# **Brix on Tenth**

Ву

**Garbett Homes** 

# Addresses

Parcel #	Acreage	Address
1514253005	0.80	1549 S 1000 W
1514253006	0.07	1551 S 1000 W
1514253065	0.47	1567 S 1000 W
1514253032	0.48	1550 S 900 W
1514253031	0.34	1544 S 900 W
Total	2.2	

Parcel Map

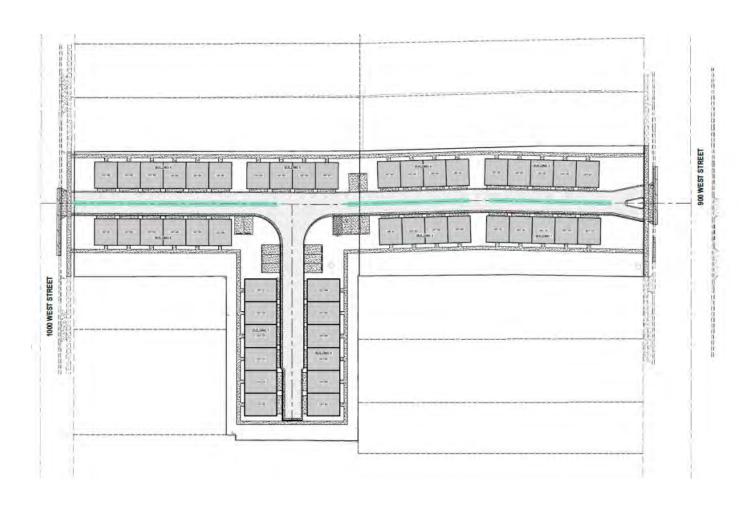


#### **Brix on Tenth**

46 total, for sale units.

34- wo bedroom, two car garage units - 1,335 SF

12- three bedroom, two car garage units - 1,720 SF



#### Proposed Use:

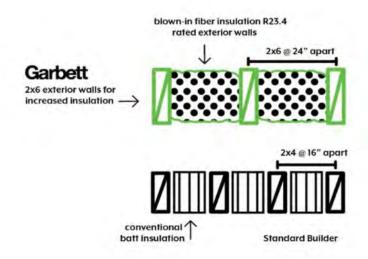
Garbett Homes is proposing a 46 unit Town Home Development. These homes will be for sale. This development will be built to the Department of Energy's Zero Energy ready standard, and will be an all electric community. Meaning no gas utilities will be need, but rather it will focus on the use of electric power to heat and cool the home. Each home will have a 2 car garage and depending on the floor plan the Brix project will feature 2 to 3 bedroom options.

# A. Meeting the Sustainability objective of Master Planned Developments—Green Building Techniques to be used in the Brix on Tenth development.

Over the past Decade Garbett Homes has continuously worked to build the most high performing and energy efficient homes for our buyers at a price that they can afford. Brix on Tenth will feature all the technology and techniques we have acquired over this time in order to achieve a high performing extremely energy efficient community. The following will be included in our Brix on Tenth Homes:

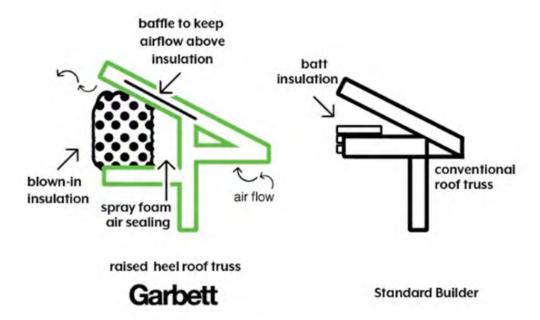
**1. Each home will be pre-wired for solar.** Making it easy and inexpensive for our customers to install solar or subscribe to a solar panel provider. They will also have the option to set up back up battery storage within their own homes.

#### 2. 2x6 exterior wall construction



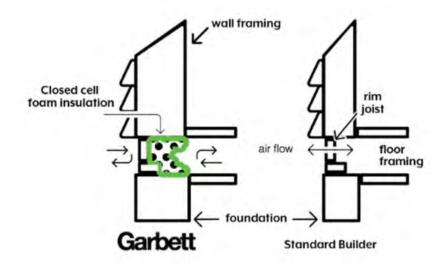
By using 2'x6' exterior walls instead of conventional 2'x4' walls, and spacing studs 24" on center (instead of the standard 16" apart) We're able to make significant gains in insulation. Wood is a poor insulator, so by incorporating these innovations we're able to include more insulation and give you a higher performing

#### 3. Raised-heel Roof Truss:



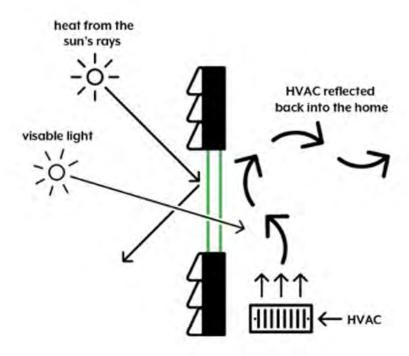
Raised heel roof trusses offer the most energy-efficient roof framing. Getting full insulation coverage over the entire ceiling is difficult when ceiling trusses are not designed to allow the insulation to maintain its desired thickness all the way to the wall. Conventional roof truss assembly (insulated with standard batts) does not allow adequate ceiling insulation and the air passing through the vents is restricted. The Garbett raised heel system uses baffles to allow adequate air flow above the insulation. Blow-in fiber is used to insulate the ceiling, and spray foam is used to air-seal the raised heel, achieving a true and consistent R-60 thermal rating.

#### 4. Raised-heel Roof Truss:



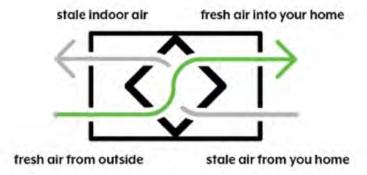
The rim joist can be a significant source of air-leakage. Drafts can be pulled through the house into walls and holes created by plumbing pipes and electrical work. Garbett Homes uses closed-cell spray foam to air-seal and insulate the rim joist. Unlike conventional batt insulation, the spray foam leaves no gaps or voids and won't sag while performing as a supertight air barrier and insulator.

#### 5. LOW E Windows



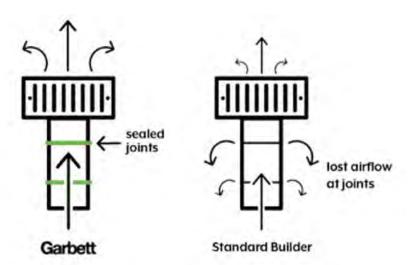
Each Garbett home comes with Low-Emittance (low-E) windows. Low-E windows allow visible light to enter our homes while restricting summer heat from entering. During the winter months, the windows keep cold air outside while reflecting the heat produced from the home back into the home, keeping your home cooler in the summer and warmer in the winter.

#### 6. Advanced ERV System



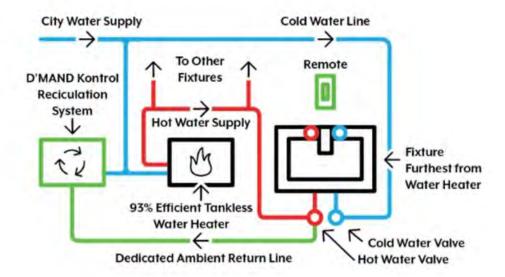
Each home is equipped with an advanced air exchanger that completely replaces all the indoor air with filtered outside air, helping to keep clean indoor air quality levels. The system uses advanced Energy Recovery Ventilation (ERV) technology to precondition the incoming outdoor air. The system precools the air in the warmer seasons and preheats the air in the cooler seasons. The benefit of using energy recovery technology is the ability to improve indoor air quality and reduce the energy used by the heating and cooling equipment. This technology has demonstrated an effective means of reducing energy costs by reducing the home's heating and cooling loads.

#### 7. Air Duct Sealing



All air ducts are sealed with an advanced sealant to provide a flexible air-tight seal. Advanced sealants can bend and flow while maintaining a durable bond.

#### 8. On Demand Hot Water Heater



The D'MAND Kontrols® Recirculation System works by circulating ambient (cool) temperature water that normally goes down the drain back to the hot water heater, through the cold water line. At the same time, it fills the hot water line with hot water from the water heater. When the hot water reaches the faucet, the valve closes and the pump turns off automatically providing hot water efficiently and on demand.

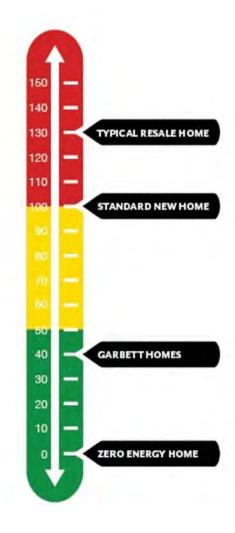
#### 9. Programmable Thermostat

A programmable thermostat allows the adjustment of the temperature of the home to be as efficient as possible. All Garbett homes are equipped with programmable thermostats as a standard feature.

#### 9. Individually tested and rated homes

Through the use of these techniques the homes built at Brix on Tenth will have a superior HERS index score. The HERS score is how we measure the energy efficiency of our homes. Each home is tested and verified by an independent 3<sup>rd</sup> party rater.

This ensures that we hold ourselves to the accountable to the claims that we are making. We anticipate the homes at Brix on Tenth will have scores in the 40's-50's. A score of 0 means you are a zero energy home and are producing as much energy as you are consuming. A typical home built to code will score in the 80-100 range. When compared to a similar home of similar size, ours would be almost twice as efficient.



#### **B. Master Plan Compatibility**

The Westside Master Plan composed in 2014 provides extensive background on the state of the neighborhood, which like the rest of the Salt Lake Valley has seen dramatic growth over the last 50 years. The Westside has traditionally grown faster than most parts of the city as the neighborhood has provided affordable family housing options. To address growth and housing challenges, the City has developed a comprehensive set of goals and policies outlined in various planning documents, including the Westside Master Plan (Adopted 2014), Housing SLC (2023-2027), Growing SLC: A Five-Year Housing Plan (2018-2022), and Plan Salt Lake (Adopted 2015).

The Westside Master Plan focuses on promoting reinvestment and redevelopment in the Westside community while preserving the character of existing stable neighborhoods. The plan also identifies specific areas, such as the edges of neighborhoods and intersections, for potential growth opportunities.

Growing SLC aims to address the city's affordability needs by reviewing and modifying land-use and zoning regulations. It emphasizes the importance of securing and preserving long-term affordability, increasing the number of housing units on specific parcels, and implementing life cycle housing principles. In-fill ordinances and flexible zoning tools are encouraged, especially along significant transportation routes.

Plan Salt Lake promotes high-density residential development in areas served by transit, with a focus on locating new developments in areas with existing infrastructure and amenities. The plan encourages infill and redevelopment of underutilized land, moderate density increases within existing neighborhoods, and an overall increase in the city's population. Access to opportunities for a healthy lifestyle and support for housing choices, including affordability and accessibility, are key components.

Housing SLC emphasizes the importance of neighborhoods with access to jobs, transit, greenspace, and basic amenities. It acknowledges the challenges of air quality and advocates for reforming city practices to create a responsive, affordable, and high-opportunity housing market. Collaboration with a network of partners, including market-rate developers, is considered crucial in addressing housing instability.

The proposed Brix development aligns with the Westside Master Plan and other city documents. It aims to create an attractive low-density multi-family development, activating the area and promoting further investment in underused parcels. The project supports infill, utilizing land more effectively through additional density, and is expected to breathe life into existing infrastructure and amenities.

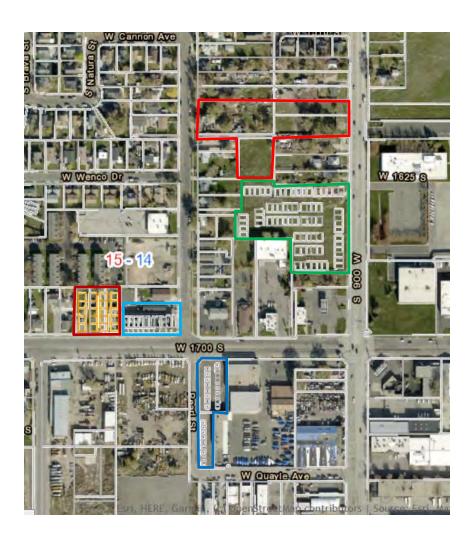
In terms of transportation and mobility initiatives, both the Westside Master Plan and Growing SLC stress the importance of well-connected transportation modes within and between the Westside and the rest of the city. Plan Salt Lake emphasizes creating a system of connections to facilitate easy access to employment, services, amenities, and housing while reducing automobile dependency and minimizing emissions.

The proposed projects contribute to these initiatives by bringing people into well-connected areas, reducing reliance on automobiles, and supporting the broader goal of reducing pollution in Utah. With the state's air quality challenges, the emphasis on walkable/bikeable streets, neighborhood centers, and placing people within a ¼ mile radius of transit aligns with the broader strategy to combat pollution caused by transportation, which accounts for a significant portion of wintertime pollution in the state.

#### C. Design and Compatibility

#### 1. Scale, Mass and Intensity

The Brix project is compatible with the neighborhood. Already there are a number of existing townhome projects that are either recently built, or currently under construction. These projects are similar in density, scale and mass to what is being proposed for Brix. The proposed scale mass and intensity of the Brix project will be compatible with the neighborhood especially considering the below highlighted projects that are already approved.



#### 2. Building orientation and materials compatibility

The Brix project will feature an attractive mix of hardy board siding and stucco. These buildings have been designed in partnership with the award winning KTGY architecture firm to implement the latest in contemporary design and architecture trends. These buildings are similar in contemporary feel to the other townhome projects approved, without being so identical as to become monotonous.



#### 3. Building setbacks

A. The project complies with, or exceeds all setbacks that are required in the RMF-30 zone. The 10' border along the north property line is the smallest setback of the project, the other setbacks are 17' and 30', thus creating additional relief from the density that will improve the feel of the project.

- B. Provide sufficient space for private amenities: Each home will feature a private patio for the residents, this will allow greater interaction with the street a the ground level, better integrating the project into the community.
- C. Open space. The 13,000 square foot linear park provides a great opportunity for shared open space. The generous setback along this portion of the project of over 17' will also create a nicer perimeter that will help to minimize negative affects on the surrounding properties.
- D. Sight lines to the street will be created by the interior drive way that will allow access to the homes and the large linear park. Both these will provide an opportunity for newly created sight lines that will enhance the community.
- E. Buildings have been placed with maintenance in mind. With the setbacks and spacing between units, service for maintenance and repairs will be sufficient.

#### 4. Ground floor transparency, access and architectural detailing

All units offer ground floor transparency. Because of the location of the stairs in the two bedroom unit there is less opportunity for transparency in that home. To help alleviate this issue we will be adding 3' privacy fencing to all units. This creates a very desirable amenity for home owners and helps to break up the visual from the pedestrian view. These fences will add need interest.





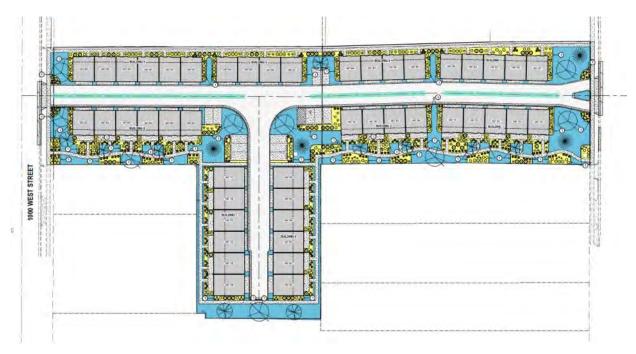
- 5. Lighting—Back and front lighting will be illuminated by timer cell outdoor lighting on each of the units. This will attractively illuminate the units while keeping impacts to a minimum on neighboring homes.
- 6. Trash—each home will have it's own garbage and recycling cans that will be housed within the garage.
- 7. The guest parking is located within the interior of the project providing easy access to each of the units and removing it from the street face.

#### D. Landscaping

1. Where possible mature trees along the linear park area will be preserved. It is difficult to predict how construction will unfold, but the highlighted tree, presents in our opinion, the best opportunity for saving.



- 2. Around the perimeter of the project and the linear park, all landscaping will be installed by the developer and maintained by the HOA. The minimal landscaping that is there currently will be replaced per the proposed landscaping plan.
- 3. The landscape plan offers a buffer to the neighboring homes. Most significantly the 30' setback through the middle of the community offers a buffer that is rarely feasible in this type of a development. It will significantly minimize negative impacts by offering a brand new amenity fort he entire community.
- 4. We feel strongly that this landscape plan is not only appropriate, but beneficial to the community. Providing increased open space and attractive elements.



#### E. Mobility

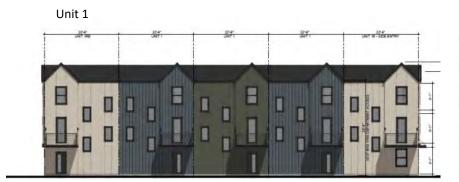
- 1. it is not anticipated that drive access to local streets will negatively impact the safety, purpose and character of the street. Each access point to the community is replacing a current access. We are adding no additional access points.
- 2. This site design offers better circulation of a range of transportation options. By creating a mid block access from 900 to 1000 west, the block becomes more pedestrian friendly. Making access to amenities and businesses easier. This new midblock access makes bus stops and bike paths more accessible, it gives a significant shortcut for pedestrians without introducing new dangers.
- 3. The midblock access creates a new access point for pedestrians and cyclists that can offer an attractive alternative to a busy road.
- 4. The fire department has reviewed the proposed plan and finds it acceptable. They have been very helpful in making sure we comply with all their regulations and requirements.
- **F. Existing site features.** The main feature that significantly contributes to the character of the neighborhood is the proposed linear park. It will offer new open space to the community that was not previously there, or able to be used.
- **G. Utilities**—It is not anticipated that the development utility requirements will have a negative impact on the neighborhood or environment.

#### **Exceptions sought.**

- 1. **Exception of the maximum height of 30' to allow for 34'**. This exception will allow us to deliver a home that is unique and different from the flat roof style townhome projects that are being built, or have recently been built in the neighbor hood, while minimizing the impact on neighbors
- 2. Exception to allow the front deck to encroach on the 10' setback along the north property line. The deck will extrude out 4'6" from the face of the home. We have constantly received positive feedback on decks on the main level of our homes. They are a critical amenity that are appreciated by a majority of buyers. Allowing this exception will help us deliver a more desirable home for future residents.



