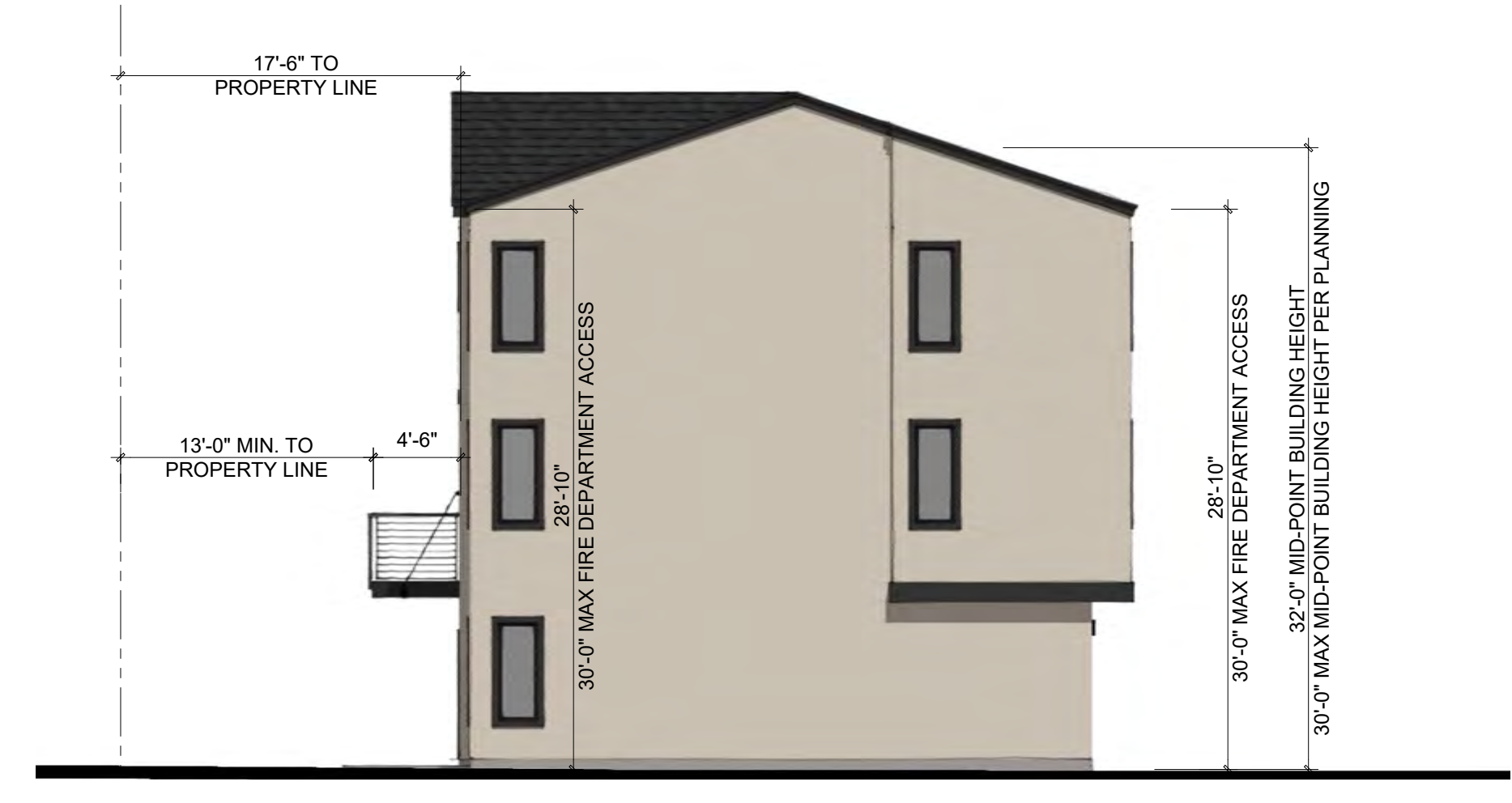
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November 13, 2024
**6-PLEX BUILDING
 COLORED ELEVATIONS -
 UNIT 2**

A2-62



LEFT BUILDING ELEVATION SCALE: 1/8"=1'-0" **4**



RIGHT BUILDING ELEVATION SCALE: 1/8"=1'-0" **3**



REAR BUILDING ELEVATION SCALE: 1/8"=1'-0" **2**



FRONT BUILDING ELEVATION SCALE: 1/8"=1'-0" **1**

ENERGY - TRANSPARENCY			
UNIT 2 - INTERIOR	FLOOR AREA	PROVIDED	%
FIRST FLOOR	256 SF	21 SF	8.2%
SECOND FLOOR	736 SF	59 SF	8.1%
THIRD FLOOR	728 SF	81 SF	11.2%
UNIT 2 - END	FLOOR AREA	PROVIDED	%
FIRST FLOOR	258 SF	31 SF	12.0%
SECOND FLOOR	747 SF	79 SF	10.6%
THIRD FLOOR	739 SF	101 SF	13.7%



BRIX SUBDIVISION

1550 SOUTH 900 WEST & 1549 SOUTH 1000 WEST
SALT LAKE CITY, UTAH

INDEX OF DRAWINGS

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C-500	UTILITY PLAN
C-600	EROSION CONTROL PLAN
PP-0	PLAN AND PROFILE KEY MAP
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PP-2	PLAN AND PROFILE ROAD 1
PP-3	PLAN AND PROFILE ROAD 2
C-700	DETAILS
L-100	LANDSCAPE PLAN
L-200	IRRIGATION PLAN
L-300	LANDSCAPE AND IRRIGATION DETAILS

**FOR REVIEW
NOT FOR CONSTRUCTION**

DATE PRINTED
September 3, 2024



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CONTACT:
PAUL GARRETT
PHONE: 801.456.2474