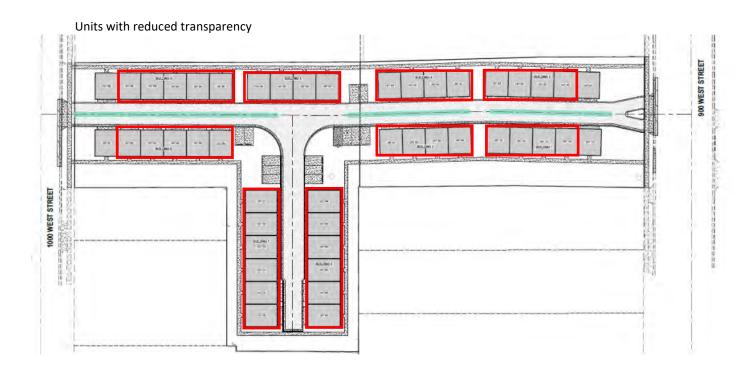
3. Exception to transparency requirements for homes not fronting public streets. As part of the Zero Energy Ready program it requires that the transparency of the building not exceed, 15% of the finished square footage for each floor. Windows do not insulate the home as effectively as solid materials and insulation. In order achieve the Zero energy ready certification we are asking for an exception to the transparency rules on units that do not front the public street.

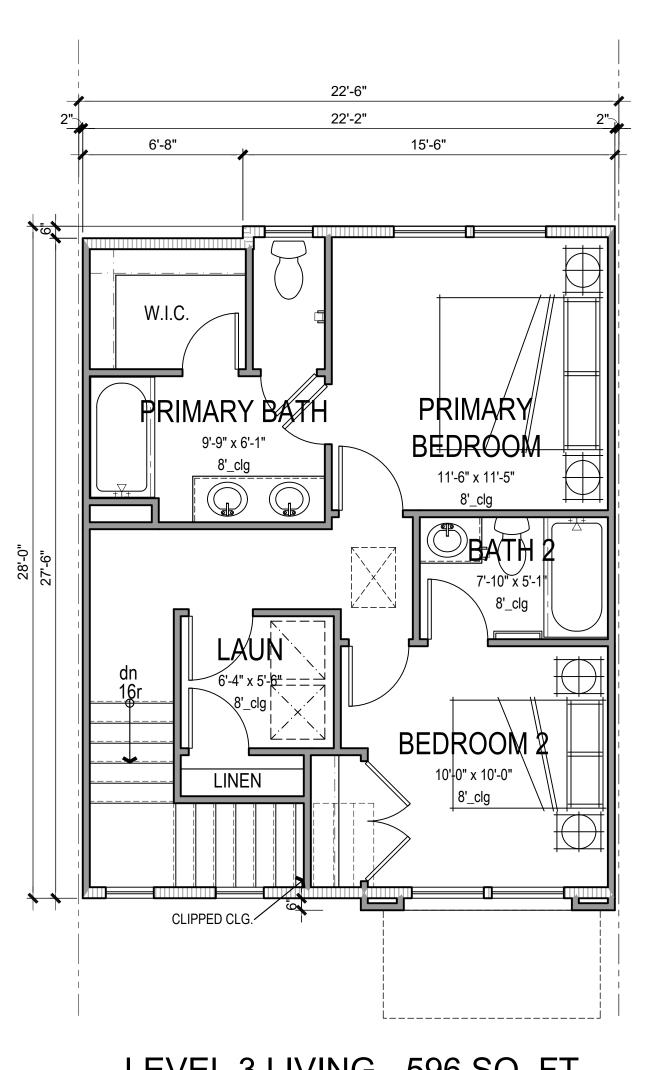


UNIT 1 - INTERIOR	FLOOR AREA	PROVIDED	96
FIRST FLOOR	117 SF	6 SF	5,1%
SECOND FLOOR	622 SF	50 SF	B 1%
THIRD FLOOR	596 SF	65 SF	10.9%
UNIT 1-END	FLOOR AREA	PROVIDED	90
FIRST FLOOR	118 SF	6 SF	5 1%
SECOND FLOOR	627 SF	74 SF	11,8%
THIRD FLOOR	601 SF	89 SF	14.8%
UNIT 1 - END SIDE ENTRY	FLOOR AREA	PROVIDED	96
FIRST FLOOR	118 SF	21 SF	17.8%
SECOND FLOOR	627 SF	95 SF	15.29
THIRD FLOOR	601 SF	110.SF	18.3%



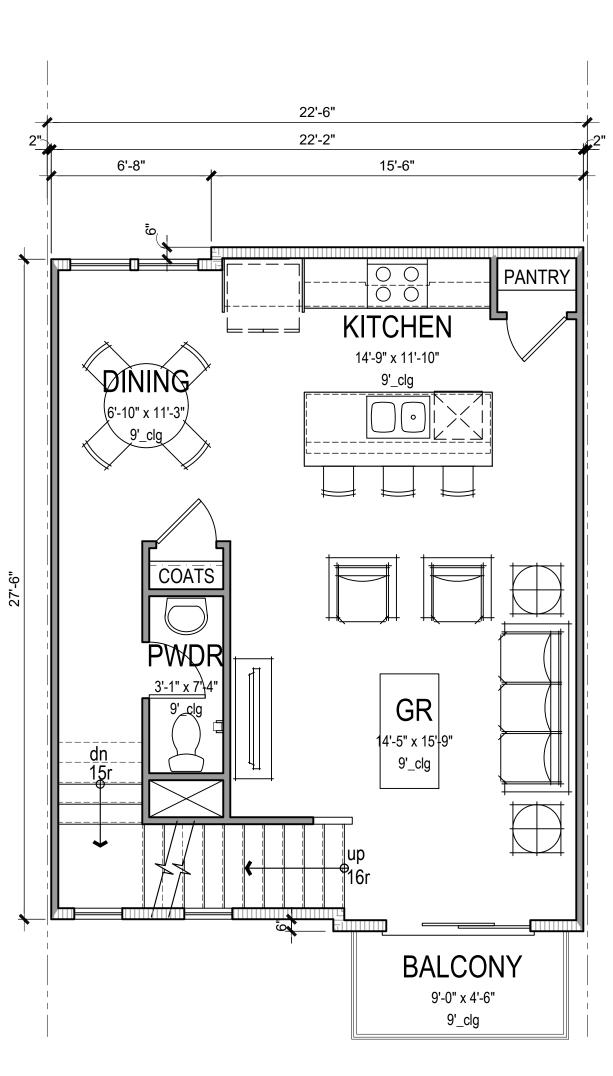
ENERGY - TRANSPARENCY				
UNIT 2 - INTERIOR	FLOOR AREA	PROVIDED	%	
FIRST FLOOR	256 SF	21 SF	8.2%	
SECOND FLOOR	736 SF	59 SF	8.1%	
THIRD FLOOR	728 SF	81 SF	11.2%	
UNIT 2 - END	FLOOR AREA	PROVIDED	9%	
FIRST FLOOR	258 SF	31 SF	12.0%	
SECOND FLOOR	747 SF	79 SF	10.6%	
THIRD FLOOR	739 SF	101 SF	13.7%	



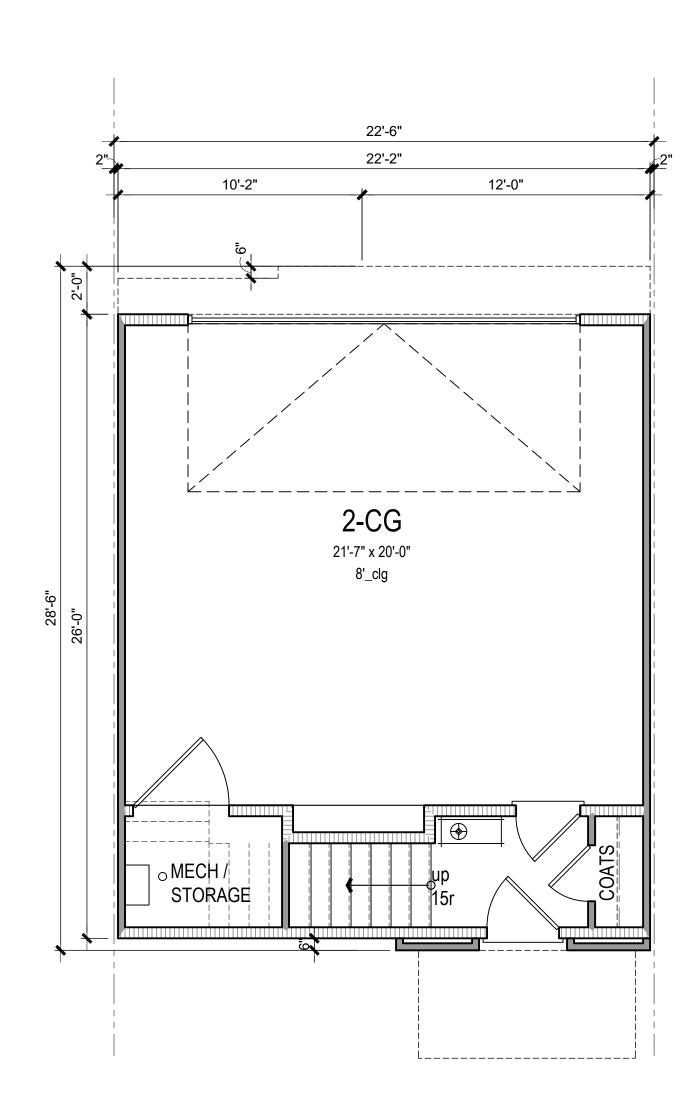


LEVEL 3 LIVING - 596 SQ. FT.

UNIT 1 FLOOR PLAN - LEVEL 3 | SCALE: 1/4"=1'-0" 3



LEVEL 2 LIVING - 622 SQ. FT. LEVEL 2 OUTDOOR - 41 SQ. FT.



LEVEL 1 LIVING - 117 SQ. FT. GARAGE - 460 SQ. FT.

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KTGY Project No: 20231077

Project Contact: Madelyn Kodros mkodros@ktgy.com

Principal: William Ramsey

Project Designer: Morgan Hopley

# Developer



**GARBETT HOMES** 273 N. EAST CAPITOL STREET.

SALT LAKE CITY, UTAH 84103 801-456-2430 PHONE NO. FAX NO.

ON 10TH BRIX

0.	Date	Description
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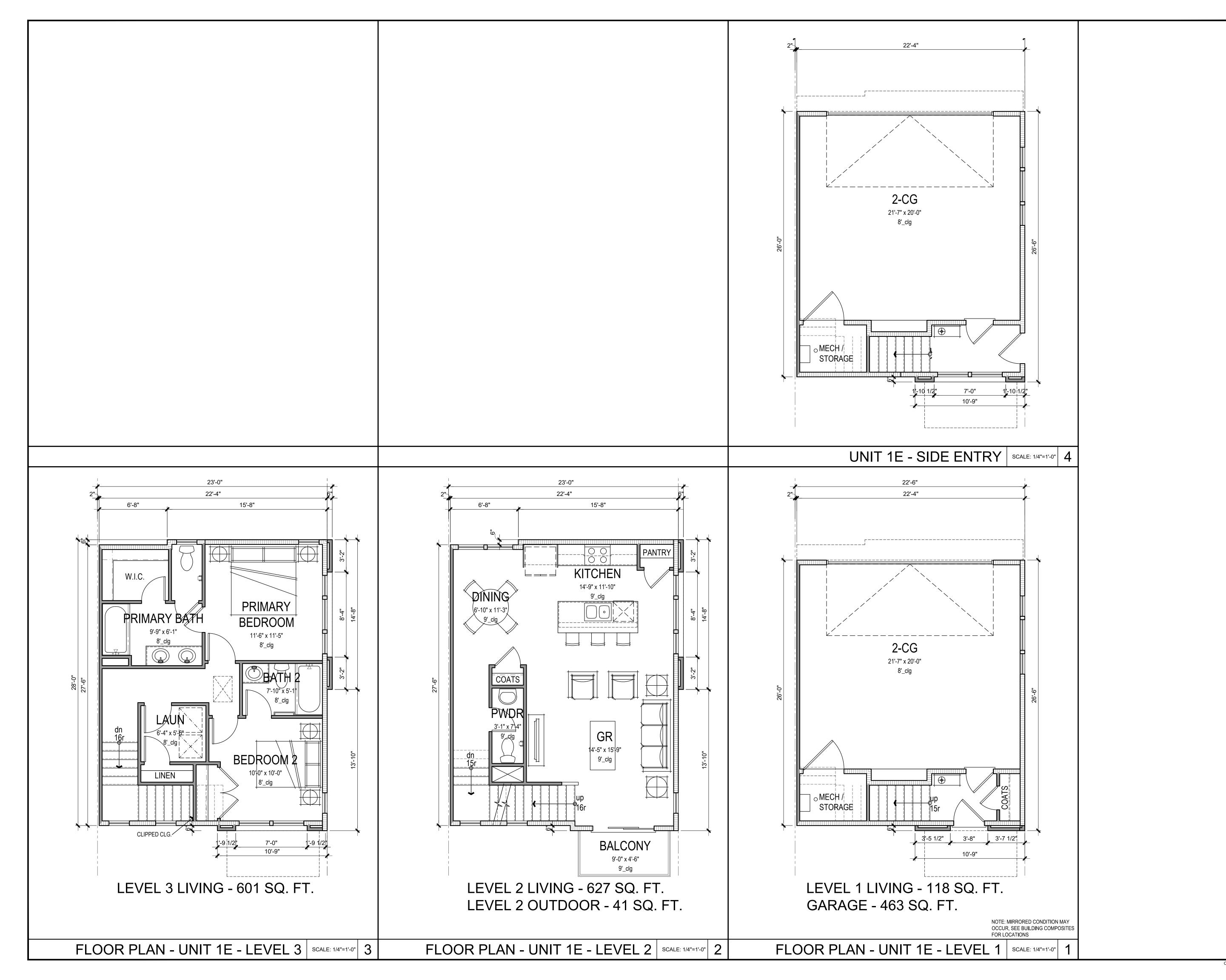
November 13, 2024

UNIT PLAN 1 -INTERIOR UNITS

A1-00

UNIT 1 FLOOR PLAN - LEVEL 2 | SCALE: 1/4"=1'-0" 2

UNIT 1 FLOOR PLAN - LEVEL 1 SCALE: 1/4"=1'-0" 1





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BRIX ON 10TH

No. Date Description

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

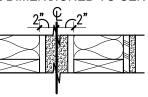
November 13, 2024

UNIT PLAN 1 - END UNITS

# NOTED OTHERWISE; FOS - FACE OF STUD CL - CENTERLINE NOTED OTHERWISE. OF AIR GAP. CENTERLINE OF WALL OFFSET 2" FROM EACH INTERIOR FACE OF STUD. FOF - FACE OF FINISH CL - CENTERLINE REF: A0-01 FOR ABBREVIATIONS DIMENSION FROM INTERIOR DOOR JAMB TO ADJACENT WALL IS 4" UNLESS DIMENSIONED OTHERWISE. DIMENSIONS, WALL TYPES, ETC. OF SUBFLOOR U.N.O. 13. R = REVERSED UNIT PLAN. \_\_\_\_\_\_ NOT USED | SCALE: 1/8"=1'-0" 2 22'-6" UNIT 1RE 22'-6" UNIT 1E - RE: A1-01 \_\_\_\_\_\_

# PLAN NOTES

- ALL EXTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS
- ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS
- ALL 2-HR RATED UNIT SEPARATION WALLS ARE DIMENSIONED TO CENTERLINE



4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE;

- REF: A0-02 & A0-03 FOR GENERAL NOTES APPLICABLE TO ENTIRE PROJECT.
- REF: A-D00 & A-D01 SHEETS FOR RATED ASSEMBLY DETAILS.
- THE COMPOSITE BUILDING PLAN IS PROVIDED FOR PLAN TO PLAN RELATIONSHIPS. REF: A5 SERIES UNIT PLANS FOR DETAILED INFO INCLUDING
- 10. SHEAR PANELS MAY OCCUR AND REQUIRE WALL FLUSH OUT ADJUSTMENTS. REFER TO STRUCTURAL FOR SHEAR PANEL LOCATIONS.
- 11. FLOOR ELEVATIONS INDICATED ON PLANS ARE TO TOP OF CONCRETE OR TOP
- 12. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 5% (1:20). THE CROSS SLOPE SHALL NOT BE STEEPER THAN 2% (1:50).

# PLAN LEGEND

FIRE SEPARATION LINE / CENTERLINE OF 2-HR RATED UNIT SEPARATION WALL 6" EXTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

> 4" INTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F.

2-HR RATED UNIT SEPARATION WALL; REF: A-D00 & A-D01 SHEETS

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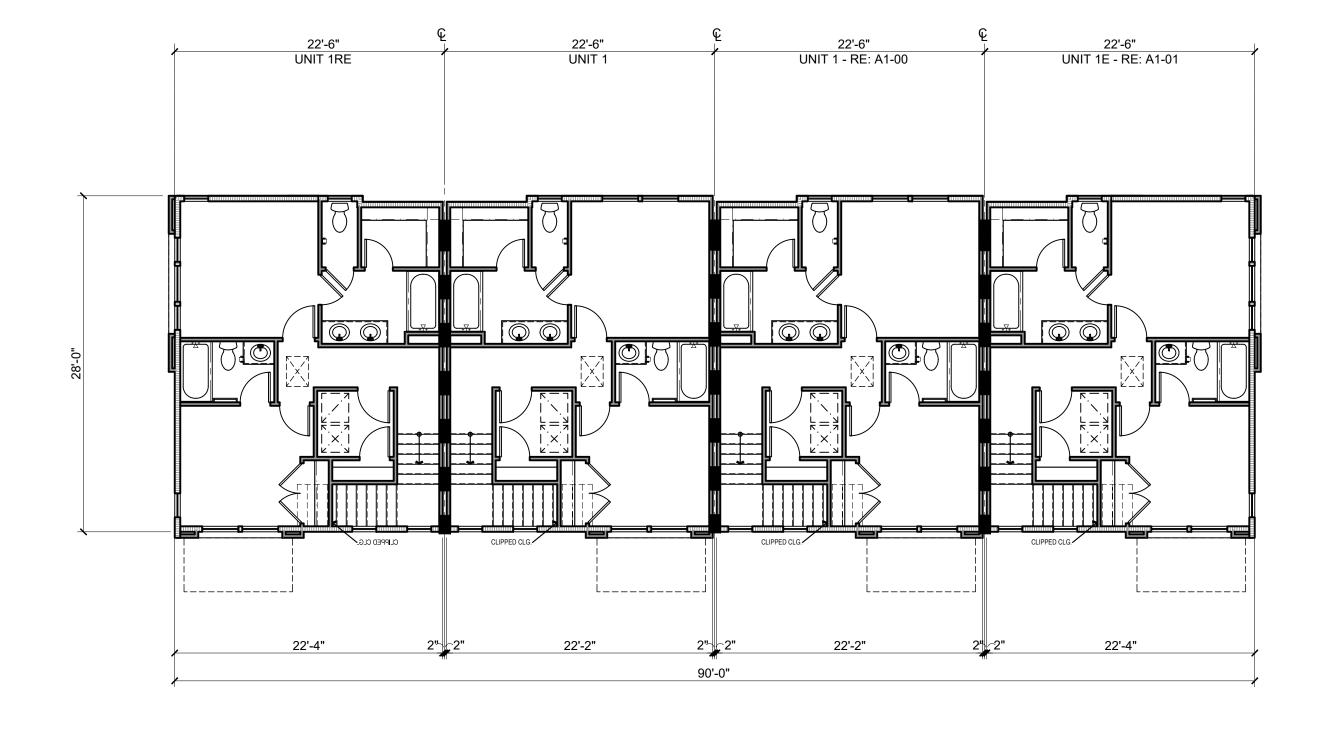
10TH NO O BRIX

No.	Date	Description

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November 13, 2024

4-PLEX BUILDING FIRST FLOOR PLANS -UNIT 1



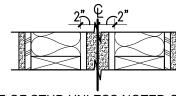
# BUILDING THIRD FLOOR PLAN | SCALE: 1/8"=1'-0" 2



# PLAN NOTES

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- CL CENTERLINE
- ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL 2-HR RATED UNIT SEPARATION WALLS ARE DIMENSIONED TO CENTERLINE OF AIR GAP.

 CENTERLINE OF WALL OFFSET 2" FROM EACH INTERIOR FACE OF STUD.



- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE; FOF - FACE OF FINISH
- CL CENTERLINE REF: A0-01 FOR ABBREVIATIONS
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- RELATIONSHIPS. REF: A5 SERIES UNIT PLANS FOR DETAILED INFO INCLUDING DIMENSIONS, WALL TYPES, ETC.

DIMENSION FROM INTERIOR DOOR JAMB TO ADJACENT WALL IS 4" UNLESS

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# PLAN LEGEND

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> 4" INTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F.

2-HR RATED UNIT SEPARATION WALL;

REF: A-D00 & A-D01 SHEETS

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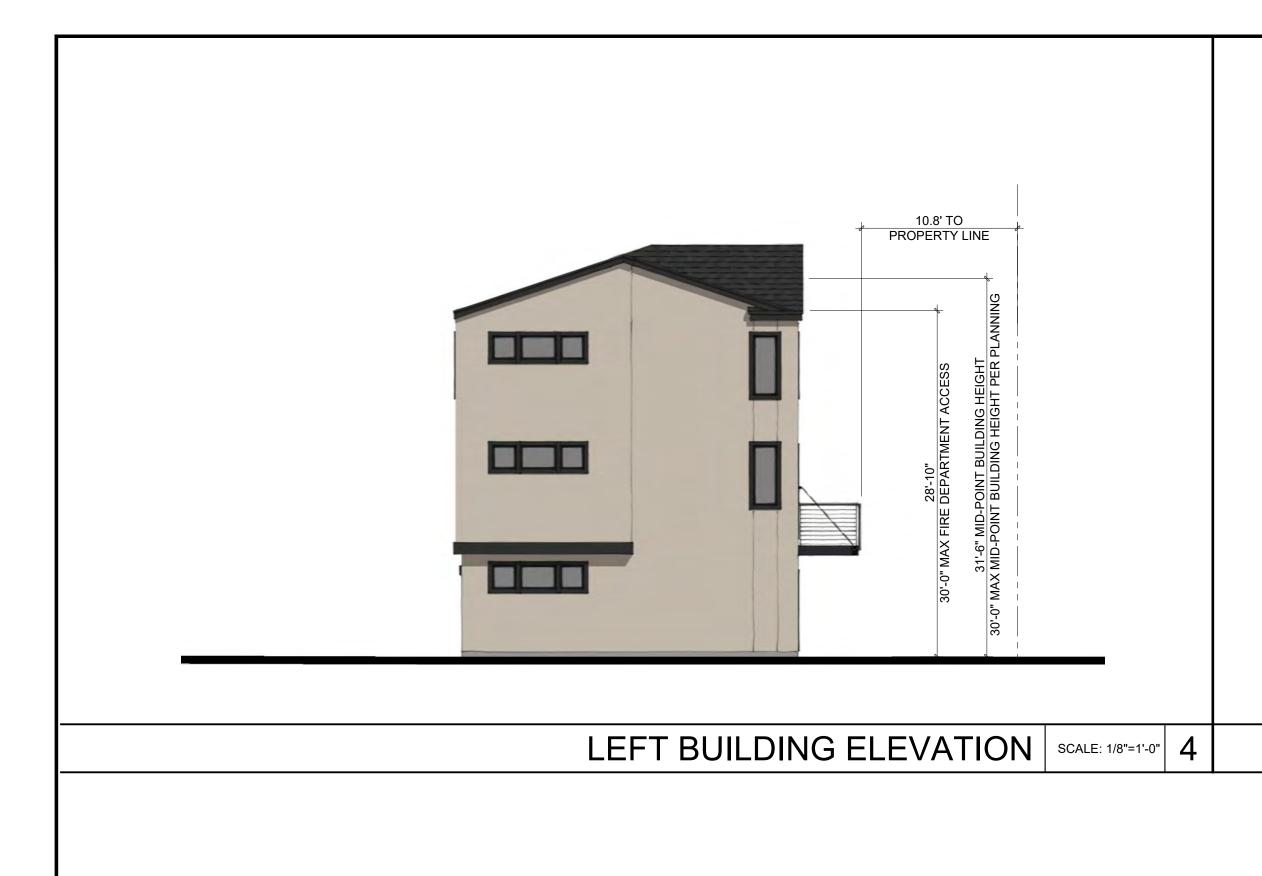
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Vo.	Date	Description

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November 13, 2024

4-PLEX BUILDING SECOND AND THIRD FLOOR PLANS - UNIT 1



30-0" MAX FIRE DEPARTMENT ACCESS
30-0" MAX MID-POINT BUILDING HEIGHT
300-0" MAX MID-P

RIGHT BUILDING ELEVATION | SCALE: 1/8"=1'-0" | 3

REAR BUILDING ELEVATION | SCALE: 1/8"=1'-0" 2

30-0" MAX FIRE DEPARTMENT ACCESS
31-6" MID-POINT BUILDING HEIGHT
30-0" MAX MID-POINT BUILDING HEIGHT
31-6" OVERALL BUILDING HEIGHT

22-6" UNIT 1RE UNIT 1 U

ENERGY - TRANSPARENCY				
FLOOR AREA	PROVIDED	<u>%</u>		
117 SF	6 SF	5.1%		
622 SF	50 SF	8.1%		
596 SF	65 SF	10.9%		
FLOOR AREA	PROVIDED	<u>%</u>		
118 SF	6 SF	5.1%		
627 SF	74 SF	11.8%		
601 SF	89 SF	14.8%		
•	FLOOR AREA  117 SF 622 SF 596 SF  FLOOR AREA 118 SF 627 SF	FLOOR AREA         PROVIDED           117 SF         6 SF           622 SF         50 SF           596 SF         65 SF           FLOOR AREA         PROVIDED           118 SF         6 SF           627 SF         74 SF		

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Suite 500 Denver, CO 80205 ktgy.com 303.825.6400

KTGY Project No: 20231077

Project Contact: Madelyn Kodros Email: mkodros@ktgy.com

Principal: William Ramsey
Project Designer: Morgan Hopley

Developer



GARBETT HOMES 273 N. EAST CAPITOL STREET.

SALT LAKE CITY, UTAH 84103 PHONE NO. 801-456-2430 FAX NO. --

BRIX ON 10TH
SALT LAKE CITY, UTAH

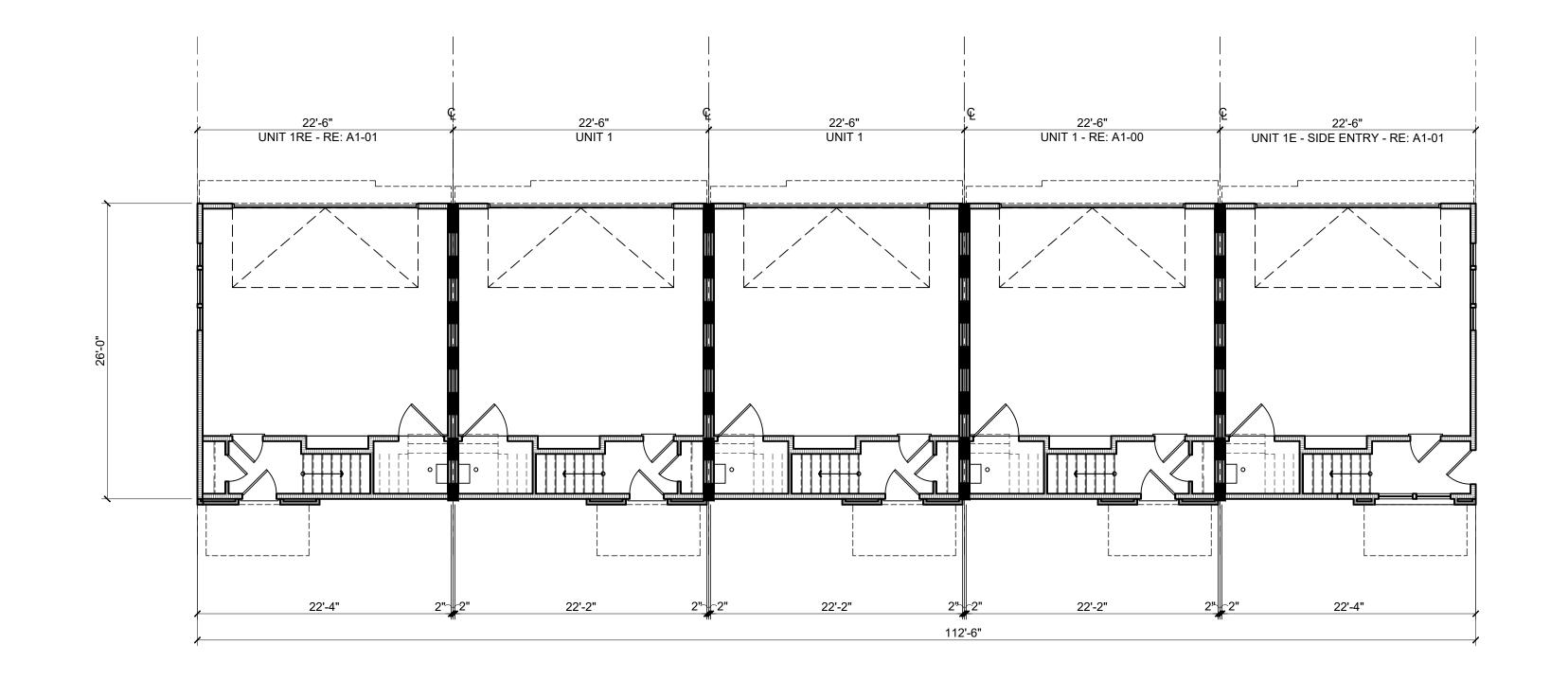
No.	Date	Description
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It is the clients	responsibility prior to o	r during construction to notify the architect in writin
of any perceiv thoroughly kno reasonably be shall be receiv	ed errors or omissions i owledgeable with the b aware. Written instruct red from the architect pr The client will be re	in the plans and specifications of which a contractor uilding codes and methods of construction shoult ions addressing such perceived errors or omission ior to the client or clients subcontractors proceeding sponsible for any defects in construction if these ures are not followed.

November 13, 2024

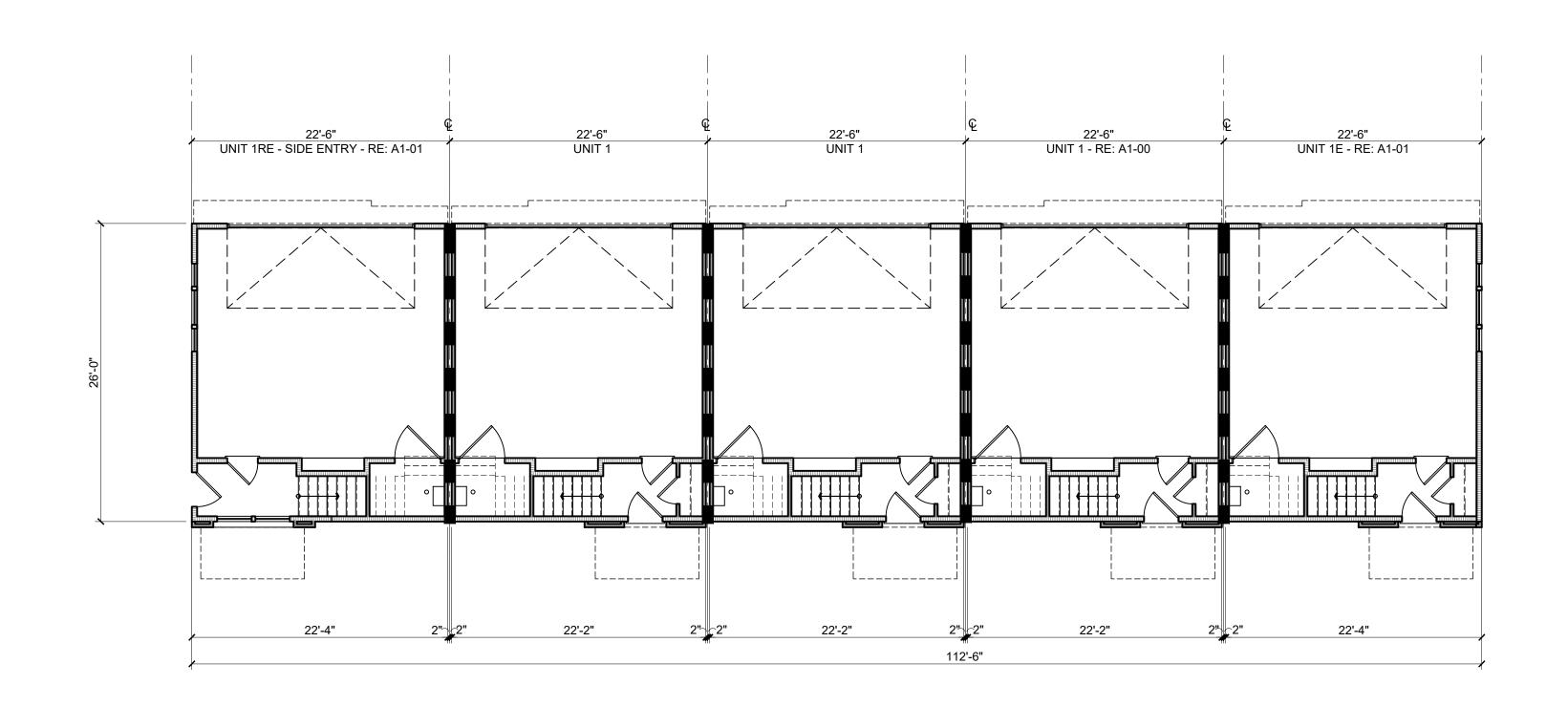
4-PLEX BUILDING COLORED ELEVATIONS -UNIT 1

A1-42

FRONT BUILDING ELEVATION | SCALE: 1/8"=1'-0" | 1



# BUILDING FIRST FLOOR PLAN - SIDE ENTRY - RIGHT | SCALE: 1/8"=1'-0" 2



# PLAN NOTES

- ALL EXTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE;
- FOS FACE OF STUD CL - CENTERLINE
- ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL 2-HR RATED UNIT SEPARATION WALLS ARE DIMENSIONED TO CENTERLINE OF AIR GAP.

 CENTERLINE OF WALL OFFSET 2" FROM EACH INTERIOR FACE OF STUD.

- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE;
  - FOF FACE OF FINISH
- CL CENTERLINE
- REF: A0-01 FOR ABBREVIATIONS REF: A0-02 & A0-03 FOR GENERAL NOTES APPLICABLE TO ENTIRE PROJECT.
- REF: A-D00 & A-D01 SHEETS FOR RATED ASSEMBLY DETAILS.
- DIMENSION FROM INTERIOR DOOR JAMB TO ADJACENT WALL IS 4" UNLESS DIMENSIONED OTHERWISE.
- THE COMPOSITE BUILDING PLAN IS PROVIDED FOR PLAN TO PLAN RELATIONSHIPS. REF: A5 SERIES UNIT PLANS FOR DETAILED INFO INCLUDING DIMENSIONS, WALL TYPES, ETC.
- 10. SHEAR PANELS MAY OCCUR AND REQUIRE WALL FLUSH OUT ADJUSTMENTS. REFER TO STRUCTURAL FOR SHEAR PANEL LOCATIONS.
- 11. FLOOR ELEVATIONS INDICATED ON PLANS ARE TO TOP OF CONCRETE OR TOP OF SUBFLOOR U.N.O.
- 12. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 5% (1:20). THE CROSS SLOPE SHALL NOT BE STEEPER THAN 2% (1:50).
- 13. R = REVERSED UNIT PLAN.