BRIX SUBDIVISION
 1550 SOUTH 900 WEST & 1549 SOUTH 1000 WEST
 SALT LAKE CITY, UTAH

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

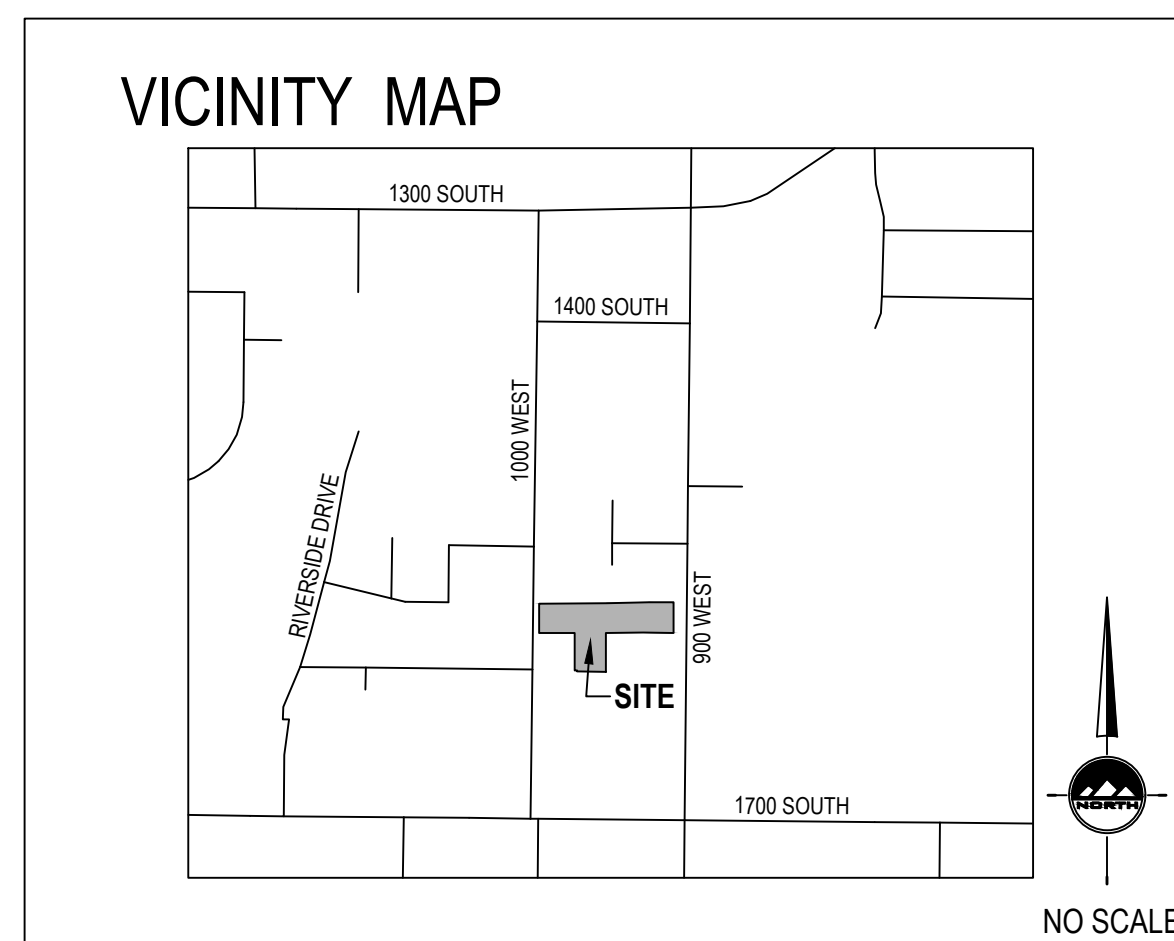
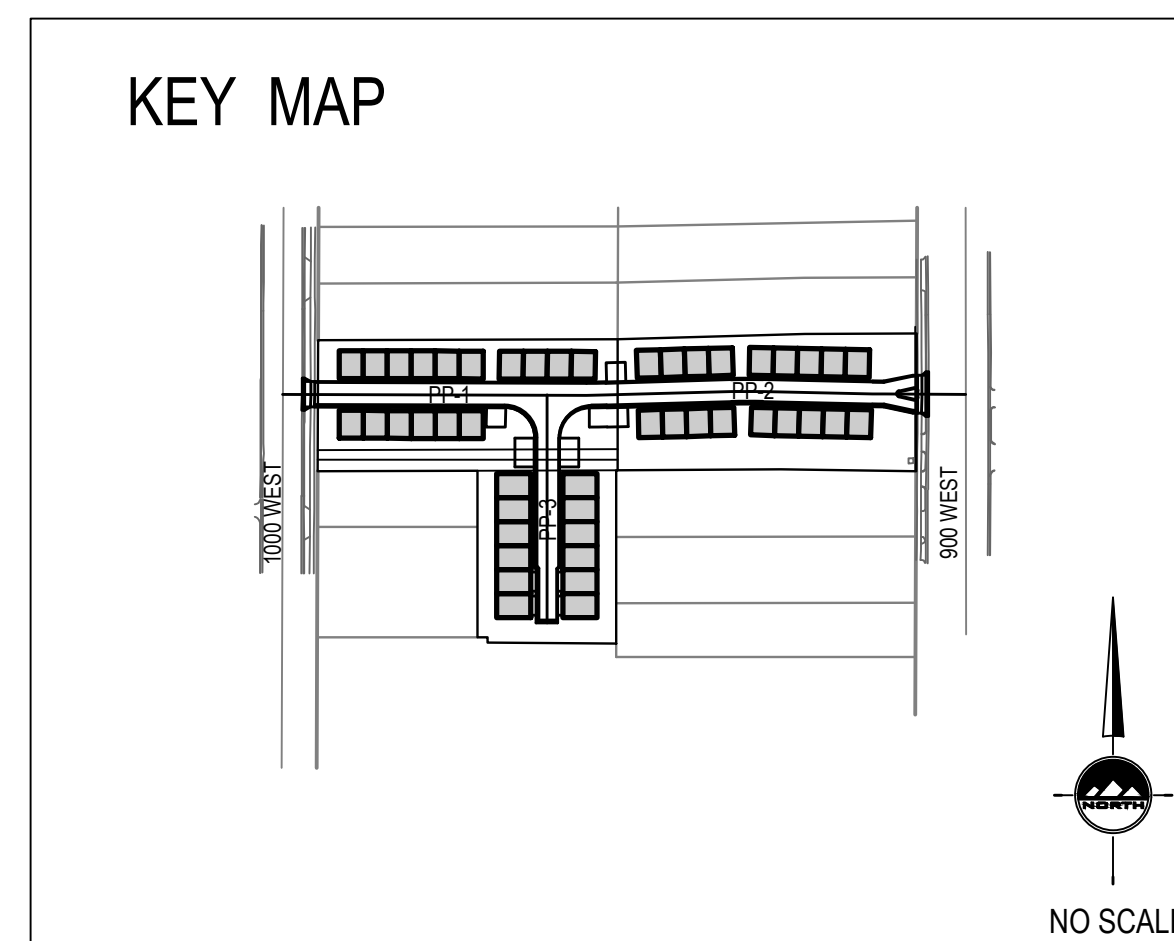
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



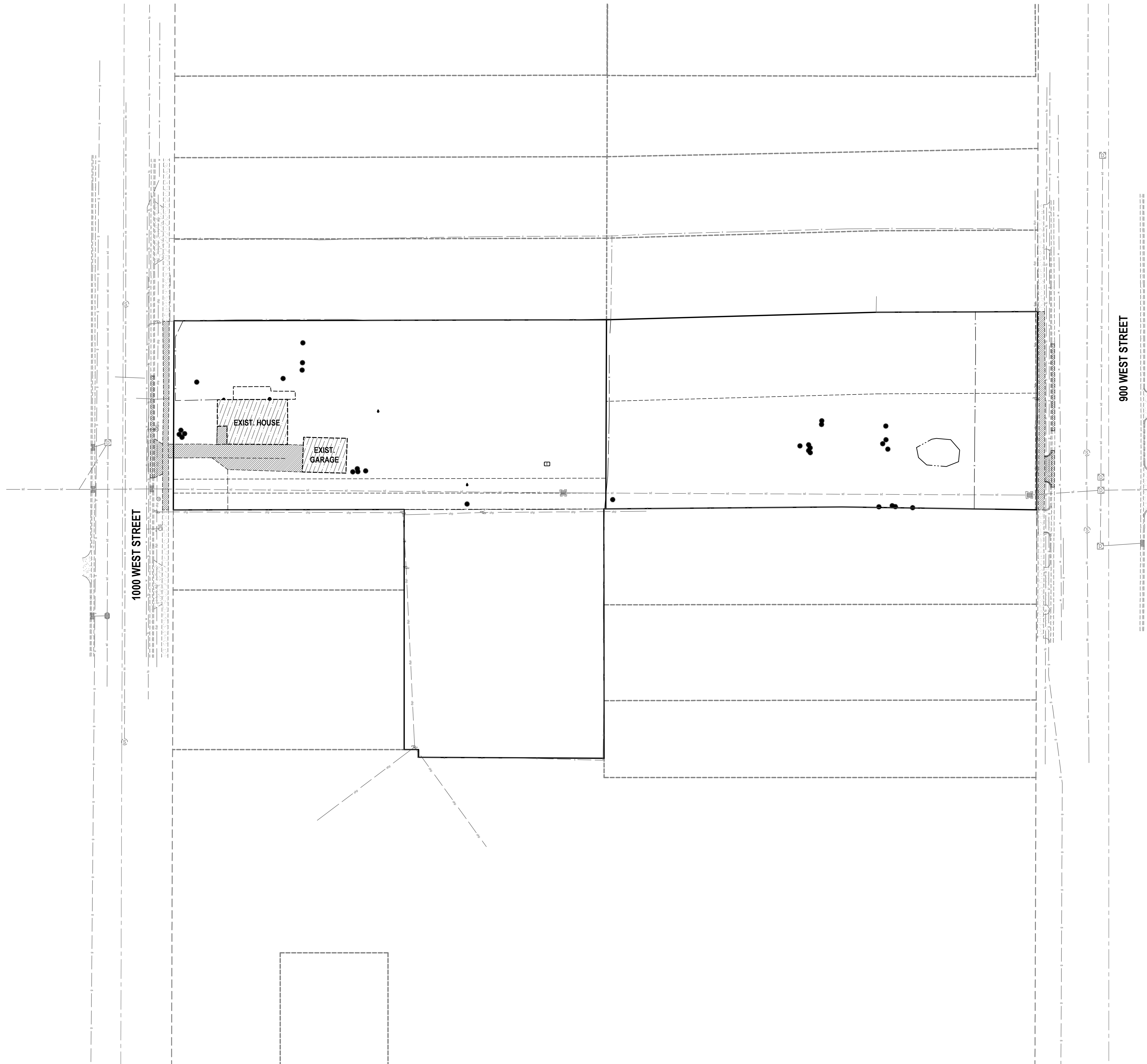
GENERAL NOTES

- ALL WORK SHALL CONFORM TO SALT LAKE CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = STREET MONUMENT, 1700 SOUTH STREET & 900 WEST STREET. ELEV. = 4227.53.