# PLAN LEGEND

FIRE SEPARATION LINE / CENTERLINE OF 2-HR \_\_\_\_\_\_ RATED UNIT SEPARATION WALL 6" EXTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

> 4" INTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

REF: A-D00 & A-D01 SHEETS

SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F. 2-HR RATED UNIT SEPARATION WALL;



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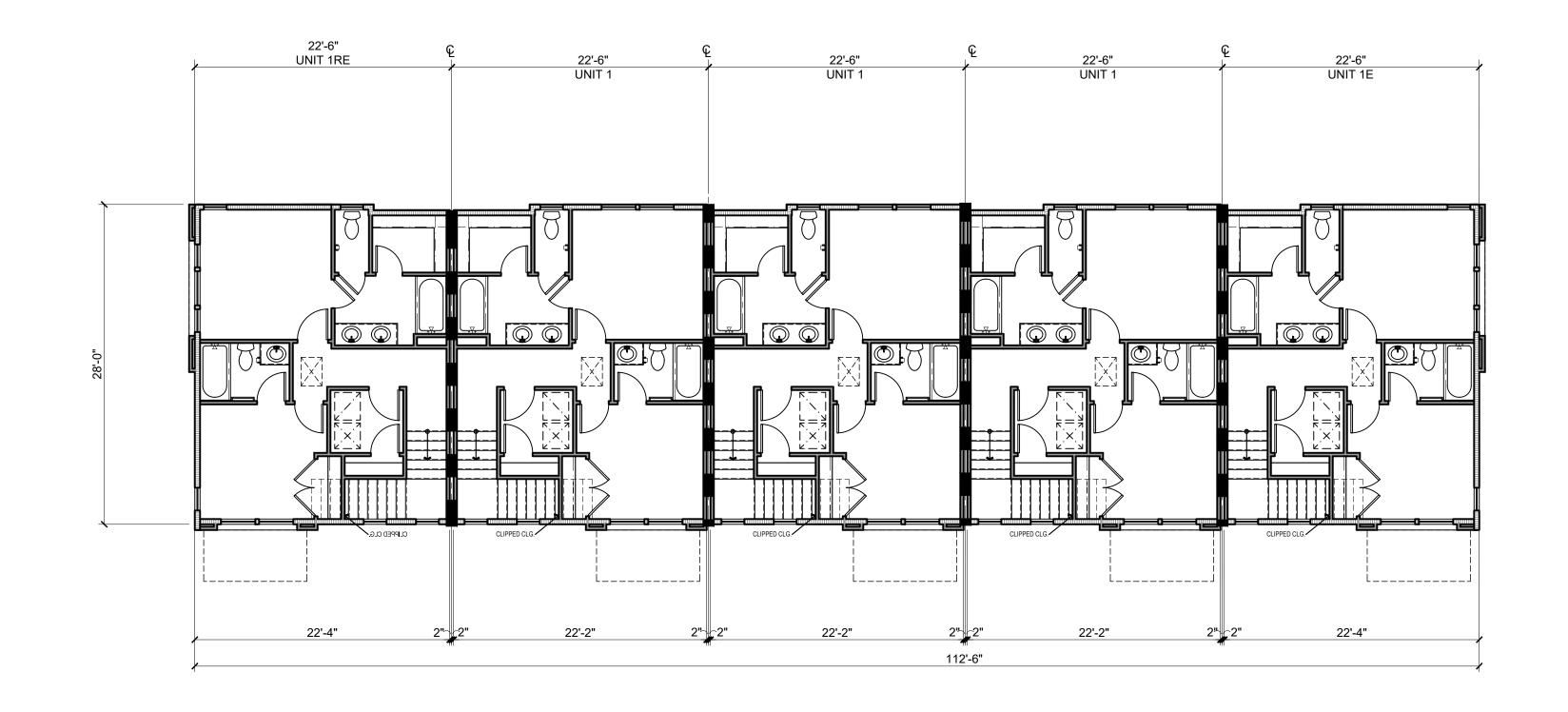
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No.	Date	Description

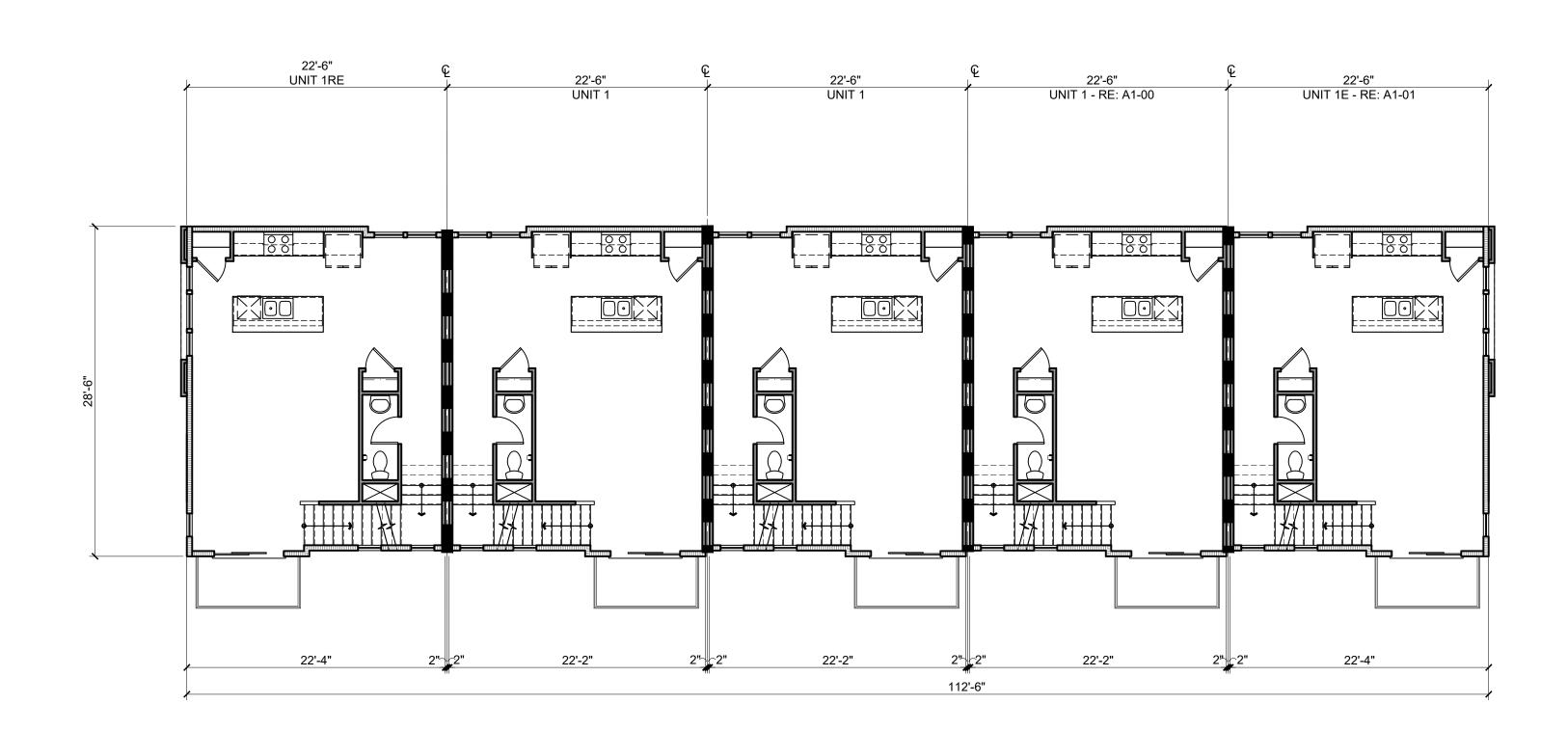
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November 13, 2024

5-PLEX BUILDING FIRST FLOOR PLANS -UNIT 1



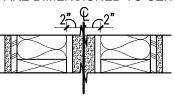
# BUILDING THIRD FLOOR PLAN | SCALE: 1/8"=1'-0" 2



# PLAN NOTES

- ALL EXTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE; FOS - FACE OF STUD
- CL CENTERLINE
- ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL 2-HR RATED UNIT SEPARATION WALLS ARE DIMENSIONED TO CENTERLINE OF AIR GAP.

 CENTERLINE OF WALL OFFSET 2" FROM EACH INTERIOR FACE OF STUD.



4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE;

FOF - FACE OF FINISH

- CL CENTERLINE
- REF: A0-01 FOR ABBREVIATIONS
- REF: A0-02 & A0-03 FOR GENERAL NOTES APPLICABLE TO ENTIRE PROJECT.
- REF: A-D00 & A-D01 SHEETS FOR RATED ASSEMBLY DETAILS.
- DIMENSIONED OTHERWISE. THE COMPOSITE BUILDING PLAN IS PROVIDED FOR PLAN TO PLAN

DIMENSION FROM INTERIOR DOOR JAMB TO ADJACENT WALL IS 4" UNLESS

- RELATIONSHIPS. REF: A5 SERIES UNIT PLANS FOR DETAILED INFO INCLUDING DIMENSIONS, WALL TYPES, ETC.
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- 13. R = REVERSED UNIT PLAN.

# PLAN LEGEND

FIRE SEPARATION LINE / CENTERLINE OF 2-HR \_\_\_\_\_\_ RATED UNIT SEPARATION WALL 6" EXTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

4" INTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F. 2-HR RATED UNIT SEPARATION WALL; REF: A-D00 & A-D01 SHEETS

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KTGY Project No: 20231077

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No.	Date	Description
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November 13, 2024

5-PLEX BUILDING SECOND AND THIRD FLOOR PLANS - UNIT 1



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KTGY Project No: 20231077

Project Contact: Madelyn Kodros mkodros@ktgy.com

William Ramsey Project Designer: Morgan Hopley

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> 10TH N O BRIX

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November 13, 2024

5-PLEX BUILDING COLORED ELEVATIONS -UNIT 1

A1-52

PROVIDED %

PROVIDED %

6 SF 5.1%

74 SF 11.8%

89 SF 14.8%

110 SF 18.3%

50 SF

65 SF

<u>PROVIDED</u>

21 SF

95 SF

6 SF 5.1%

8.1%

10.9%

17.8%

15.2%

FLOOR AREA

117 SF

622 SF

**FLOOR AREA** 

118 SF

627 SF

601 SF

FLOOR AREA

118 SF



22-65 UNIT 1 UNIT 1 E SIDE ENTRY

22-65 UNIT 1 UNI

ENERGY -	TRANSPA	ARENC'	Y
UNIT 1 - INTERIOR	FLOOR AREA	PROVIDED	<u>%</u>
FIRST FLOOR	117 SF	6 SF	5.1%
SECOND FLOOR	622 SF	50 SF	8.1%
THIRD FLOOR	596 SF	65 SF	10.9%
UNIT 1 - END	FLOOR AREA	PROVIDED	<u>%</u>
FIRST FLOOR	118 SF	6 SF	5.1%
SECOND FLOOR	627 SF	74 SF	11.8%
THIRD FLOOR	601 SF	89 SF	14.8%
UNIT 1 - END SIDE ENTRY	FLOOR AREA	PROVIDED	<u>%</u>
FIRST FLOOR	118 SF	21 SF	17.8%
SECOND FLOOR	627 SF	95 SF	15.2%
THIRD FLOOR	601 SF	110 SF	18.3%

KTSW

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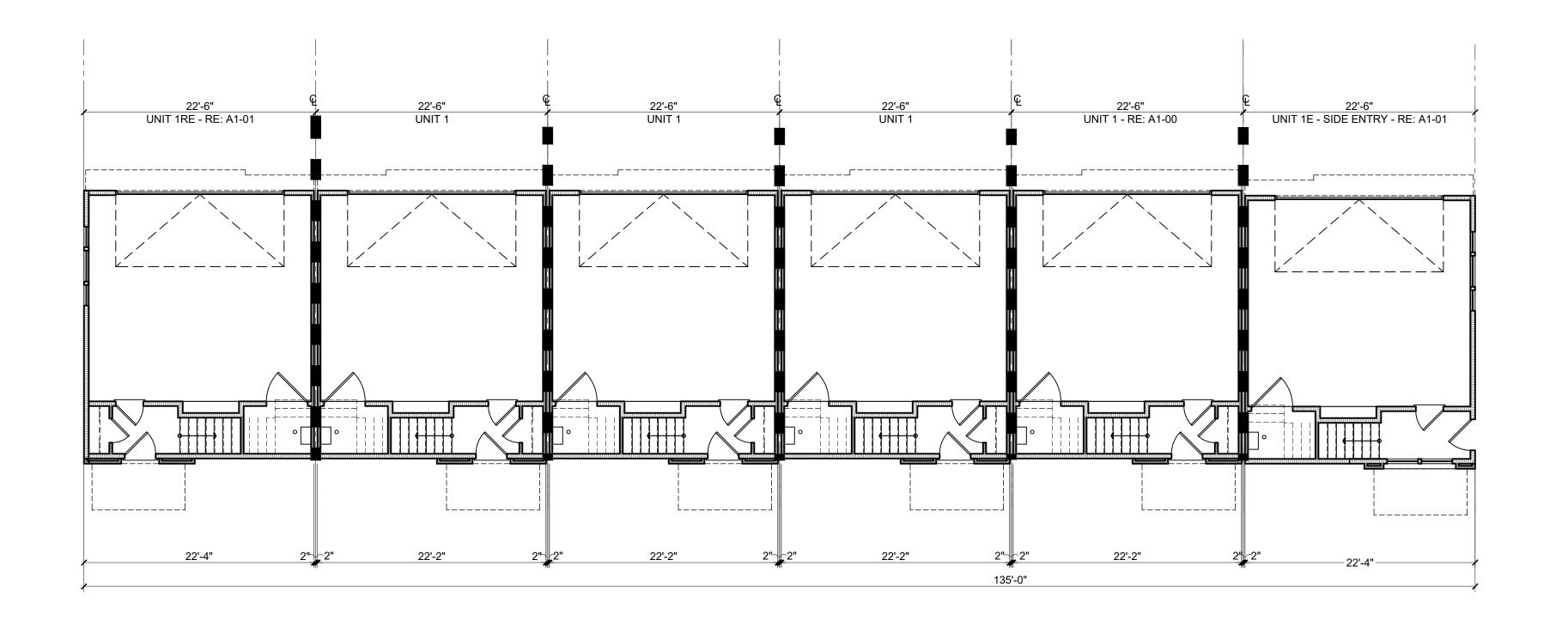
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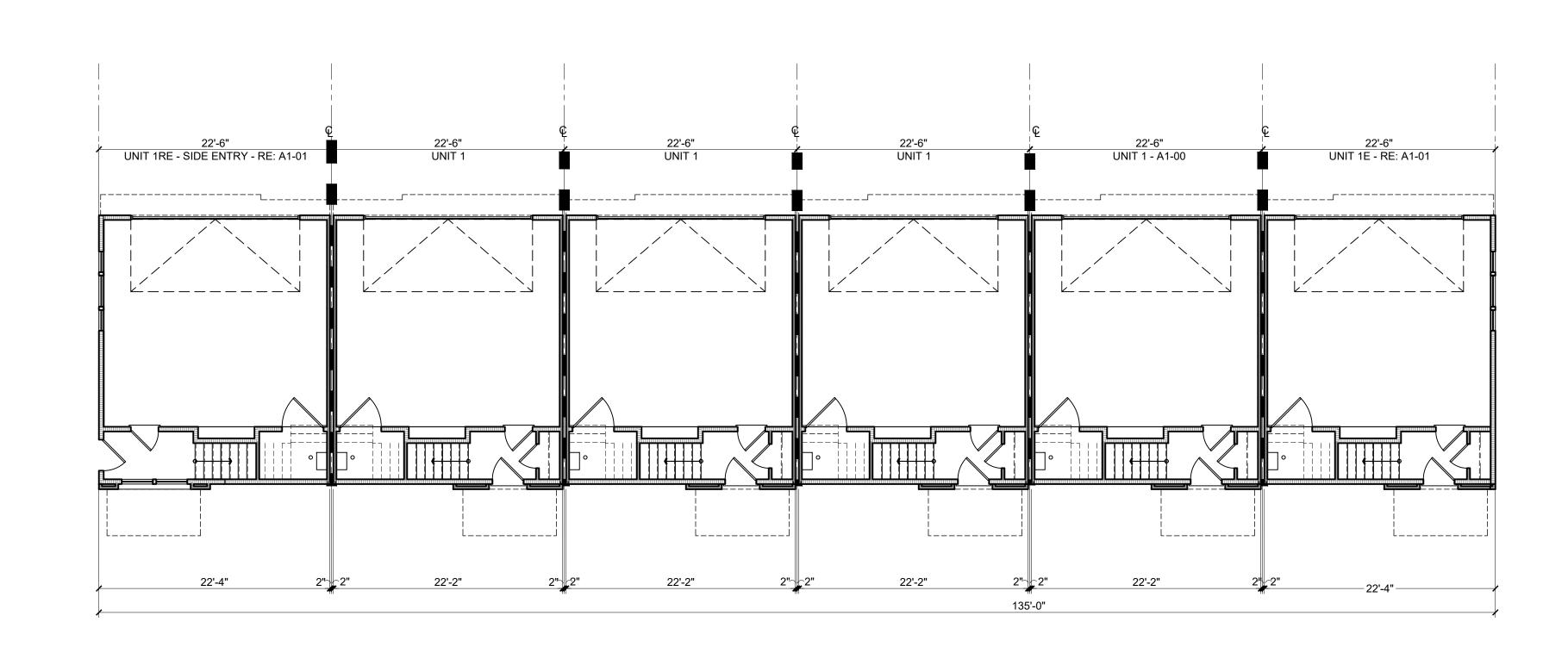
shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

November 13, 2024

5-PLEX BUILDING COLORED ELEVATIONS -UNIT 1



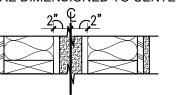
# BUILDING FIRST FLOOR PLAN - SIDE ENTRY - RIGHT | SCALE: 1/8"=1'-0" 2



# PLAN NOTES

- ALL EXTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE; FOS - FACE OF STUD
- CL CENTERLINE ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS
- NOTED OTHERWISE.
- ALL 2-HR RATED UNIT SEPARATION WALLS ARE DIMENSIONED TO CENTERLINE OF AIR GAP.

 CENTERLINE OF WALL OFFSET 2" FROM EACH INTERIOR FACE OF STUD.



4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE; FOF - FACE OF FINISH

- CL CENTERLINE REF: A0-01 FOR ABBREVIATIONS
- REF: A0-02 & A0-03 FOR GENERAL NOTES APPLICABLE TO ENTIRE PROJECT.
- REF: A-D00 & A-D01 SHEETS FOR RATED ASSEMBLY DETAILS.
- DIMENSION FROM INTERIOR DOOR JAMB TO ADJACENT WALL IS 4" UNLESS DIMENSIONED OTHERWISE.
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- 10. SHEAR PANELS MAY OCCUR AND REQUIRE WALL FLUSH OUT ADJUSTMENTS. REFER TO STRUCTURAL FOR SHEAR PANEL LOCATIONS.
- 11. FLOOR ELEVATIONS INDICATED ON PLANS ARE TO TOP OF CONCRETE OR TOP
- OF SUBFLOOR U.N.O. 12. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN
- 5% (1:20). THE CROSS SLOPE SHALL NOT BE STEEPER THAN 2% (1:50).
- 13. R = REVERSED UNIT PLAN.

# PLAN LEGEND

FIRE SEPARATION LINE / CENTERLINE OF 2-HR \_\_\_\_\_\_ RATED UNIT SEPARATION WALL 6" EXTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS 4" INTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F. 2-HR RATED UNIT SEPARATION WALL; REF: A-D00 & A-D01 SHEETS

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PHONE NO. FAX NO.

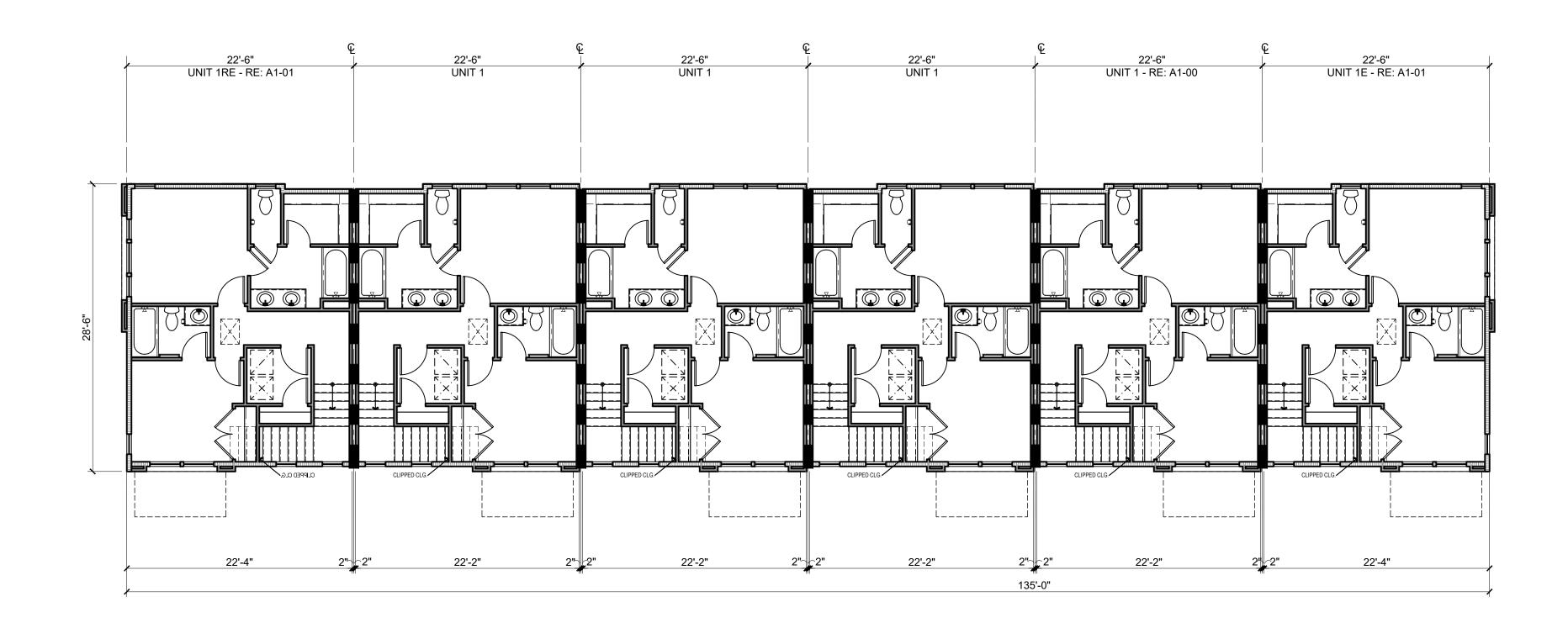
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November 13, 2024

6-PLEX BUILDING FIRST FLOOR PLANS -UNIT 1



# BUILDING THIRD FLOOR PLAN | SCALE: 1/8"=1'-0" 2

22'-6" UNIT 1 - RE: A1-00 22'-6" UNIT 1E - RE: A1-01

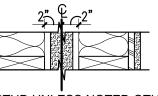
22'-6" UNIT 1RE - RE: A1-01

22'-6" UNIT 1

# PLAN NOTES

- ALL EXTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE; FOS - FACE OF STUD
- CL CENTERLINE
- ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL 2-HR RATED UNIT SEPARATION WALLS ARE DIMENSIONED TO CENTERLINE OF AIR GAP.

 CENTERLINE OF WALL OFFSET 2" FROM EACH INTERIOR FACE OF STUD.



4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE;

FOF - FACE OF FINISH

CL - CENTERLINE

- REF: A0-01 FOR ABBREVIATIONS
- REF: A0-02 & A0-03 FOR GENERAL NOTES APPLICABLE TO ENTIRE PROJECT.
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- DIMENSIONED OTHERWISE. THE COMPOSITE BUILDING PLAN IS PROVIDED FOR PLAN TO PLAN
- RELATIONSHIPS. REF: A5 SERIES UNIT PLANS FOR DETAILED INFO INCLUDING DIMENSIONS, WALL TYPES, ETC.

DIMENSION FROM INTERIOR DOOR JAMB TO ADJACENT WALL IS 4" UNLESS

- 10. SHEAR PANELS MAY OCCUR AND REQUIRE WALL FLUSH OUT ADJUSTMENTS. REFER TO STRUCTURAL FOR SHEAR PANEL LOCATIONS.
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- 12. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN
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#### 13. R = REVERSED UNIT PLAN.

# PLAN LEGEND

FIRE SEPARATION LINE / CENTERLINE OF 2-HR \_\_\_\_\_\_ RATED UNIT SEPARATION WALL 6" EXTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

> 4" INTERIOR WOOD STUD WALL -REF: STRUCTURAL FOR BEARING & SHEAR WALL LOCATIONS

SOFFIT; REF: A5-10 & A5-20 FOR HEIGHT A.F.F.

2-HR RATED UNIT SEPARATION WALL; REF: A-D00 & A-D01 SHEETS

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November 13, 2024

6-PLEX BUILDING SECOND AND THIRD FLOOR PLANS - UNIT 1



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November 13, 2024

6-PLEX BUILDING COLORED ELEVATIONS -UNIT 1

A1-62

 PROVIDED
 %

 6 SF
 5.1%

PROVIDED %

6 SF 5.1%

74 SF 11.8%

89 SF 14.8%

110 SF 18.3%

8.1%

10.9%

17.8%

15.2%

50 SF

65 SF

<u>PROVIDED</u>

21 SF

95 SF

FLOOR AREA

117 SF 622 SF

FLOOR AREA

118 SF

627 SF

601 SF

FLOOR AREA

118 SF

627 SF







ENERGY -	TRANSPA	ARENC'	Y
UNIT 1 - INTERIOR	FLOOR AREA	PROVIDED	<u>%</u>
FIRST FLOOR	117 SF	6 SF	5.1%
SECOND FLOOR	622 SF	50 SF	8.1%
THIRD FLOOR	596 SF	65 SF	10.9%
UNIT 1 - END	FLOOR AREA	PROVIDED	<u>%</u>
FIRST FLOOR	118 SF	6 SF	5.1%
SECOND FLOOR	627 SF	74 SF	11.8%
THIRD FLOOR	601 SF	89 SF	14.8%
UNIT 1 - END SIDE ENTRY	FLOOR AREA	PROVIDED	<u>%</u>
FIRST FLOOR	118 SF	21 SF	17.8%
SECOND FLOOR	627 SF	95 SF	15.2%
THIRD FLOOR	601 SF	110 SF	18.3%

REAR BUILDING ELEVATION | SCALE: 1/8"=1'-0" 2

FRONT BUILDING ELEVATION | SCALE: 1/8"=1'-0" | 1

KITSY

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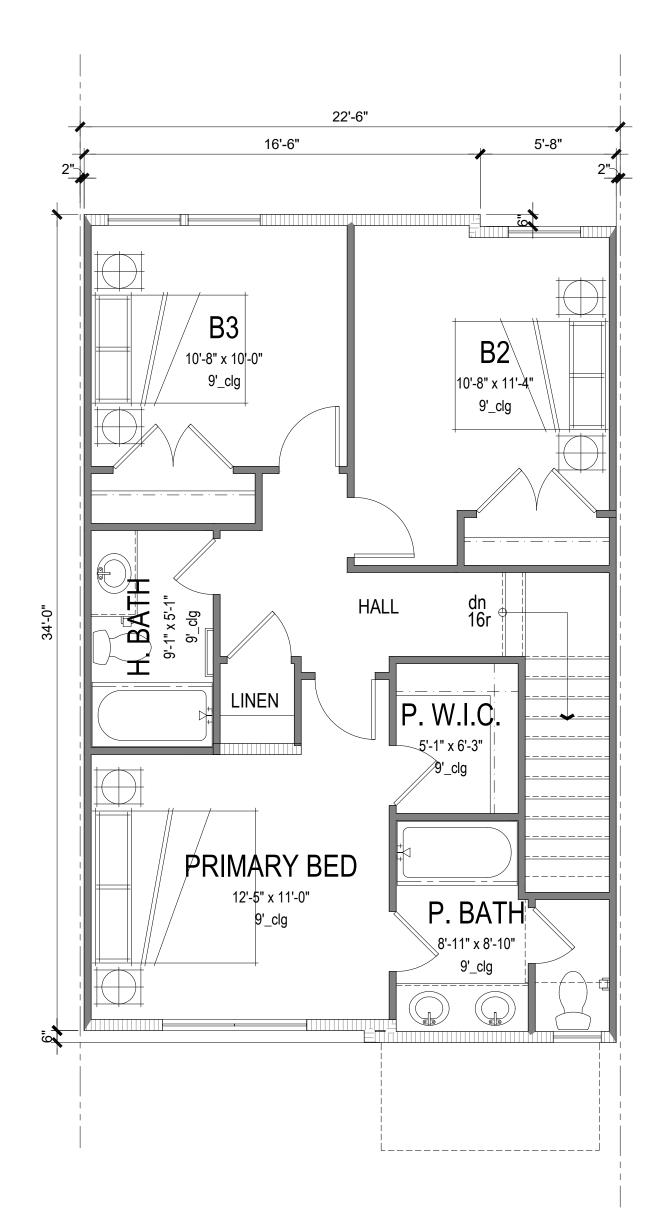
SALT LAKE CITY, UTAH 84103 PHONE NO. 801-456-2430 FAX NO. --

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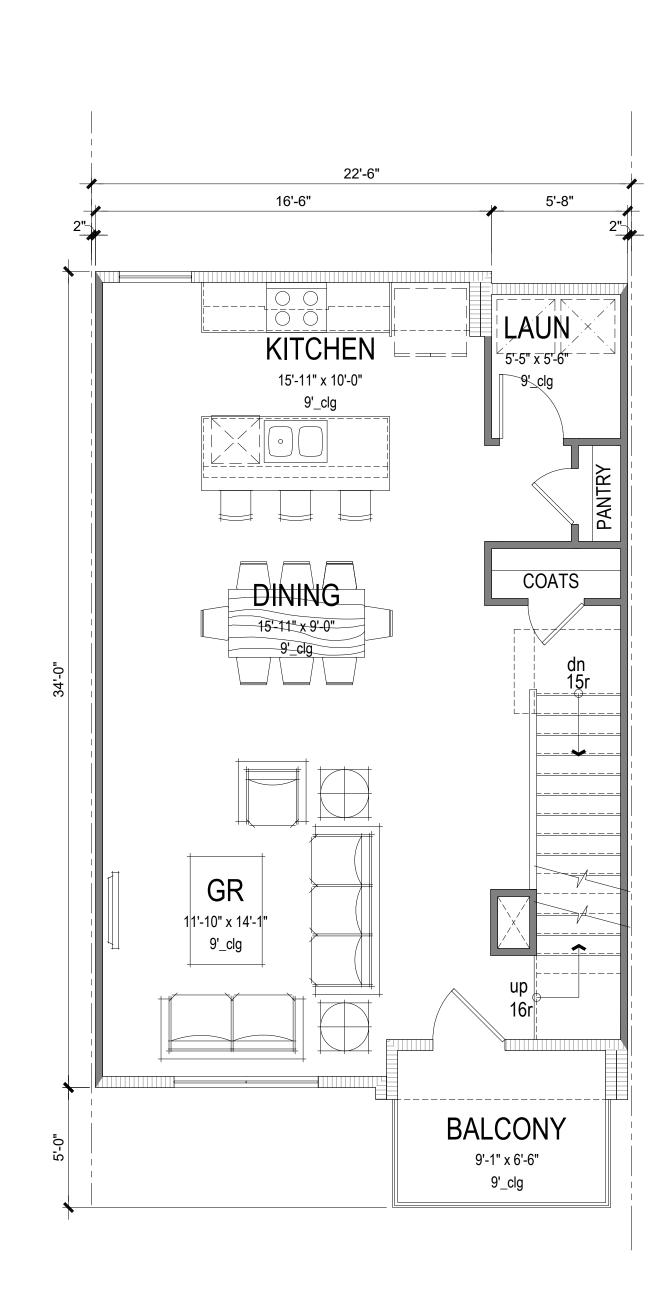
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of any perceive	ed errors or omissions i	during construction to notify the architect in writing the plans and specifications of which a contractouilding codes and methods of construction shoultons addressing such perceived errors or omission

November 13, 2024

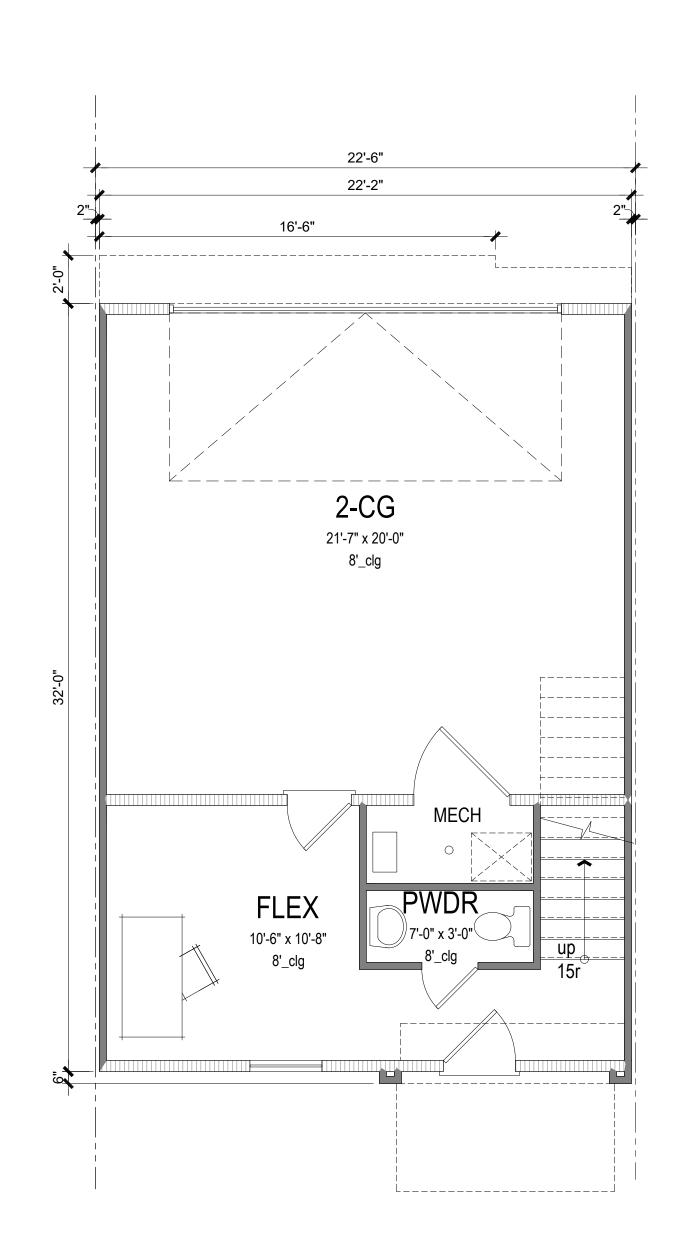
6-PLEX BUILDING
COLORED ELEVATIONS UNIT 1



LEVEL 3 LIVING - 728 SQ. FT.



LEVEL 2 LIVING - 736 SQ. FT. LEVEL 2 OUTDOOR - 58 SQ. FT.



LEVEL 1 LIVING - 256 SQ. FT. GARAGE - 453 SQ. FT.



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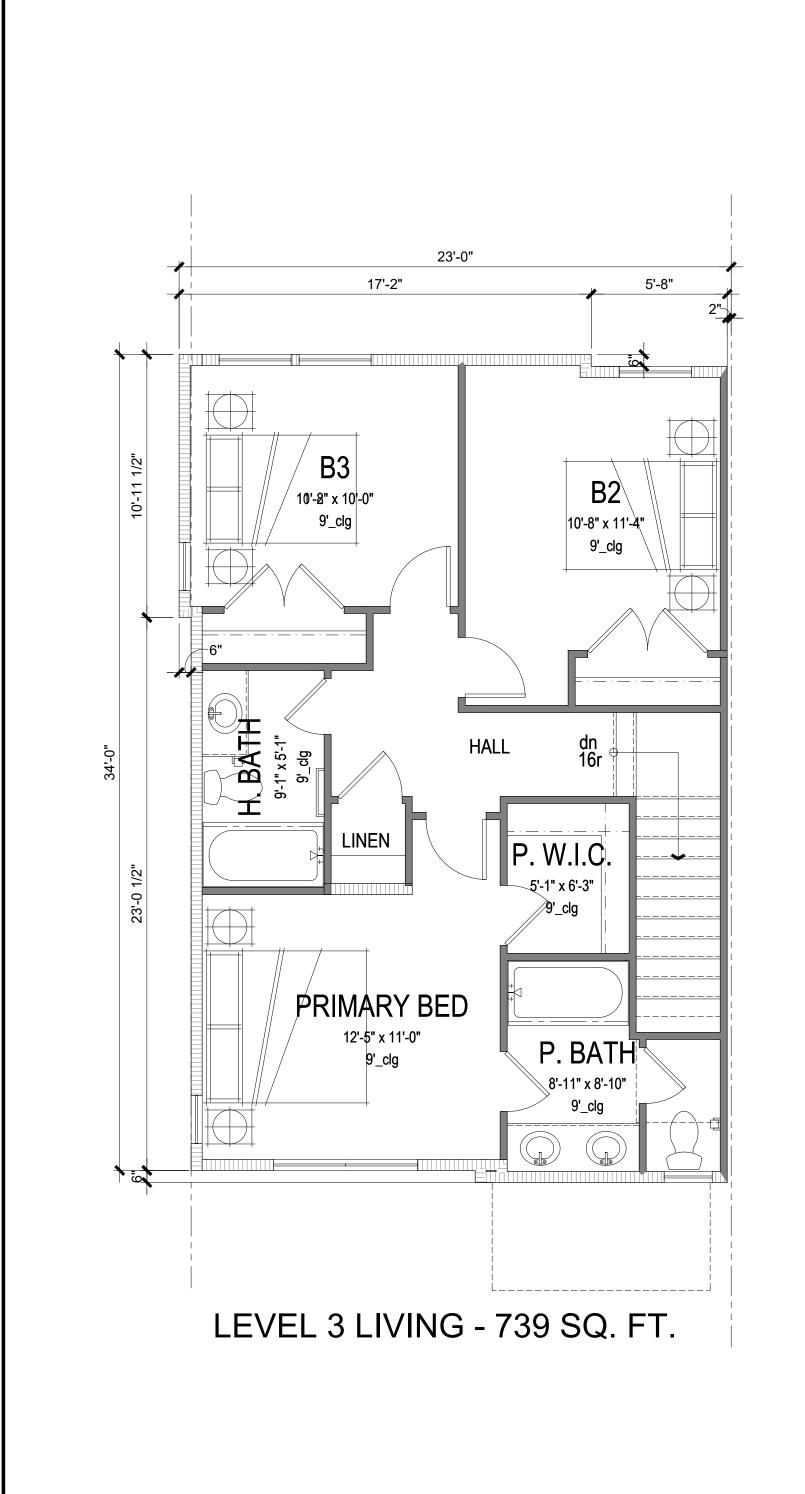
Date	Description
	Date