2024-06-26 FOR REVIEW

COVER

PROJECT NUMBER: 12928
PRINT DATE: 2024-09-03
PROJECT MANAGER: BAM
DESIGNED BY: JWS



GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
7. ENGINEERING AND TRANSPORTATION PERMITS ARE REQUIRED TO WORK IN THE PUBLIC RIGHT OF WAY. PLANS, LICENSE, BOND AND INSURANCE REQUIRED WITH PERMIT APPLICATION. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARDS (APWA STANDARDS AND SPECIFICATIONS AVAILABLE AT [HTTPS://APWASTORE.NET/](https://apwastore.net/)), ENGINEERING PERMIT AND TRANSPORTATION PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC RIGHT OF WAY. APPLY FOR THE ENGINEERING PERMIT AT [HTTPS://IACA-PROD.ACCELA.COM/SLCREF/DEFAULT.ASPX](https://iaca-prod.accela.com/slcref/default.aspx).
8. NO PRIVATE INFRASTRUCTURE SUCH AS FOOTINGS/FOUNDATIONS/ENTRANCE STEPS/PERMANENT SOIL NAILS/SHORING/ TRANSFORMERS/ OIL-WATER SEPARATORS/ GREASE TRAPS ETC ARE PERMITTED IN THE PUBLIC RIGHT OF WAY.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
 2. SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
 3. REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
 4. SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
 5. SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB WALL.
 6. SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK OR CONCRETE PAD.
 7. SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE WATERWAY.
 8. SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE DRIVE APPROACH.
 9. REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
 10. REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE, POST, AND GATES.
 11. REMOVE AND PROPERLY DISPOSE OF EXISTING SIGN.
 12. REMOVE EXISTING LANDSCAPING IN THIS AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 13. REMOVE AND PROPERLY DISPOSE OF EXISTING TREE AND/OR SHRUB. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 14. EXISTING WATER SERVICE TO BE ABANDONED. REMOVE AND PROPERLY DISPOSE OF EXISTING WATER METER. KILL EXISTING WATER SERVICE AT MAIN PER SALT LAKE CITY PUBLIC UTILITIES STANDARDS. SEE WATER SERVICE KILL DETAIL ON SHEET C-700.
 15. REMOVE AND PROPERLY DISPOSE OF EXISTING METAL BOX.
 16. REMOVE AND PROPERLY DISPOSE OF EXISTING STORM DRAIN CATCH BASIN AND PIPING.
 17. REMOVE AND PROPERLY DISPOSE OF EXISTING LIGHT POLE AND BASE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 18. REMOVE AND PROPERLY DISPOSE OF EXISTING POWER POLES, BOXES, OVERHEAD POWER LINES, AND GUY WIRES. COORDINATE WITH LOCAL POWER COMPANY.
 19. REMOVE AND PROPERLY DISPOSE OF EXISTING IRRIGATION LINES, BOXES, AND VALVES.
 20. REMOVE AND PROPERLY DISPOSE OF EXISTING WATER LINES, BOXES, AND VALVES.
 21. REMOVE AND PROPERLY DISPOSE OF EXISTING GAS METER AND LINES. COORDINATE WITH LOCAL GAS COMPANY.
 22. REMOVE AND PROPERLY DISPOSE OF EXISTING BOLLARD.
 23. EXISTING SANITARY SEWER LATERAL TO BE CAPPED AND PLUGGED AT THE SEWER MAIN PER SLOCPU STANDARDS. ABANDON EXISTING SEWER LATERAL IN 500 SOUTH.
 24. REMOVE, PROPERLY DISPOSE, AND REPLACE EXISTING CONCRETE PAVEMENT TO THE NEAREST JOINT.



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CONTACT:
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PHONE: 801.456.2474

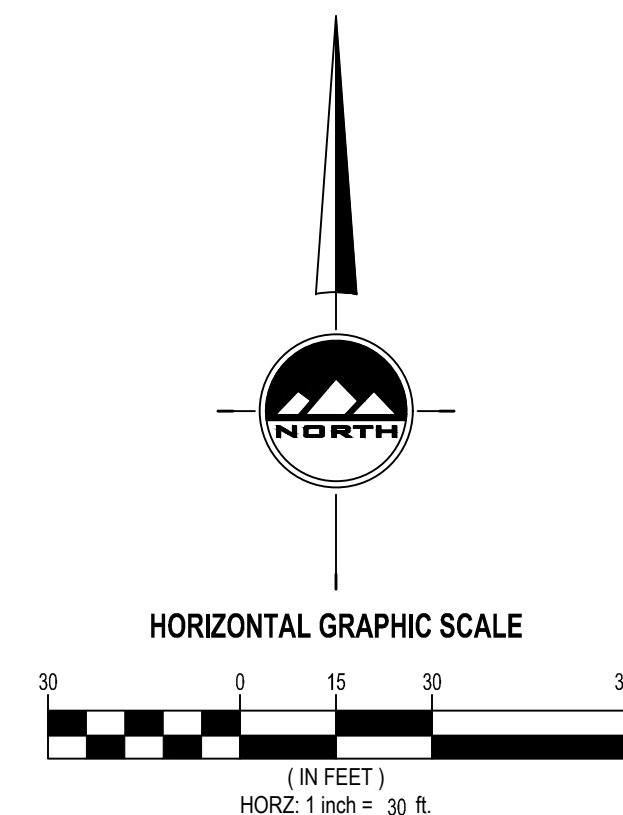
BRIX SUBDIVISION
1550 SOUTH 900 WEST & 1549 SOUTH 1000 WEST
SALT LAKE CITY, UTAH

2024-06-26 FOR REVIEW

DEMOLITION PLAN

PROJECT NUMBER: 12928
PRINT DATE: 2024-09-03
PROJECT MANAGER: BAM
DESIGNED BY: JWS

C-100




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ELEV = 4227.53'



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Sandy, UT 84070
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FOR:
GARRETT HOMES
273 NORTH EAST CAPITOL STREET
SALT LAKE CITY, UTAH 84103