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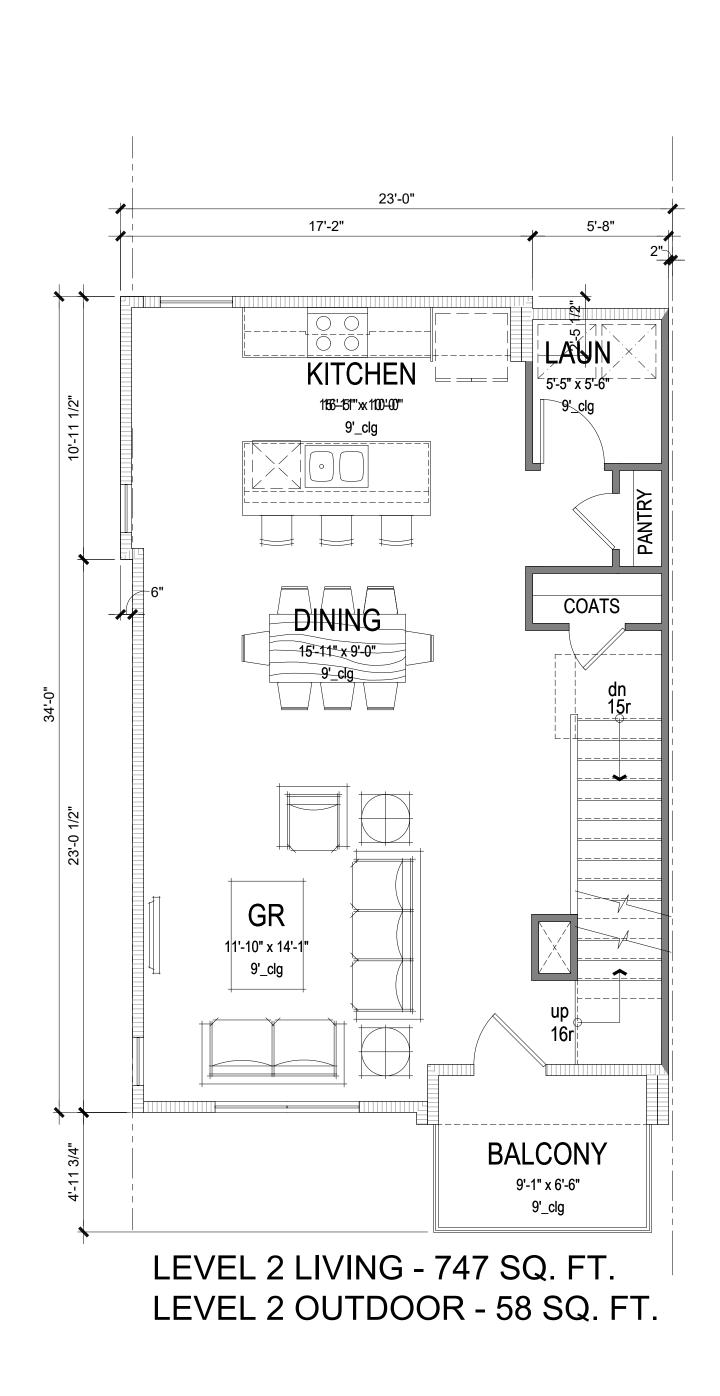
November 13, 2024

UNIT PLAN 2 -INTERIOR UNITS

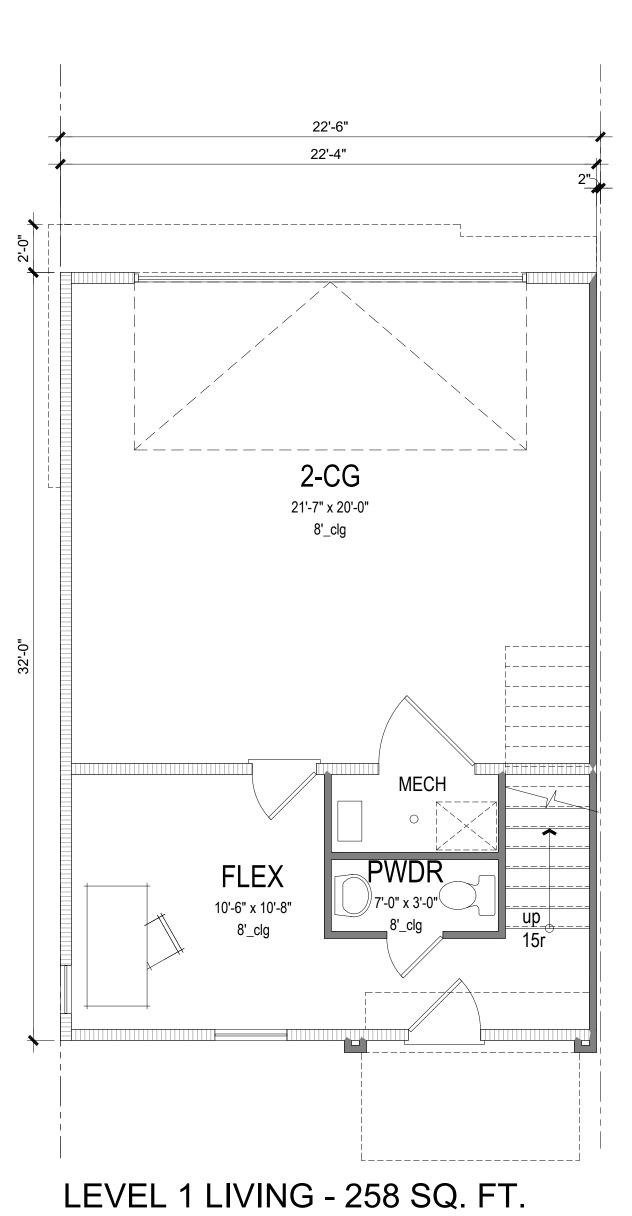
A2-00



UNIT 2 FLOOR PLAN - LEVEL 3 | SCALE: 1/4"=1'-0" 4



UNIT 2 FLOOR PLAN - LEVEL 2 SCALE: 1/4"=1'-0" 3



GARAGE - 457 SQ. FT.

UNIT 2 FLOOR PLAN - LEVEL 1 SCALE: 1/4"=1'-0" 1



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Ο.	Date	Description
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November 13, 2024

UNIT PLAN 2 - END UNITS

A2-01

NOT USED | SCALE: 1/8"=1'-0" 2 22'-6" UNIT 2E 22'-6" UNIT 2 - RE: A2-00 22'-6" UNIT 2RE - RE: A2-01



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BRIX ON 10TH

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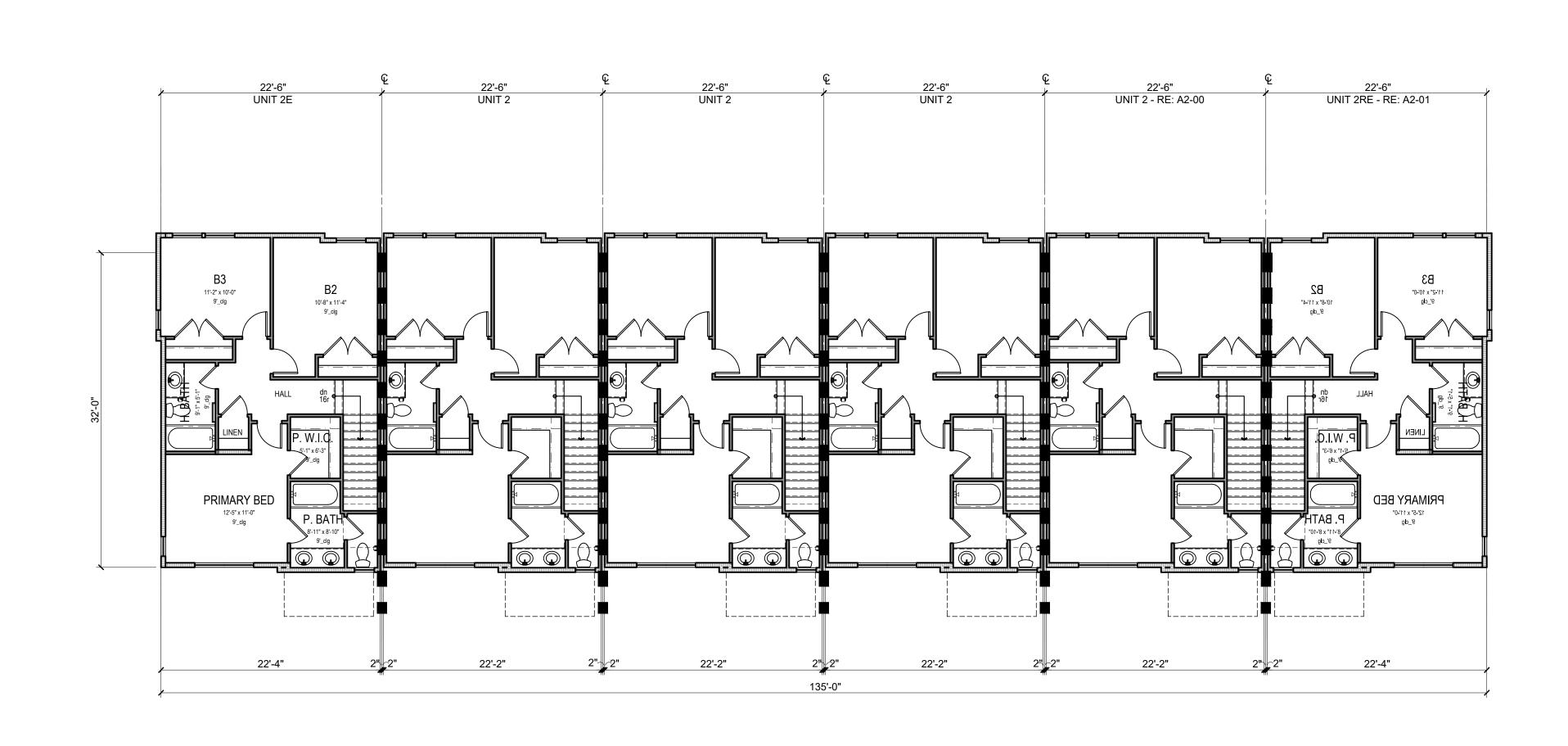
It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

November 13, 2024

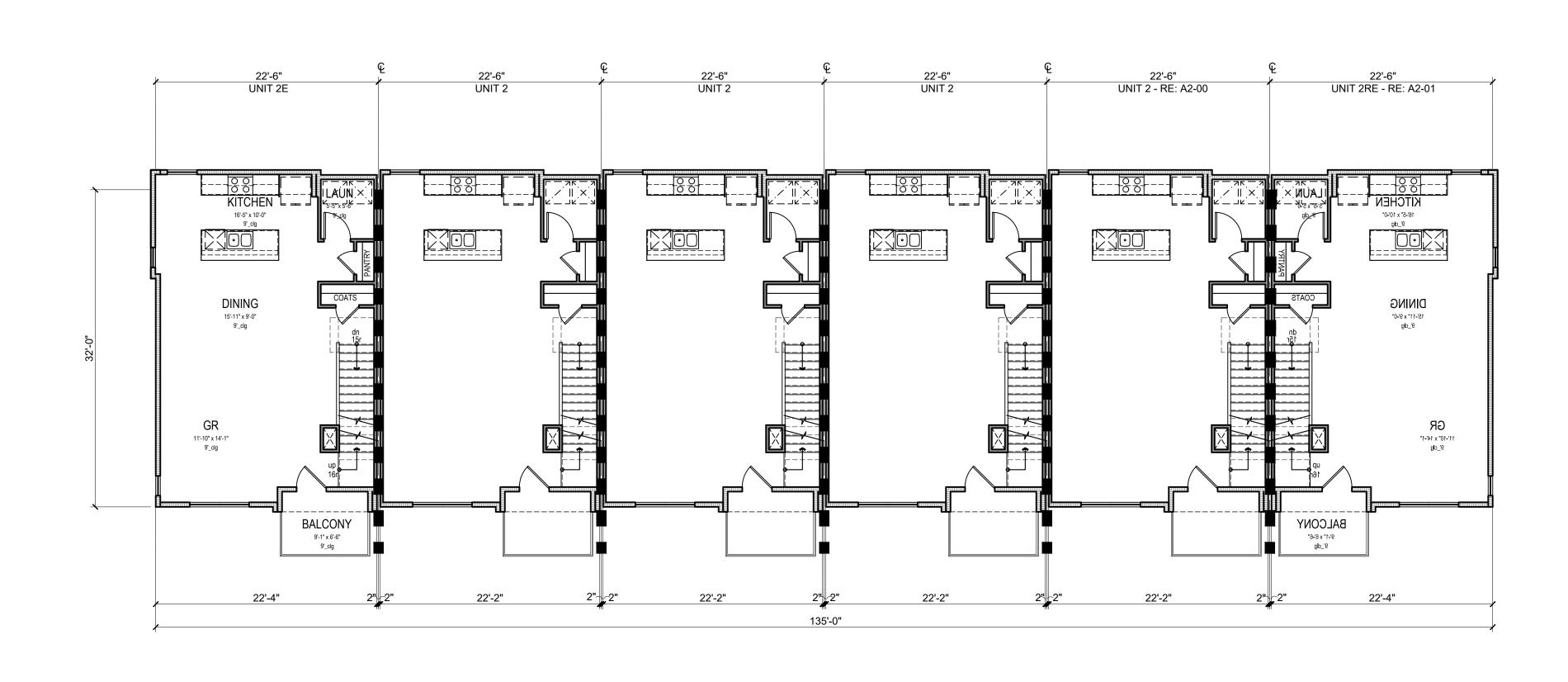
6-PLEX BUILDING FIRST FLOOR PLANS -UNIT 2

A2-60

BUILDING FIRST FLOOR PLAN | SCALE: 1/8"=1'-0" 1



# BUILDING THIRD FLOOR PLAN | SCALE: 1/8"=1'-0" 2





Architecture | Branding | Interiors | Planning 3660 Blake Street

Suite 500 Denver, CO 80205 ktgy.com 303.825.6400

KTGY Project No: 20231077

Project Contact: Madelyn Kodros Email: mkodros@ktgy.com

Principal: William Ramsey Project Designer: Morgan Hopley

Developer



GARBETT HOMES 273 N. EAST CAPITOL STREET.

SALT LAKE CITY, UTAH 84103 PHONE NO. 801-456-2430 FAX NO. --

BRIX ON 10TH

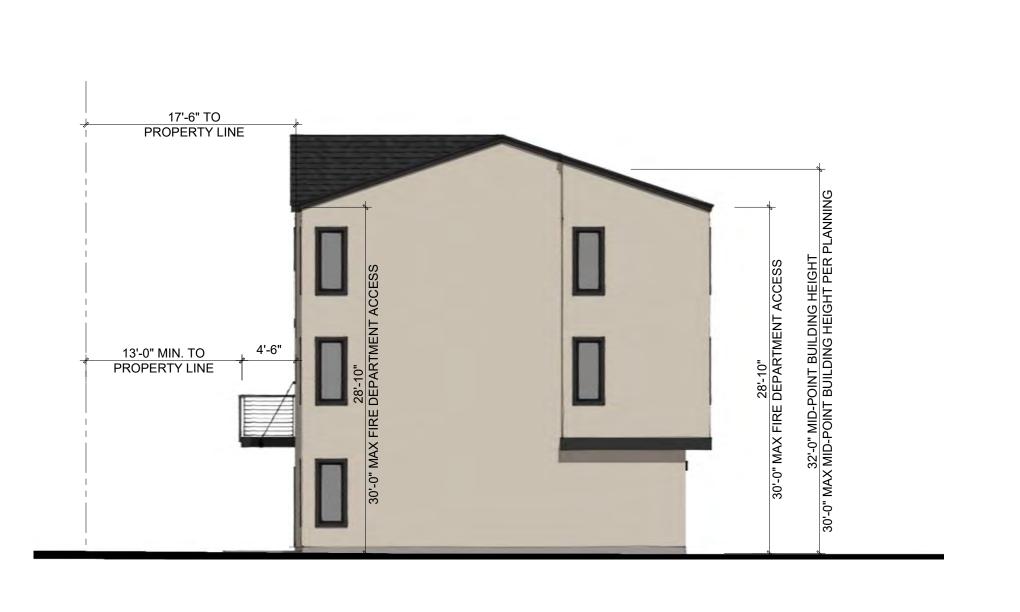
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November 13, 2024

6-PLEX BUILDING SECOND AND THIRD FLOOR PLANS - UNIT 2





RIGHT BUILDING ELEVATION | SCALE: 1/8"=1'-0" | 3

REAR BUILDING ELEVATION | SCALE: 1/8"=1'-0" 2



FRONT BUILDING ELEVATION | SCALE: 1/8"=1'-0" | 1



3660 Blake Street Suite 500

Denver, CO 80205 ktgy.com 303.825.6400

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**GARBETT HOMES** 273 N. EAST CAPITOL STREET.

SALT LAKE CITY, UTAH 84103 PHONE NO. 801-456-2430 FAX NO.

> 10TH N O BRIX

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November 13, 2024

6-PLEX BUILDING COLORED ELEVATIONS -UNIT 2

A2-62

10.6%

PROVIDED %

59 SF

<u>PROVIDED</u>

79 SF

21 SF 8.2%

81 SF 11.2%

31 SF 12.0%

101 SF 13.7%

8.1%

**ENERGY - TRANSPARENCY** 

FLOOR AREA

256 SF

736 SF

728 SF

**FLOOR AREA** 

258 SF

747 SF

739 SF

UNIT 2 - INTERIOR

UNIT 2 - END

FIRST FLOOR

THIRD FLOOR

FIRST FLOOR

SECOND FLOOR

THIRD FLOOR

SECOND FLOOR



NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL

CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS

PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS

CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS

REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL

LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR

AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

# BRIX SUBDIVISION

# 1550 SOUTH 900 WEST & 1549 SOUTH 1000 WEST SALT LAKE CITY, UTAH

# INDEX OF DRAWINGS

1-1	SUBDIVISION PLAT
C-001	<b>GENERAL NOTES</b>
C-100	<b>DEMOLITION PLAN</b>
C-200	SITE PLAN

C-300 GRADING PLAN
C-400 DRAINAGE PLAN
C-500 UTILITY PLAN

C-600 EROSION CONTROL PLAN
PP-0 PLAN AND PROFILE KEY MAP
PP-1 PLAN AND PROFILE ROAD 1

PP-2 PLAN AND PROFILE ROAD 1
PP-3 PLAN AND PROFILE ROAD 2

C-700 DETAILS

L-100 LANDSCAPE PLAN
L-200 IRRIGATION PLAN

L-300 LANDSCAPE AND IRRIGATION DETAILS

# FOR REVIEW NOT FOR CONSTRUCTION

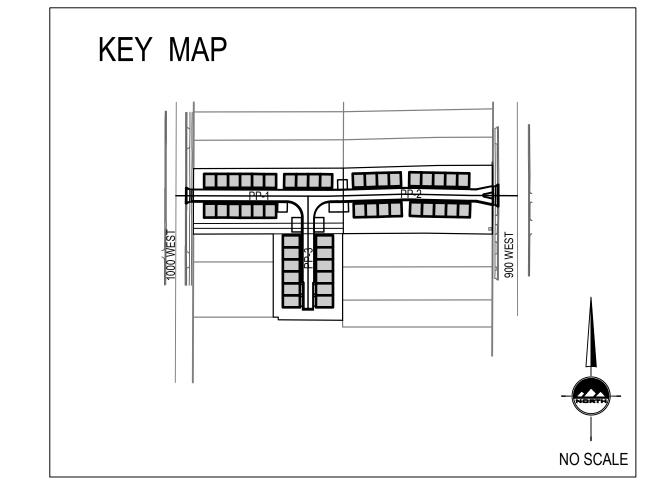
DATE PRINTED September 3, 2024

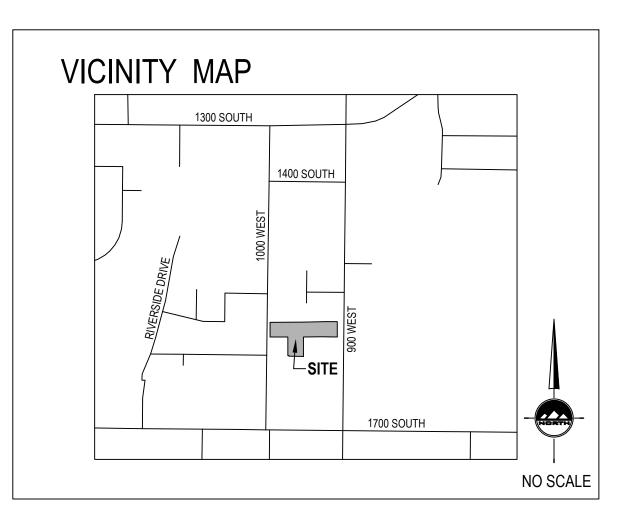
# NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

# UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.





# GENERAL NOTES 1. ALL WORK SHALL CONFORM TO SALT LAKE CITY STANDARDS & SPECIFICATIONS. 2. CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. 3. BENCHMARK ELEVATION = STREET MONUMENT, 1700 SOUTH STREET & 900 WEST STREET. ELEV. = 4227.53.