CONTACT:
PAUL GARRETT
PHONE: 801.456.2474

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SALT LAKE CITY, UTAH

2024-06-26 FOR REVIEW

SITE PLAN

PROJECT NUMBER: 12928
PRINT DATE: 2024-09-03
PROJECT MANAGER: BAM
DESIGNED BY: JWS

C-200

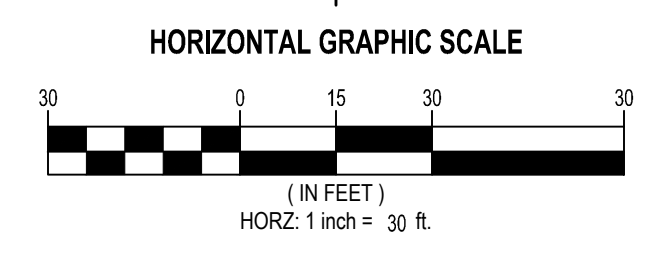
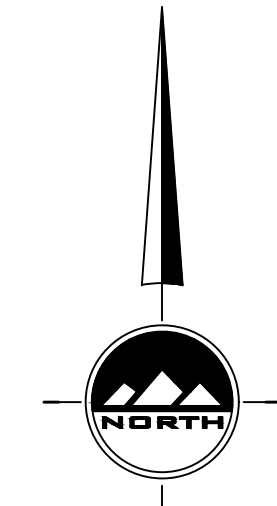
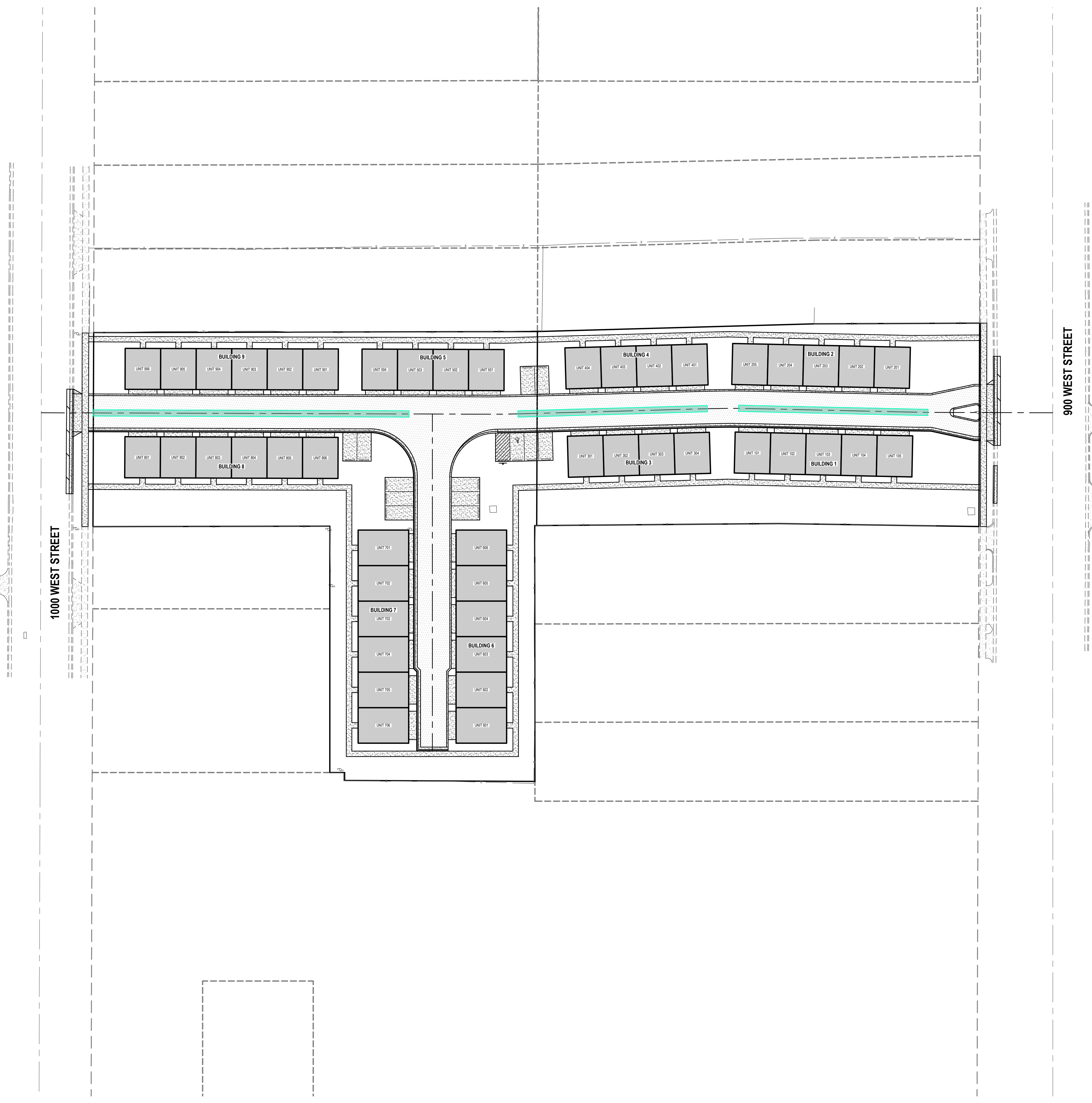
GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
8. CONTRACTOR SHALL SWEEP TRACKED MUD AND DIRT FROM STREETS DAILY AND AS NEEDED. IN ADDITION TO DAILY CONTRACTOR INSPECTIONS, STREETS SHALL BE SWEEPED UPON CITY AND OWNER REQUEST.
9. ENGINEERING AND TRANSPORTATION PERMITS ARE REQUIRED TO WORK IN THE PUBLIC RIGHT OF WAY. PLANS, LICENSE, BOND AND INSURANCE REQUIRED WITH PERMIT APPLICATION. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARDS (APWA STANDARDS AND SPECIFICATIONS AVAILABLE AT [HTTPS://APWASTORE.NET/](https://apwastore.net/)). ENGINEERING PERMIT AND TRANSPORTATION PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC RIGHT OF WAY. APPLY FOR THE ENGINEERING PERMIT AT [HTTPS://ACA-PROD.ACCELA.COM/SLCREF/DEFAULT.ASPX](https://aca-prod.accela.com/slc/cref/default.aspx).
10. NO PRIVATE INFRASTRUCTURE SUCH AS FOOTINGS/FOUNDATIONS/ENTRANCE STEPS/PERMANENT SOIL NAILS/SHORING/ TRANSFORMERS/ OIL-WATER SEPARATORS/ GREASE TRAPS ETC ARE PERMITTED IN THE PUBLIC RIGHT OF WAY.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 3/C-700.
- 2 CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 4/C-700.
- 3 LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 4 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- 5 30" TYPE "A" CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.
- 6 30" MODIFIED TYPE "F" CURB AND GUTTER PER DETAIL 6/C-700.
- 7 6" THICK RIBBON CURB.
- 8 6" WIDE CONCRETE MOW CURB.
- 9 FENCE WITH RETAINING WALL PANELS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- 10 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- 11 12" WIDE SOLID WHITE STOP BAR PER M.U.T.C.D. STANDARD PLANS.
- 12 OPEN CONCRETE DRIVEWAY PER UDOT STANDARD DRAWING NO. GW 3B AND SPECIFICATIONS.
- 13 PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- 14 "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 15 "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 16 "NO PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 17 "RIGHT TURN ONLY" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 18 ASPHALT PAVEMENT PER UDOT STANDARDS AND SPECIFICATIONS.
- 19 TYPE "B1" CURB AND GUTTER PER UDOT STANDARD DRAWING NO. GW 2A AND SPECIFICATIONS.
- 20 TYPE "B5" CURB PER UDOT STANDARD DRAWING NO. GW 2A AND SPECIFICATIONS. DOWEL CURB INTO ASPHALT AFTER ASPHALT PLACEMENT.
- 21 FLOWABLE END SECTION PER UDOT STANDARD DRAWING NO. GW 1B AND SPECIFICATIONS.
- 22 6" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- 23 CURB STOP PER DETAIL 5/C-700.
- 24 DRAINAGE SWALE. SEE GRADING PLAN FOR ELEVATION INFORMATION.