TOOELE
Phone: 435.843.3590
CEDAR CITY

LAYTON

**CEDAR CITY**Phone: 435.865.1453

RICHFIELD Phone: 435.896.2983

WWW.ENSIGNENG.COM

ENSIGN

THE STANDARD IN ENGINEERING

45 W 10000 S, Suite 500

Sandy, UT 84070 Phone: 801.255.0529

Phone: 801.547.1100

FOR:
GARBETT HOMES
273 NORTH EAST CAPITOL STREET
SALT ALAKE CITY, UTAH 84103

CONTACT:
PAUL GARBETT
PHONE: 801.456.2474

**JBDIVISION** 

BRIX

WEST & 1549 SOUTH 1000 WEST .T LAKE CITY, UTAH

900

**550 SOUTH** 

2024-06-26 FOR REVIEW

COVER

PROJECT NUMBER 12928 PRINT DATE 2024-09-03

PROJECT MANAGER BAM DESIGNED BY JWS

#### SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, AND SLC PUBLIC UTILITIES MODIFICATIONS TO APWA STANDARD PLANS AND APPROVED MATERIALS AND SLC PUBLIC UTILITIES APWA SPECIFICATIONS MODIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE SALT LAKE CITY DIRECTOR OF PUBLIC UTILITIES.

THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT. THE FOLLOWING MUST BE CONTACTED 48-HOURS PRIOR TO CONSTRUCTION AS APPLICABLE TO

#### PUBLIC UTILITIES:

BACKFLOW PREVENTION - 483-6795 DEVELOPMENT REVIEW ENGINEERING – 483-6781 INSPECTIONS, PERMITS, CONTRACTS & AGREEMENTS - 483-6727 PRETREATMENT – 799-4002 STORM WATER - 483-6721

## SLC DEPARTMENTS:

ENGINEERING - PUBLIC WAY PERMITS AND ISSUES - 535-6248 ENGINEERING - SUBDIVISIONS - 535-6159 FIRE DEPARTMENT – 535-6636 PERMITS AND LICENSING (BLDG SERVICES) – 535-7752 PLANNING AND ZONING – 535-7700

- ALL OTHER POTENTIALLY IMPACTED GOVERNING AGENCIES OR ENTITIES

- ALL WATER USERS INVOLVED IN WATER MAIN SHUTDOWNS - APPLICABLE SEWER, WATER AND DRAINAGE DISTRICTS - BLUESTAKES LOCATING SERVICES - 532-5000 - COUNTY FIRE DEPARTMENT - 743-7231

- COUNTY FLOOD CONTROL – 468-2779 - COUNTY HEALTH DEPARTMENT - 385-468-3913

TRANSPORTATION - 535-6630

- COUNTY PUBLIC WAY PERMITS - 468-2241 - HOLLADAY CITY - 272-9450

- SALT LAKE COUNTY HIGHWAY DEPARTMENT - 468-3705 OR 468-2156 - THE UTAH TRANSIT AUTHORITY FOR RE-ROUTING SERVICE – 262-5626 - UNION PACIFIC RAILROAD CO., SUPERINTENDENTS OFFICE – 595-3405

- UTAH DEPARTMENT OF TRANSPORTATION, REGION #2 – 975-4800 - UTAH STATE ENGINEER - 538-7240

PRIOR TO CONSTRUCTION THE CONTRACTOR WILL PROVIDE, AND WILL UPDATE AS CHANGES OCCUR, A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND SALT LAKE CITY ENGINEERING OR SALT LAKE COUNTY REGULATIONS AS APPLICABLE FOR WORKING WITHIN THE PUBLIC WAY.

CONTRACTOR MUST OBTAIN ALL THE NECESSARY PERMITS AND AGREEMENTS AND PAY ALL APPLICABLE FEES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT SALT LAKE CITY ENGINEERING (535-6248) FOR PERMITS AND INSPECTIONS REQUIRED FOR ANY WORK CONDUCTED WITHIN SALT LAKE CITY'S PUBLIC RIGHT-OF-WAY. APPLICABLE UTILITY PERMITS MAY INCLUDE MAINLINE EXTENSION AGREEMENTS AND SERVICE CONNECTION PERMITS. ALL UTILITY WORK MUST BE BONDED. ALL CONTRACTORS MUST BE LICENSED TO WORK ON CITY UTILITY MAINS.

CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORM WATER PERMIT FOR CONSTRUCTION ACTIVITIES (538-6923). A COPY OF THE PERMIT'S STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED. THE CONTRACTOR MUST ALSO COMPLY WITH SALT LAKE CITY'S CLEAN WHEEL ORDINANCE.

#### 5. ASPHALT AND SOIL TESTING:

THE CONTRACTOR IS TO PROVIDE MARSHALL AND PROCTOR TEST DATA 24-HOURS PRIOR TO USE. CONTRACTOR IS TO PROVIDE COMPACTION AND DENSITY TESTING AS REQUIRED BY SALT LAKE CITY ENGINEERING, UDOT, SALT LAKE COUNTY OR OTHER GOVERNING ENTITY. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS, SECTION 330520 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE SLC PROJECT ENGINEER IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED WITHIN THE PIPE ZONE THE MAXIMUM LIFTS FOR BACKFILLING EXCAVATIONS IS 8-INCHES. ALL MATERIALS AND COMPACTION TESTING IS TO BE PERFORMED BY A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE COUNTY PUBLIC WORKS AND/OR SALT LAKE CITY ENGINEERING.

## 6. TRAFFIC CONTROL AND HAUL ROUTES:

FIC CONTROL MUST CONFORM TO THE MOST CURRENT EDITION OF SALT LAKE CITY TRAFFIC CONTROL MANUAL - PART 6 OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR SALT LAKE COUNTY AND STATE ROADS. SLC TRANSPORTATION MUST APPROVE ALL PROJECT HAUL ROUTES (535-7129). THE CONTRACTOR MUST ALSO CONFORM TO UDOT, SALT LAKE COUNTY OR OTHER APPLICABLE GOVERNING ENTITIES REQUIREMENTS FOR TRAFFIC CONTROL.

CONTRACTOR MUST PROVDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS APPROVED. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE GRADE OF THE MAIN AND/OR FACILITY AS APPROVED. IN ADDITION, THE CONTRACTOR AND/OR SURVEYOR SHALL PROVIDE TO SALT LAKE CITY PUBLIC UTILITIES CUT SHEETS FILLED OUT COMPLETELY AND CLEARLY SHOWING THE PERTINENT GRADES, ELEVATIONS AND CUT/FILLS ASSOCIATED WITH THE FIELD STAKING OF THE MAIN AND/OR FACILITY. THE CUT SHEET FORM IS AVAILABLE AT THE CONTRACTS AND AGREEMENTS OFFICE AT PUBLIC UTILITIES. ALL MAINS AND LATERALS NOT MEETING MINIMUM GRADE REQUIREMENTS AS SPECIFIED BY ORDINANCE OR AS REQUIRED TO MEET THE MINIMUM REQUIRED FLOWS OR AS APPROVED MUST BE REMOVED AND RECONSTRUCTED TO MEET DESIGN GRADE. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS UNTIL PUBLIC UTILITY SURVEYORS COMPLETE FINAL MEASUREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. DEPENDING ON THE LOCATION OF THE PROJECT: CONTACT THE COUNTY SURVEYOR FOR SECTION CORNER MONUMENTS (801-468-2028) AND/OR THE SALT LAKE CITY SURVEYOR (801-535-7973) FOR SALT LAKE CITY MONUMENTS AND CONSTRUCTION REQUIREMENTS. ALL ELEVATIONS SHALL BE REFERENCED TO SALT LAKE CITY DATUM UNLESS NOTED OTHERWISE ON THE PLANS.

# 8. ASPHALT GUARANTEE:

THE CONTRACTOR SHALL REMOVE, DISPOSE OF, FURNISH AND PLACE PERMANENT ASPHALT PER SALT LAKE CITY ENGINEERING, UDOT, COUNTY, OR OTHER GOVERNMENT STANDARDS AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING

# 9. TEMPORARY ASPHALT:

IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL. WITHIN SALT LAKE CITY, WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF COMPLETION.

# 10. SAFETY:

THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.

# 11. DUST CONTROL:

THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING ENTITY STANDARDS. USE OF HYDRANT WATER OR PUMPING FROM CITY-OWNED CANALS OR STORM DRAINAGE FACILITIES IS NOT ALLOWED FOR DUST CONTROL ACTIVITIES WITHOUT WRITTEN APPROVAL OF THE PUBLIC UTILITIES DIRECTOR.

# 12. DEWATERING:

ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED IN WRITING BY PUBLIC UTILITIES. PROPOSED OUTFALL LOCATIONS AND ESTIMATED FLOW VOLUME CALCULATIONS MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE. PUBLIC UTILITIES MAY REQUIRE ADDITIONAL MEASURES FOR SEDIMENT CONTROL AND REMOVAL.

# 13. PROJECT LIMITS:

THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

#### 14. WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES: A. INSPECTIONS -

IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN NEEDED. CONTACT 483-6727 TO SCHEDULE INSPECTIONS.

#### B. DAMAGE TO EXISTING UTILITIES -

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR, MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.

CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILTIES DUE TO THE CONTRACTOR'S ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300-FEET AHEAD OF SCHEDULED CONSTRUCTION IN ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM SLC PUBLIC UTILITIES' MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.

FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF 2-WEEKS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING THE RELOCATION OF SERVICE LATERALS. ALL RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE APPLICABLE UTILITY COMPANY AND/OR USER.

#### E. FIELD CHANGES -

NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.

#### F. PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY -

FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO ALL RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. WORK TO BE CONDUCTED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.

#### G. PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS -

THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVE ALL WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL EFFECTED USERS BY WRITTEN NOTICE A MINIMUM OF 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.

#### H. WATER AND SEWER SEPARATION -

IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.

ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILTIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.

#### J. SEWER MAIN AND LATERAL CONSTRUCTION REQUIREMENTS – SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER CONNECTIONS. ALL SEWER LATERALS 6-INCHES AND SMALLER

MUST WYE INTO THE MAINS PER SLC PUBLIC UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER SEWER CONNECTIONS MUST BE PETITIONED FOR AT PUBLIC UTILTIES (483-6762) AND CONNECTED AT A MANHOLE. INSIDE DROPS IN MANHOLES ARE NOT ALLOWED. A MINIMUM 4-FOOT BURY DEPTH IS REQUIRED ON ALL SEWER MAINS AND LATERALS. CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MANHOLES WITHIN THE PROJECT AREA.

CONTRACTOR TO PROVIDE AIR PRESSURE TESTING OF SEWER MAINS IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS AND SALT LAKE CITY PUBLIC UTILITIES REQUIREMENTS. ALL PVC SEWER MAIN AND LATERAL TESTING SHALL BE IN ACCORDANCE WITH UNI-BELL UN-B-6-98 RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE. CONTRACTOR SHALL PROVIDE SEWER LATERAL WATER TESTING AS REQUIRED BY THE SALT LAKE CITY PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. A MINIMUM OF 9-FEET OF HEAD PRESSURE IS REQUIRED AS MEASURED VERTICALLY FROM THE HIGH POINT OF THE PIPELINE AND AT OTHER LOCATIONS ALONG THE PIPELINE AS DETERMINED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. TESTING TIME WILL BE NO LESS THAN AS SPECIFIED FOR THE AIR TEST DURATION IN TABLE I ON PAGE 12 OF UNI-B-6-98. ALL PIPES SUBJECT TO WATER TESTING SHALL BE FULLY VISIBLE TO THE INSPECTOR DURING TESTING. TESTING MUST BE PERFORMED IN THE PRESENCE OF A SLC PUBLIC UTILITIES REPRESENTATIVE. ALL VISIBLE LEAKAGE MUST BE REPAIRED TO THE SATISFACTION OF THE SLC PUBLIC UTILITIES ENGINEER OR INSPECTOR.

## K. WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS -

SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WATER SERVICE CONNECTIONS. A MINIMUM 3-FOOT SEPARATION IS REQUIRED BETWEEN ALL WATER AND FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS MUST BE MADE MEETING SLC PUBLIC UTILITIES REQUIREMENTS. A 5-FOOT MINIMUM BURY DEPTH (FINAL GRADE TO TOP OF PIPE) IS REQUIRED ON ALL WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY PUBLIC UTILITIES. WATER LINE THRUST BLOCK AND RESTRAINTS ARE AS PER SLC APPROVED DETAIL DRAWINGS AND SPECIFICATIONS. ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON FM1 GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTIC. PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS FOR HIGH GROUNDWATER/ SATURATED CONDITIONS AT FLANGE

ALL WATERLINES INSTALLATIONS AND TESTING TO BE IN ACCORDANCE WITH AWWA SECTIONS C600, C601, C651, C206, 14. TRAFFIC SIGNAL INSTALLATION OR MODIFICATION REQUIRES A SEPARATE WARRANTY BOND ONCE THE WORK HAS BEEN C200, C900, C303 AWWA MANUAL M11 AND ALL OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI SPECIFICATIONS RELEVANT TO THE INSTALLATION AND COMPLETION OF THE PROJECT. AMENDMENT TO SECTION C600 SECTION 4.1.1; DOCUMENT TO READ MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 200 P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING TESTED. ALL MATERIALS USED FOR WATERWORKS PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM OPERATING PRESSURE

CONTRACTOR IS TO INSTALL WATER SERVICE LINES, METER YOKES AND/OR ASSEMBLIES AND METER BOXS WITH LIDS LOCATED AS APPROVED ON THE PLANS PER APPLICABLE PUBLIC UTILITIES DETAIL DRAWINGS. METER BOXES ARE TO

16. DOUBLE SAW CUT THE CONCRETE TO PREVENT THE SPALLING OF OTHER CONCRETE PANELS AND TO AVOID OVER CUTS. BE PLACED IN THE PARK STRIPS PERPENDICULAR TO THE WATERMAIN SERVICE TAP CONNECTION. ALL WATER METERS. CATCH BASINS. CLEANOUT BOXES, MANHOLES, DOUBLE CHECK VALVE DETECTOR ASSEMBLIES, REDUCED PRESSURE DETECTOR ASSEMBLIES AND BACKFLOW PREVENTION DEVICES MUST BE LOCATED OUTSIDE OF ALL APPROACHES, DRIVEWAYS, PEDESTRIAN WALKWAYS AND OTHER TRAVELED WAYS UNLESS OTHERWISE APPROVED

BACKFLOW PREVENTORS ARE REQUIRED ON ALL IRRIGATION AND FIRE SPRINKLING TAPS PER PUBLIC UTILITIES AND SLC FIRE DEPARTMENT REQUIREMENTS. CONTRACTORS SHALL INSTALL BACKFLOW PREVENTION DEVICES ON FIRE SPRINKLER CONNECTIONS. DOUBLE CHECK VALVE ASSEMBLIES SHALL BE INSTALLED ON CLASS 1, 2 AND 3 SYSTEMS. REDUCED PRESSURE PRINCIPLE VALVES SHALL BE INSTALLED ON CLASS 4 SYSTEMS. ALL FIRE SPRINKLING BACKFLOW ASSEMBLIES SHALL CONFORM TO ASSE STANDARD 1048, 1013, 1047 AND 1015, THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM BACKFLOW PREVENTION TESTS PER SALT LAKE CITY STANDARDS AND SUBMIT RESULTS TO PUBLIC UTILITIES. ALL TESTS MUST BE PERFORMED AND SUBMITTED TO PUBLIC UTILITIES WITHIN 10 DAYS OF INSTALLATION OR WATER TURN-ON. BACKFLOW TEST FORMS ARE AVAILABLE AT PUBLIC UTILITIES' CONTRACTS AND AGREEMENTS OFFICE.

# L. GENERAL WATER, SEWER AND STORM DRAIN REQUIREMENTS -

ALL WATER, FIRE AND SEWER SERVICES STUBBED TO A PROPERTY MUST BE USED OR WATER AND FIRE SERVICES MUST BE KILLED AT THE MAIN AND SEWER LATERALS CAPPED AT THE SEWER MAIN PER PUBLIC UTILITIES REQUIREMENTS. ALLOWABLE SERVICES TO BE KEPT WILL BE AS DETERMINED BY THE PUBLIC UTILITIES PROJECT ENGINEER. ALL WATER AND FIRE SERVICE KILLS AND SEWER LATERAL CAPS ARE TO BE KILLED AND CAPPED AS DETERMINED AND VISUALLY VERIFIED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

ALL MANHOLES, HYDRANTS, VALVES, CLEAN-OUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER PUBLIC UTILITIES STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS AND VALVES PER PUBLIC UTILITIES STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED AS REQUIRED BY THE PUBLIC UTILITIES INSPECTOR. ALL MANHOLE, CLEANOUT BOX OR CATCH BASIN DISCONNECTIONS MUST BE REPAIRED AND GROUTED AS REQUIRED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION. UTILITY TRENCHING, BACKFILL, AND PIPE ZONE AS PER SLC PUBLIC UTILITIES, "UTILITY INSTALLATION

# M. STREETLIGHTS -

ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SALT LAKE CITY STANDARDS AND N.E.C. (NATIONAL ELCTRICAL CODE. A STREET LIGHTING PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO SALT LAKE CITY AND BE APPROVED PRIOR TO CONSTRUCTION. NO DEVIATION OF STREETLIGHT, PULL BOXES, CONDUITS, AND ETC. LOCATIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE STREEGHT LIGHTING PROGRAM MANGER OR HIS/HER REPRESENTATIVE.

STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE SUCH

# THAT IT DOES NOT HINDER THE OPERATION OF THE FIRE HYDRANT AND WATER LINE OPERATION VALVES.

STREETLIGHTS AND STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET FROM ANY TREE, UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE STREET LIGHTING PROGRAM MANAGER. BRANCHES MAY NEED TO BE PRUNED AS DETERMINED BY THI INSPECTOR IN THE FIELD AT THE TIME OF INSTALLATION.

STREETLIGHTS SHALL NOT BE INSTALLED WITHIN 5 FEET FROM THE EDGE OF ANY DRIVEWAY

ANTI-SEIZE LUBRICANT SHALL BE USED ON ALL COVER BOLTS AND GROUND BOX BOLTS.

ALL EXISTING STREET LIGHTING SHALL REMAIN OPERATIONAL DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE STREET LIGHTIN PROGRAM MANAGER.