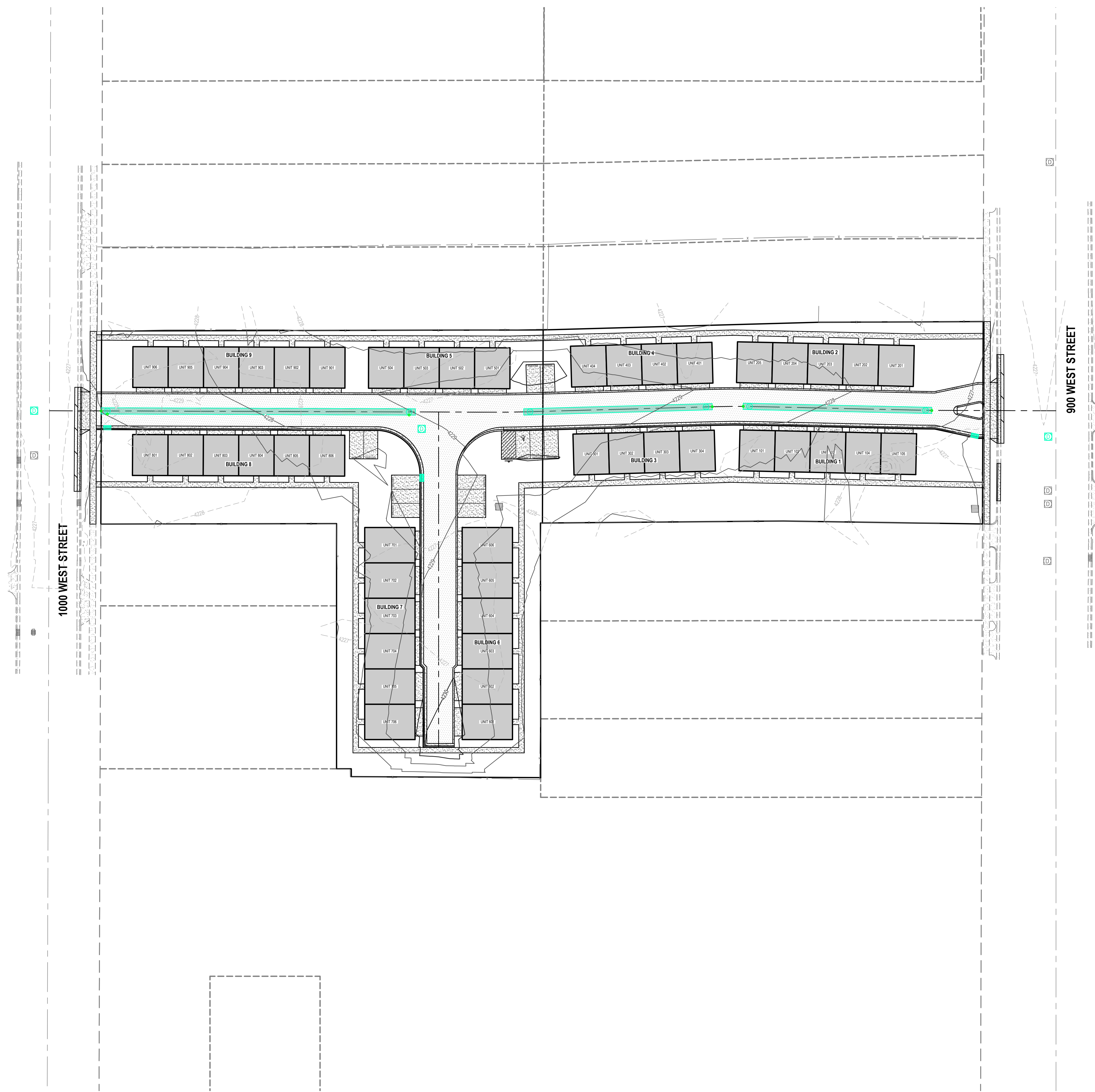
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GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
5. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
6. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
7. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
8. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
9. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
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12. NO PRIVATE INFRASTRUCTURE SUCH AS FOOTINGS/FOUNDATIONS/ENTRANCE STEPS/PERMANENT SOIL NAILS/SHORING/TRANSFORMERS/OIL-WATER SEPARATORS/GREASE TRAPS ETC ARE PERMITTED IN THE PUBLIC RIGHT OF WAY.

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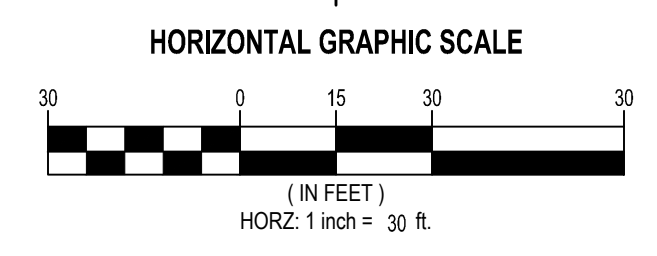
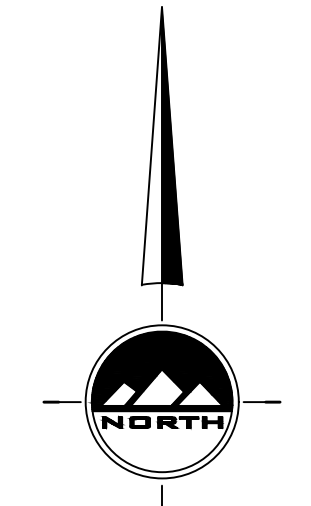
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2024-06-26 FOR REVIEW

GRADING PLAN

PROJECT NUMBER: 12928
PRINT DATE: 2024-09-03
PROJECT MANAGER: BAM
DESIGNED BY: JWS

C-300



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2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
5. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
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7. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
8. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
9. ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE FLOWING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
11. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
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14. NO PRIVATE INFRASTRUCTURE SUCH AS FOOTINGS/FOUNDATIONS/ENTRANCE STEPS/PERMANENT SOIL NAILS/SHORING/ TRANSFORMERS/ OIL-WATER SEPARATORS/ GREASE TRAPS ETC ARE PERMITTED IN THE PUBLIC RIGHT OF WAY.

SCOPE OF WORK:

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1. UNDERGROUND DETENTION CHAMBER SYSTEM #1: INSTALL 1 BARREL OF 4' NONPERFORATED ALUMINIZED CMP 200' IN LENGTH PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO MAINTAIN A MINIMUM OF 2' OF COVER ABOVE TOP OF EACH CHAMBER, FOR ENTIRE CHAMBER SYSTEM.
 TOP OF PIPE = 4233.66
 BOTTOM OF PIPE = 4229.66
 SLOPE = 0.00%
 VOLUME REQUIRED = 1,230 C.F.
 VOLUME PROVIDED = 1,257 C.F.
2. UNDERGROUND DETENTION CHAMBER SYSTEM #2: INSTALL 2 BARRELS OF 4' NONPERFORATED ALUMINIZED CMP 120' IN LENGTH PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO MAINTAIN A MINIMUM OF 2' OF COVER ABOVE TOP OF EACH CHAMBER, FOR ENTIRE CHAMBER SYSTEM.
 TOP OF PIPE = 4233.19
 BOTTOM OF PIPE = 4229.19
 SLOPE = 0.00%
 VOLUME REQUIRED = 3,516 C.F.
 VOLUME PROVIDED = 3,544 C.F.
3. UNDERGROUND DETENTION CHAMBER SYSTEM #3: INSTALL 2 BARRELS OF 4' NONPERFORATED ALUMINIZED CMP 120' IN LENGTH PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO MAINTAIN A MINIMUM OF 2' OF COVER ABOVE TOP OF EACH CHAMBER, FOR ENTIRE CHAMBER SYSTEM.
 TOP OF PIPE = 4233.19
 BOTTOM OF PIPE = 4229.19
 SLOPE = 0.00%
 VOLUME REQUIRED = 3,516 C.F.
 VOLUME PROVIDED = 3,544 C.F.
4. 1.0" ORIFICE PLATE PER DETAIL 7/C-700 INSTALLED ON EAST SIDE OF STORM DRAIN CLEANOUT #203.
5. 1.77" ORIFICE PLATE PER DETAIL 7/C-700 INSTALLED ON EAST SIDE OF STORM DRAIN CLEANOUT #204.
6. SNOUT AND BIOSKIRT PER MANUFACTURER'S RECOMMENDATIONS.
7. STORM DRAIN CATCH BASIN PER UDOT STANDARD DRAWINGS CB 9 CATCH BASIN SERIES WITH BICYCLE SAFE GRATE PER UDOT STANDARD DRAWINGS GF 1.
8. 12" PVC INLINE DRAIN WITH SLOTTED GRATE AND 6" OUTLET RISER, INCLUDING ALL FITTINGS PER DETAIL 8/C-700. INSTALL PER MANUFACTURER'S SPECIFICATIONS. EXTEND END OF 6" SPOOL 1' ABOVE PROPOSED TOP OF GRATE ELEVATION. ADJUST GRATE TO APPROPRIATE FINAL ELEVATION PER PLANS AND LANDSCAPE TREATMENT.
9. 3' ACCESS MANHOLE FOR UNDERGROUND DETENTION SYSTEM.



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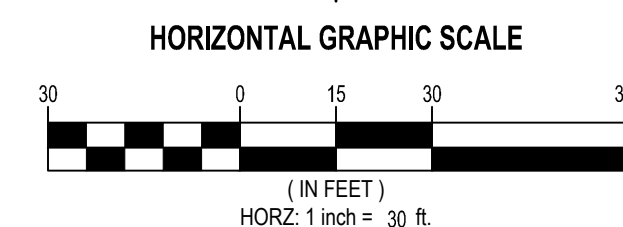
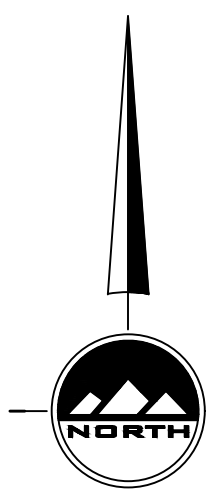
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DRAINAGE PLAN

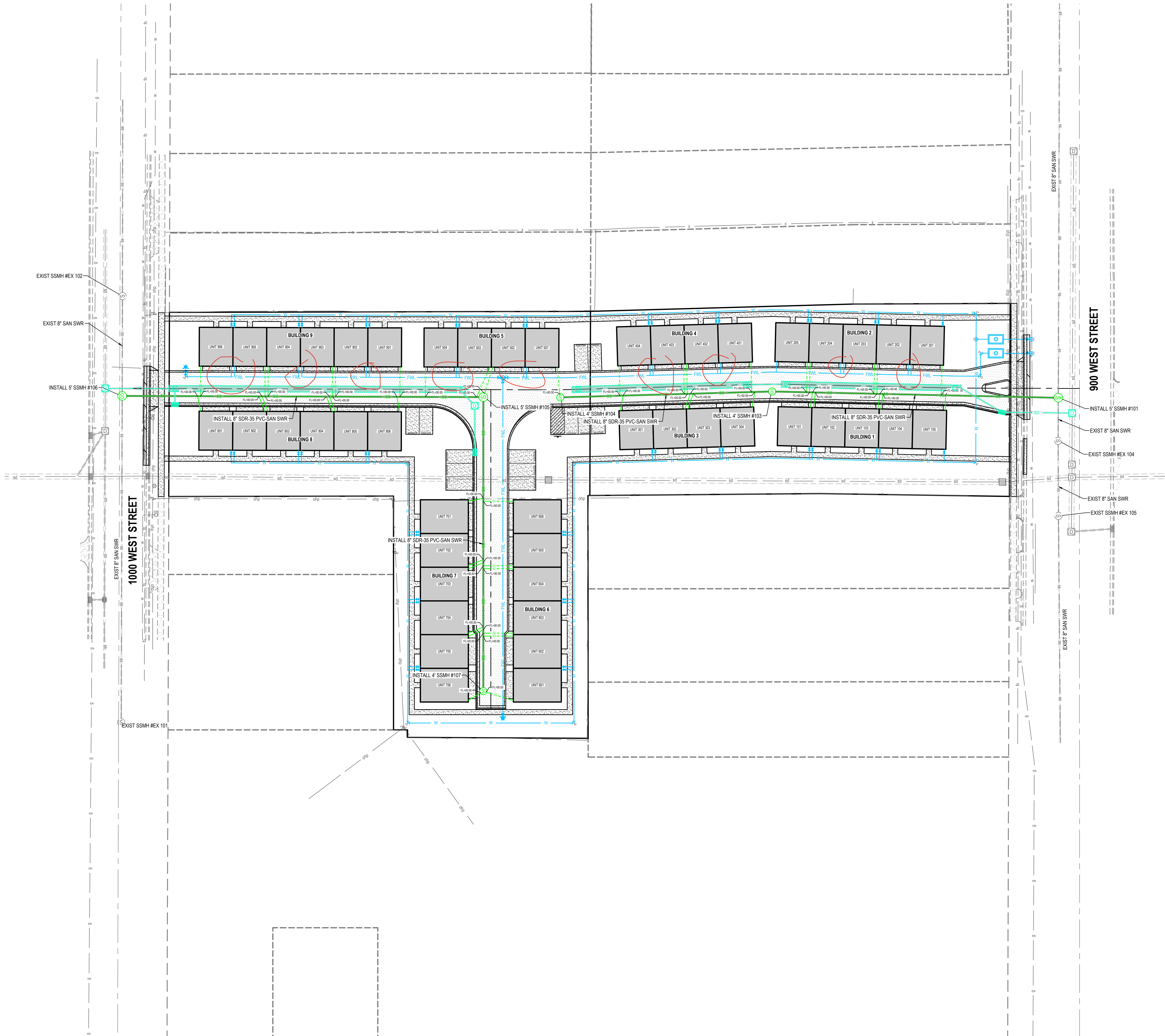
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- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPT. UTILITY COORDINATOR AND THE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.
- ALL UTILITY TRENCHING MUST BE PER SLOPCU STANDARD PRACTICE NO. 1.
- SANITARY SEWER SERVICE LATERAL FLOWLINE CONNECTIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 42X.XX ON THESE PLANS.
- THE DEVELOPER/CONTRACTOR IS TASKED WITH PROVIDING ALL NECESSARY POWER INFRASTRUCTURE FOR THE STREETLIGHTS. THIS ENCOMPASSES COORDINATION WITH ROCKY MOUNTAIN POWER TO ESTABLISH AN UNMETERED POWER CONNECTION AND SERVICE TO THE STREET LIGHTS. THE CONTRACTOR WILL SIZE WILL BE DETERMINED BY THE LOAD CALCULATIONS TO FULFILL THE FOLLOWING CRITERIA: THE VOLTAGE DROP MUST NOT EXCEED 3%, AND THE CONDUIT AREA MUST NOT BE FILLED MORE THAN 40%. A 2" CONDUIT IS MANDATORY. ONCE THE POWER SOURCES HAVE BEEN COORDINATED WITH ROCKY MOUNTAIN POWER AND THE LIGHTS, BOXES, CONDUIT, AND WIRE HAVE BEEN PROPERLY INSTALLED AND INSPECTED, SLOPCU WILL INITIATE CONNECTION REQUEST. SUBSEQUENTLY, ROCKY MOUNTAIN POWER WILL ESTABLISH THE FINAL CONNECTION TO POWER SOURCES. PRIOR TO COMMENCING CONSTRUCTION OR DEMOLITION ON THE STREET LIGHTING, PLEASE ARRANGE FOR INSPECTIONS WITH BLACK AND MCDONALD AT (801) 381-9854.
- ENGINEERING AND TRANSPORTATION PERMITS ARE REQUIRED TO WORK IN THE PUBLIC RIGHT OF WAY. PLANS, LICENSE, BOND AND INSURANCE REQUIRED WITH PERMIT APPLICATION. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARDS (APWA STANDARDS AND SPECIFICATIONS AVAILABLE AT [HTTPS://APWASTORE.NET/](https://apwastore.net/)). ENGINEERING PERMIT AND TRANSPORTATION PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC RIGHT OF WAY. APPLY FOR THE ENGINEERING PERMIT AT [HTTPS://ACA-PROD.ACCELA.COM/SLC/REF/DEFAULT.ASPX](https://aca-prod.accela.com/slc/cref/default.aspx).
- NO PRIVATE INFRASTRUCTURE SUCH AS FOOTINGS/FOUNDATIONS/ENTRANCE STEPS/PERMANENT SOIL NAILS/SHORING/ TRANSFORMERS/ OIL-WATER SEPARATORS/ GREASE TRAPS ETC ARE PERMITTED IN THE PUBLIC RIGHT OF WAY.
- POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14, CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY RIGHT-OF-WAY OR A PUBLIC UTILITIES RIGHT-OF-WAY. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPARTMENT UTILITY COORDINATOR AND THE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 4" SDR-35 PVC SANITARY SEWER SERVICE LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 50-FOOT SPACING, PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
- SANITARY SEWER CLEANOUT PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 3/4" POLY CULINARY WATER SERVICE LATERAL, INCLUDING BUILDING ISOLATION VALVE, PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 1.5" POLY FIRE SERVICE LATERAL PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- FIRE HYDRANT ASSEMBLY COMPLETE PER APWA STANDARD PLAN NO. 511 AND SPECIFICATIONS.
- 3" CULINARY WATER METER AND CONCRETE VAULT PER APWA STANDARD PLAN NO. 523 AND SPECIFICATIONS.
- DETECTOR CHECK VALVE AND CONCRETE VAULT PER APWA STANDARD PLAN NO. 572 AND SPECIFICATIONS.
- POWER POLE WITH STREET LIGHT. COORDINATE WITH ROCKY MOUNTAIN POWER.
- IRRIGATION POINT OF CONNECTION, INCLUDING 1" CONNECTION WITH CURB STOP.

ENSIGN
THE STANDARD IN ENGINEERING

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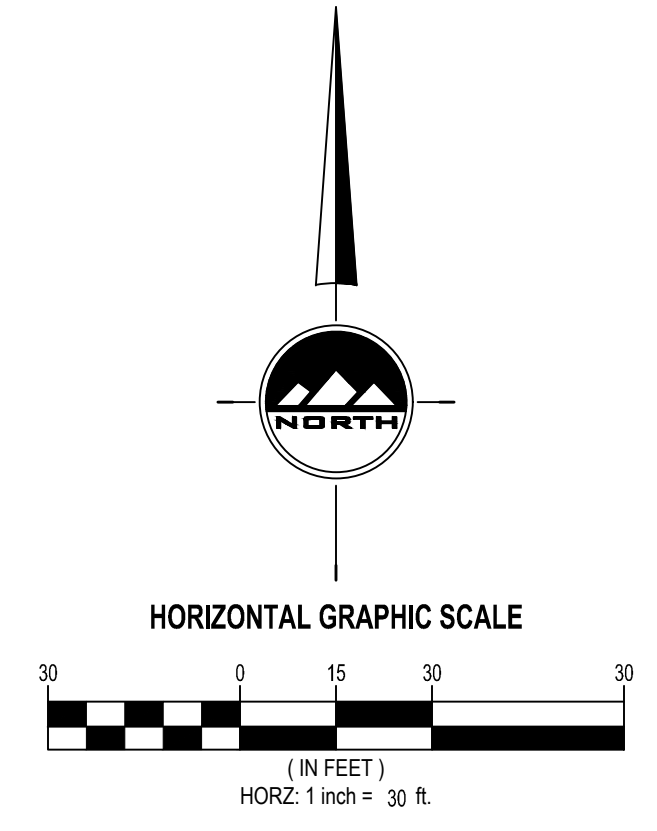
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SALT LAKE CITY, UTAH

2024-06-26 FOR REVIEW

UTILITY PLAN

PROJECT NUMBER: 12928
PRINT DATE: 2024-09-03
PROJECT MANAGER: BAM
DESIGNED BY: JWS

C-500



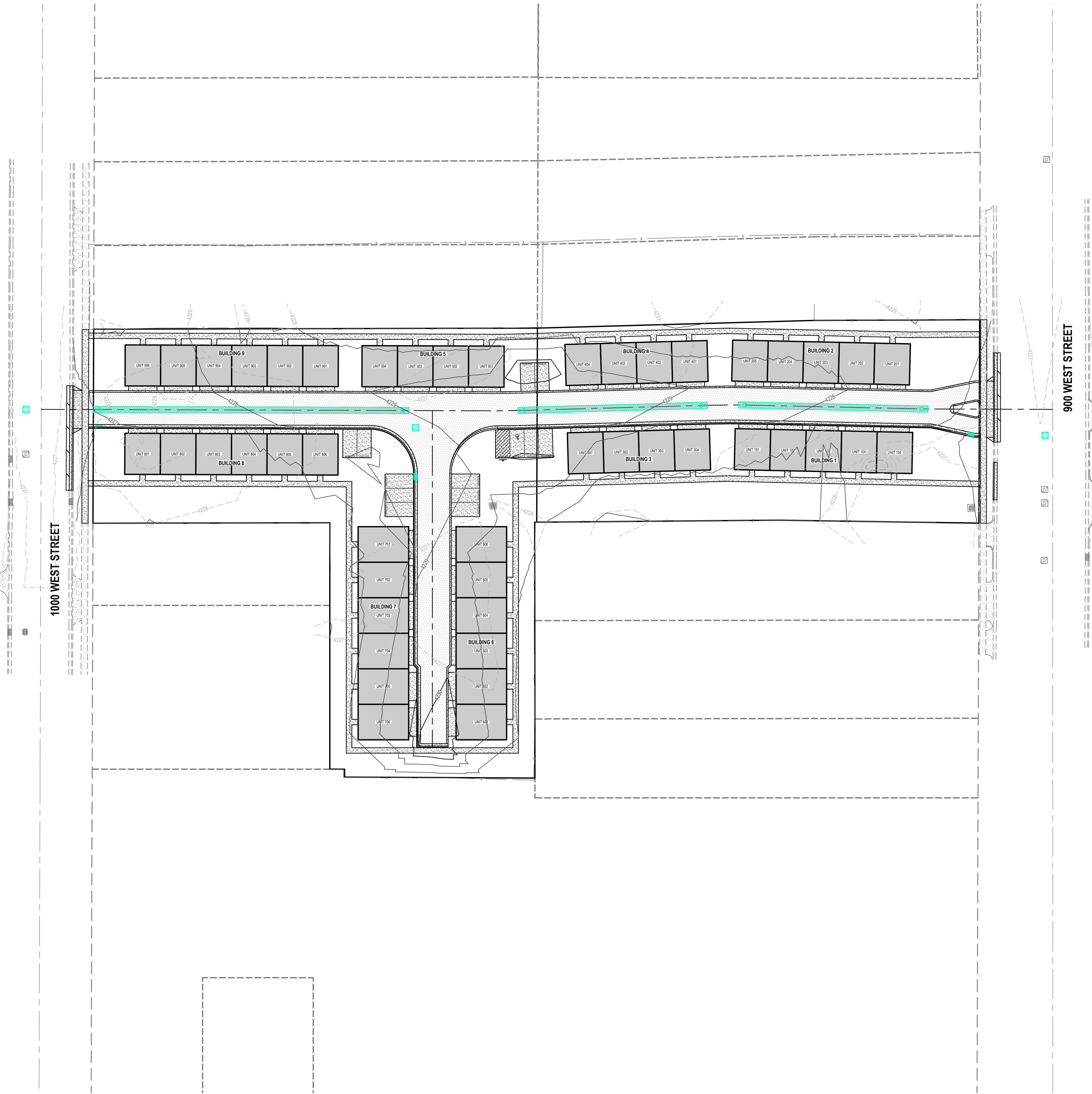
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BENCHMARK

STREET MONUMENT
1700 SOUTH STREET &
900 WEST STREET

ELEV = 4227.53'



GENERAL NOTES

1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
6. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 INLET PROTECTION PER DETAIL 9/C-700.
- 2 SILT FENCE PER DETAIL 10/C-700.
- 3 PORTABLE TOILET.
- 4 VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 9/C-700.
- 5 SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- 6 SUGGESTED STOCKPILE AREA.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

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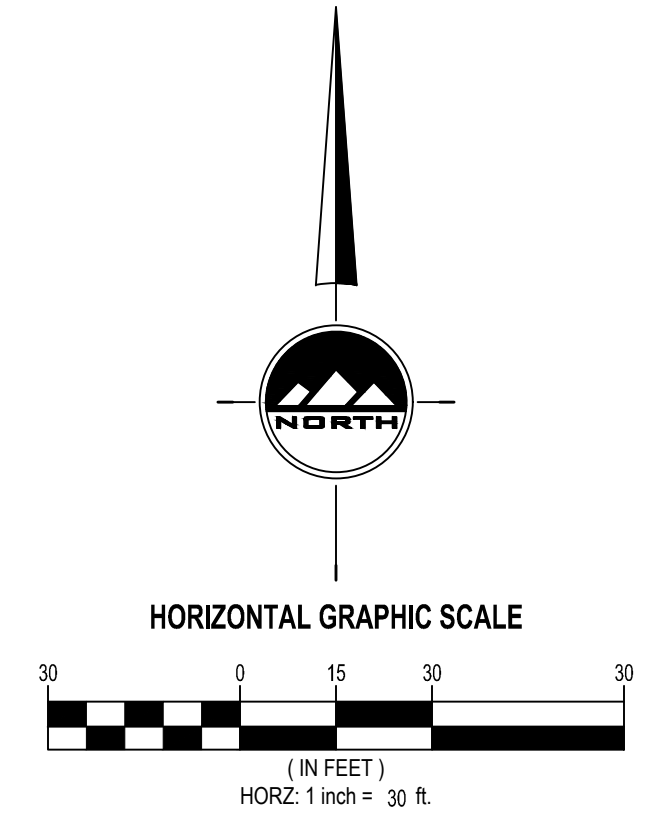
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2024-06-26 FOR REVIEW

EROSION CONTROL PLAN

PROJECT NUMBER: 12928
PRINT DATE: 2024-09-03
PROJECT MANAGER: BAM
DESIGNED BY: JWS

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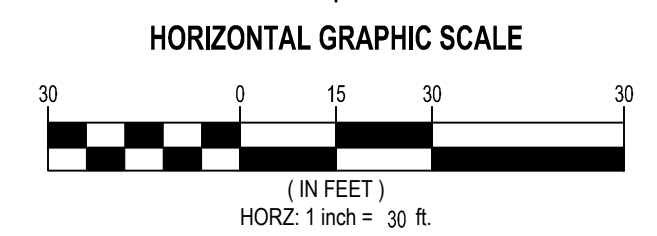
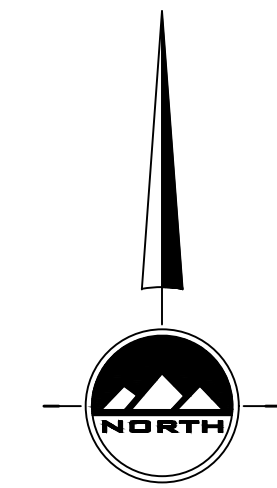
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PLAN AND PROFILE
KEY MAP

PROJECT NUMBER: 12928
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PRINT DATE: 2024-09-03
DESIGNED BY: JWS

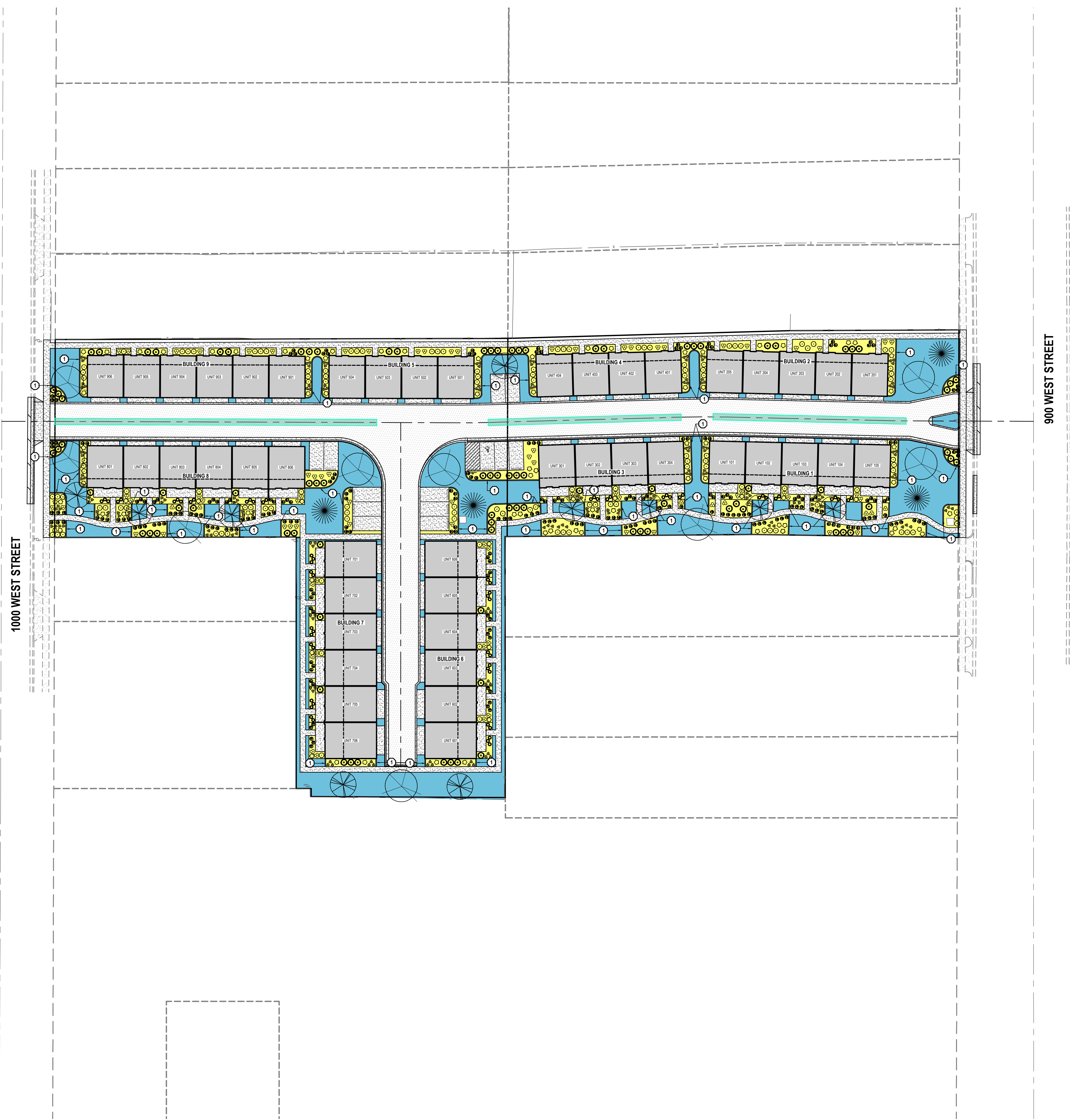
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Landscape

Trees

Qty	Symbol	Common Name	Botanical Name	Plant Size
4		Norway Spruce	Picea abies	6' Min.
10		Amur Maple	Acer ginnala 'Flame'	2" Cal.
9		Eastern Redbud	Cercis canadensis	2" Cal.

Shrubs-Grasses

Qty	Symbol	Common Name	Botanical Name	Plant Size
91		Boxwood, Littleleaf	Buxus microphylla	5 Gallon
121		Barberry, 'Crimson Pygmy'	Berberis thunbergii atropurpurea nana	5 Gallon
84		Cinquefoil	Potentilla fruticosa 'Abbotswood'	5 Gallon
236		Fountain Grass	Festuca ovina glauca	1 Gallon
65		Blue Fescue	Festuca ovina glauca	1 Gallon

Annuals-Perennials

Qty	Symbol	Common Name	Botanical Name	Plant Size
174		Black-Eyed Susan	Rudbeckia hirta	1 Gallon
83		Pink Hardy Iceplant	Delosperma cooperi	1 Gallon

1 Install 6" Concrete Edging

Install 4" deep bark mulch over weed barrier

Install 4"-8" River Rock Cobble over weed barrier



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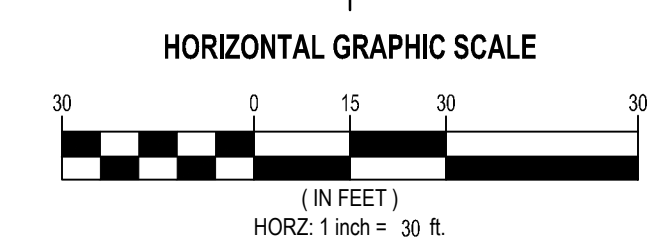
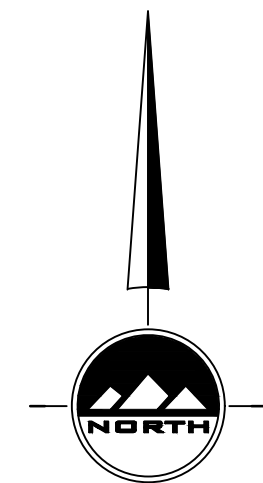
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LANDSCAPE PLAN

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DESIGNED BY: JWS

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