IF APPROVED PLANS REQUIRE REMOVAL OF STREETLIGHT POLES DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLES WHILE THEY ARE DOWN. THE POLES SHALL BE STORED IN A SECURE LOCATION AND RAIED OFF THE GROUND. PICTURES SHALL BE TAKEN BEFORE THE POLES ARE REMOVED TO DOCUMENT THE CONDITION OF THE POLES BEFORE THEY WERE REMOVED. PICTURES SHALL BE SENT TO THE CITY. CONTRACTOR SHALL ENSURE THE POLES ARE IN SIMILAR CONDITION WHEN RESTORED TO THEIR ORIGINAL LCOATIONS

IF THE APPROVED PLANS REQUIRE PERMANENT REMOVAL OF STREETLIGHT POLES THE CONTRACTOR SHALL COORDINATE SALVAGE AND/OR DISPOSAL OF POLES, FIXTURES, AND LIGHTS WITH THE STREET LIGHTING PROGRAM

ANY STRUCTURE SUCH AS BLOCK WALLS, CHAIN LINK FENCES, RETAINING WALLS, ETC. SHALL LEAVE A MINIMUM OF EIGHTEEN (18) INCHES TO THE FACE OF THE STREETLIGHT POLE ON ALL SIDES.

ALL SERVICE POINTS SHALL BE COORDINATED WITH ROCKY MOUNTAIN POWER AND WHENEVER POSSIBLE BE LOCATED NEAR THE CENTER OF THE CIRCUIT. SERVICE POINTS SHALL BE SHOWN ON THE PLANS WITH A SCHEMATIC FROM ROCKY MOUNTAIN POWER. POLE LOCATIONS AS SHOWN ON THE APPROVED PLANS MAY BE ADJUSTED IN THE FIELD BY THE STRET LIGHTING PROGRAM MANAGER A THE TIME OF INSTALLATION AT NO ADDITIONAL COST TO THE

IT SHALL BE REQUIRED THAT IN THE ABSENCE OF AN EXISTING WORKABLE CIRCUIT TO ATTACH TO, THAT ALL INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR OPERATION OF THE CIRCUITS. IN THIS CASE THE DEVELOPER AND OR HIS ENGINEER SHALL CONTACT ROCCKY MOUNTAIN POWER FOR INSTALLATION OF NEW SERVICE.

WHENVER THERE IS AN OVERHEAD UTILITY THAT MAY CONFLICT WITH THE INSTALLATION FO THE STREETLIGHT CIRCUITS AND/OR STREETLIGHT POLES, THOSE CONFLICTS MUST BE RESOLVED BETWEEN THE DEVELOPER AND THE UTILITIES INVOLVED BEFORE THE STREETLIGHT BASES ARE CONSTRUCTED AT NO EXPENSE TO THE CITY OR ROCKY MOUNTAIN POWER. THE RESOLUTION MUST BE APPROVED BY THE CITY AND ROCKY MOUNTAIN POWER

#### <u>UDOT NOTES</u>

UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHTOUT AT ANY TIME.

- WORK ON THE UDOT RIGHT-OF-WAY IS SEASONALLY RESTRICTED FROM OCTOBER 15 TO APRIL 15.
- 3. ROW WORK: WORK IS NOT ALLOWED ON THE RIGHT-OF-WAY DURING THE AM/PM PEAK TRAFFIC HOURS (6:00 9:00 AM AND 3:30 - 6:00 PM). ADDITIONAL WORK RESTRICTIONS OR MODIFICATIONS MAY BE IMPOSED AT THE TIME OF THE ENCROACHMENT PERMIT.

4. REPLACE ALL PAVEMENT MARKINGS IN KIND (TAPE WITH TAPE AND PAINT WITH PAINT). INSTALL ALL PAINT LINES WITH PERMANENT PAINT APPLICATION PER UDOT SPECIFICATION 02765. PAINT MUST HAVE AT LEAST 6 MONTHS LIFE AS DETERMINED BY UDOT'S PERMITS OFFICER.

- ALL NEW PAVEMENT WORDS, ARROWS AND SYMBOLS MARKING WITHIN THE RIGHT-OF-WAY SHALL BE PRE-FORMED THERMO PLASTIC. ALL LETTERS, ARROWS, AND SYMBOLS SHALL CONFORM WITH THE "STANDARD ALPHABET FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" ADOPTED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.

BEFORE COMMENCING WORK ON THE STATE HIGHWAY, THE GENERAL CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE REGION'S PERMITS OFFICE BEFORE WORKING WITHIN THE STATE RIGHT-OF-WAY.

- NO ROAD CUTS ALLOWED ON THIS JOB.
- 9. FOR ALL UTILITY TAPS (ROAD CUTS), USE FLOWABLE FILL PER UDOT'S CURRENT MIX DESIGN (50-150 PSI) UDOT SPEC. 03575.
- ALL UTILITIES WITHIN THE PAVED SURFACE MUST BE BORED.

BE DIRECTLY OR INDIRECTLY CAUSED BY THE DEVELOPMENT ACTIVITY.

AND CONSULTANTS CONTACT THE APPROPRIATE REGIONS TRAFFIC SIGNALS ENGINEER.

1. FOR EXCAVATIONS OUTSIDE OF THE ROADWAY, BACK FILL WITH UDOT APPROVED GRANULAR BORROW AND ROAD BASE COMPACTION PER UDOT SPEC. 2056 AND 2721.

12. OWNER, DEVELOPER, AND/OR THE CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING

- WITHIN THE UDOT RIGHT-OF-WAY. 13. OWNER, DEVELOPER, AND THE CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGE TO THE UDOT RIGHT-OF-WAY THAT MAY
- COMPLETED AND ACCEPTED. THE PERMITTEE IS RESPONSIBLE FOR HIRING AN INDEPENDENT INSPECTION COMPANY TO PERFORM INSPECTION SERVICES FOR ALL SIGNAL WORK COMPLETED. FOR A LIST OF THE UDOT APPROVED CONTRACTORS
- 15. PARTIAL CONCRETE PANEL REPLACEMENT IS NOT ALLOWED. WHEN PANELS ARE REMOVED, THE ENTIRE PANEL IS REQUIRED TO BE REPLACED PER UDOT STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS.
- OVER CUTS AND SPALLS WILL REQUIRE FULL PANEL REPLACEMENT. REFERENCES 1. UTAH ADMINISTRATIVE CODE R930-6 (ACCESS MANAGEMENT) FOR A COMPLETE VERSION OF THE DEPARTMENT'S STANDARDS AND GUIDELINES REGARDING ACCESS PERMITS PLEASE REFER TO UTAH ADMINISTRATIVE CODE R930-6, WWW.UDOT.UTAH.GOV/GO/ACCESSMANAGEMENT. 2. AASHTO, A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS ("GREEN BOOK"). BOOKSTORE.TRANSPORTATION.ORG. 3. AASHTO. ROADSIDE DESIGN GUIDE. BOOKSTORE.TRANSPORTATION.ORG. 4. UTAH. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (UMUTCD), WWW.UDOT.UTAH.GOV.
- 17. ALL ABOVE GROUND FEATURES INCLUDING UTILITIES (POLES, FIRE HYDRANTS, BOXES, ETC.) MUST BE RELOCATED OUT OF THE AASHTO CLEAR ZONE OR A MINIMUM OF 18" BEHIND CURB.

# **ABBREVIATIONS**

APWA	AMERICAN PUBLIC WORKS ASSOCIATION	NIC	NOT IN CONTRACT
AR	ACCESSIBLE ROUTE	NO	NUMBER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OC	ON CENTER
AWWA	AMERICAN WATER WORKS ASSOCIATION	OCEW	ON CENTER EACH WAY
BOS	BOTTOM OF STEP	OHP	OVERHEAD POWER
BVC	BEGIN VERTICAL CURVE	PC	POINT OF CURVATURE OR PRESSURE CLAS
С	CURVE	PCC	POINT OF COMPOUND CURVATURE
СВ	CATCH BASIN	PI	POINT OF INTERSECTION
CF	CURB FACE OR CUBIC FEET	PIP	PLASTIC IRRIGATION PIPE
CO	CLEAN OUT	PIV	POST INDICATOR VALVE
COMM	COMMUNICATION	PL	PROPERTY LINE
CONC	CONCRETE	PRC	POINT OF REVERSE CURVATURE
CONT	CONTINUOUS	PRO	PROPOSED
DIA	DIAMETER	PT	POINT OF TANGENCY
DIP	DUCTILE IRON PIPE	PVC	POINT OF VERTICAL CURVATURE
ELEC	ELECTRICAL	PVI	POINT OF VERTICAL INTERSECTION
ELEV	ELEVATION	PVT	POINT OF VERTICAL TANGENCY
EOA	EDGE OF ASPHALT	R	RADIUS
EVC	END OF VERTICAL CURVE	RD	ROOF DRAIN
EW	EACH WAY	ROW	RIGHT OF WAY
EXIST	EXISTING	S	SLOPE
FF	FINISH FLOOR	SAN SWR	SANITARY SEWER
FG	FINISH GRADE	SD	STORM DRAIN
FH	FIRE HYDRANT	SEC	SECONDARY
FL	FLOW LINE OR FLANGE	SS	SANITARY SEWER
GB	GRADE BREAK	STA	STATION
GF	GARAGE FLOOR	SW	SIDEWALK
GV	GATE VALVE	SWL	SECONDARY WATER LINE
HC	HANDICAP	TBC	TOP BACK OF CURB
HP	HIGH POINT	TOG	TOP OF GRATE
IRR	IRRIGATION	TOA	TOP OF ASPHALT
K	RATE OF VERTICAL CURVATURE	TOC	TOP OF CONCRETE
LD	LAND DRAIN	TOF	TOP OF FOUNDATION
LF	LINEAR FEET	TOW	TOP OF WALL
LP	LOW POINT	TOS	TOP OF STEP
MH	MANHOLE	TYP	TYPICAL
MIN	MINIMUM	VC	VERTICAL CURVE
MJ	MECHANICAL JOINT	WIV	WALL INDICATOR VALVE
NG	NATURAL GROUND	WL	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

GEND			
<u> </u>	SECTION CORNER		EXISTING EDGE OF ASPHALT
<b>Y</b>	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT	,	EXISTING STRIPING
0	EXISTING REBAR AND CAP		PROPOSED STRIPING
0	SET ENSIGN REBAR AND CAP	x	
WM	EXISTING WATER METER		PROPOSED FENCE
WM O	PROPOSED WATER METER		EXISTING FLOW LINE
(W)	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
<b>(</b> ()	PROPOSED WATER MANHOLE		GRADE BREAK
W	EXISTING WATER BOX	— — sd — —	EXISTING STORM DRAIN LINE
w	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
w	PROPOSED WATER VALVE		ROOF DRAIN LINE
R	EXISTING FIRE HYDRANT		CATCHMENTS
<i>&gt;</i> ₹0	PROPOSED FIRE HYDRANT	— HWL — —	HIGHWATER LINE
<i>*</i> ₹	PROPOSED FIRE DEPARTMENT CONNECTION	— — ss — —	EXISTING SANITARY SEWER
swv	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
swv	PROPOSED SECONDARY WATER VALVE	-	PROPOSED SAN. SWR. SERVICE LINE
(IRR)	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
IRR	EXISTING IRRIGATION VALVE	—— ID ——	PROPOSED LAND DRAIN LINE
IRR	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
(S)	EXISTING SANITARY SEWER MANHOLE	w	EXISTING CULINARY WATER LINE
<u> </u>	PROPOSED SANITARY SEWER MANHOLE	w	PROPOSED CULINARY WATER LINE
000	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LI
©	EXISTING STORM DRAIN CLEAN OUT BOX	<del></del> FWL	PROPOSED FIRE WATER LINE
0	PROPOSED STORM DRAIN CLEAN OUT BOX	· ··-	PROPOSED FIRE WATER SERVICE LINE
	EXISTING STORM DRAIN INLET BOX	— — sw — —	EXISTING SECONDARY WATER LINE
	EXISTING STORM DRAIN CATCH BASIN	—— sw ——	PROPOSED SECONDARY WATER LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN COMBO BOX	— irr — —	EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN COMBO BOX	—— IRR ——	PROPOSED IRRIGATION LINE
O CO	EXISTING STORM DRAIN CLEAN OUT	ohp	EXISTING OVERHEAD POWER LINE
~	EXISTING STORM DRAIN CULVERT	— e — —	EXISTING ELECTRICAL LINE
$\smile$	PROPOSED STORM DRAIN CULVERT	— — g — —	EXISTING GAS LINE
	TEMPORARY SAG INLET PROTECTION	t	EXISTING TELEPHONE LINE
	TEMPORARY IN-LINE INLET PROTECTION	<b>─</b> AR <b>─</b>	ACCESSIBLE ROUTE
	ROOF DRAIN		SAW CUT LINE
E	EXISTING ELECTRICAL MANHOLE		STRAW WATTLE
E	EXISTING ELECTRICAL BOX		TEMPORARY BERM
	EXISTING TRANSFORMER	—— SF ——	TEMPORARY SILT FENCE
B	EXISTING UTILITY POLE	LOD	LIMITS OF DISTURBANCE
፟፟	EXISTING LIGHT	=======	EXISTING WALL
<b>#</b>	PROPOSED LIGHT		PROPOSED WALL
-8*	EXISTING GAS METER	1===1	EXISTING CONTOURS
G	EXISTING GAS MANHOLE		PROPOSED CONTOURS
GV →	EXISTING GAS VALVE		BUILDABLE AREA WITHIN SETBACKS
1	EXISTING TELEPHONE MANHOLE		PUBLIC DRAINAGE EASEMENT
0	EXISTING TELEPHONE BOX		EXISTING ASPHALT TO BE REMOVED
TRAFFIC	EXISTING TRAFFIC SIGNAL BOX		PROPOSED ASPHALT
CABLE	EXISTING CABLE BOX		EXISTING CURB AND GUTTER

PROPOSED CURB AND GUTTER

TRANSITION TO REVERSE PAN CURB

EXISTING CONCRETE

EXISTING BUILDING

PROPOSED BUILDING

 $\overline{\phantom{a}}$ 

PROPOSED CONCRETE

BUILDING TO BE REMOVED

CONCRETE TO BE REMOVED

PROPOSED REVERSE PAN CURB AND GUTTER

PROPOSED SPOT ELEVATION EXISTING FLOW DIRECTION

EXISTING BOLLARD

EXISTING SIGN

PROPOSED SIGN

**EXISTING SPOT ELEVATION** 

PROPOSED BOLLARD

DENSE VEGETATION NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET THE STANDARD IN ENGINEERING

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2024-06-26 FOR REVIEW

**GENERAL NOTES** 

PROJECT NUMBER 12928 2024-09-03 PROJECT MANAGER

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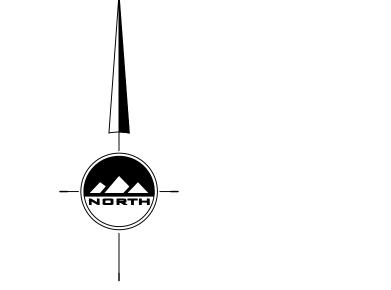
#### **GENERAL NOTES**

- 1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- 3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- 4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
- 5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- 6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC UNLESS OTHERWISE NOTED ON THESE PLANS.
- ENGINEERING AND TRANSPORTATION PERMITS ARE REQUIRED TO WORK IN THE PUBLIC RIGHT OF WAY. PLANS, LICENSE, BOND AND INSURANCE REQUIRED WITH PERMIT APPLICATION. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARDS (APWA STANDARDS AND SPECIFICATIONS AVAILABLE AT HTTPS://APWASTORE.NET/). ENGINEERING PERMIT AND TRANSPORTATION PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC RIGHT OF WAY. APPLY FOR THE ENGINEERING PERMIT AT HTTPS://ACA-PROD.ACCELA.COM/SLCREF/DEFAULT.ASPX.
- 8. NO PRIVATE INFRASTRUCTURE SUCH AS FOOTINGS/FOUNDATIONS/ENTRANCE STEPS/PERMANENT SOIL NAILS/SHORING/ TRANSFORMERS/ OIL-WATER SEPARATORS/ GREASE TRAPS ETC ARE PERMITTED IN THE PUBLIC RIGHT OF WAY.

#### **SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
- SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- (3) REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
- (4) SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- 5 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB WALL.
- 6 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK OR CONCRETE PAD.
- 7 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE WATERWAY.
- 8 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE DRIVE APPROACH.
- ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE
- 10 REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE, POST, AND GATES.
- REMOVE AND PROPERLY DISPOSE OF EXISTING SIGN.
- REMOVE EXISTING LANDSCAPING IN THIS AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- REMOVE AND PROPERLY DISPOSE OF EXISTING TREE AND/OR SHRUB. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- EXISTING WATER SERVICE TO BE ABANDONED. REMOVE AND PROPERLY DISPOSE OF EXISTING WATER METER. KILL EXISTING WATER SERVICE AT MAIN PER SALT LAKE CITY PUBLIC UTILITIES STANDARDS. SEE WATER SERVICE KILL DETAIL ON SHEET C-700.
- 15 REMOVE AND PROPERLY DISPOSE OF EXISTING METAL BOX.
- REMOVE AND PROPERLY DISPOSE OF EXISTING STORM DRAIN CATCH BASIN AND PIPING.
- REMOVE AND PROPERLY DISPOSE OF EXISTING LIGHT POLE AND BASE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- REMOVE AND PROPERLY DISPOSE OF EXISTING POWER POLES, BOXES, OVERHEAD POWER LINES, AND GUY WIRES. COORDINATE WITH LOCAL POWER COMPANY.
- REMOVE AND PROPERLY DISPOSE OF EXISTING IRRIGATION LINES, BOXES, AND VALVES.
- REMOVE AND PROPERLY DISPOSE OF EXISTING WATER LINES, BOXES, AND VALVES.
- REMOVE AND PROPERLY DISPOSE OF EXISTING GAS METER AND LINES. COORDINATE WITH LOCAL GAS COMPANY. REMOVE AND PROPERLY DISPOSE OF EXISTING BOLLARD.
- EXISTING SANITARY SEWER LATERAL TO BE CAPPED AND PLUGGED AT THE SEWER MAIN PER SLCDPU STANDARDS. ABANDON EXISTING SEWER LATERAL IN 500 SOUTH.
- REMOVE, PROPERLY DISPOSE, AND REPLACE EXISTING CONCRETE PAVEMENT TO THE NEAREST JOINT.



HORZ: 1 inch = 30 ft.



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**2024-06-26 FOR REVIEW** 

**DEMOLITION PLAN** 

2024-09-03 12928 PROJECT MANAGER DESIGNED BY



#### **GENERAL NOTES**

- 1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- 3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- 4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- 5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC UNLESS OTHERWISE NOTED ON THESE PLANS.
- 8. CONTRACTOR SHALL SWEEP TRACKED MUD AND DIRT FROM STREETS DAILY AND AS NEEDED. IN ADDITION TO DAILY CONTRACTOR INSPECTIONS, STREETS SHALL BE SWEPT UPON CITY AND OWNER REQUEST.
- 9. ENGINEERING AND TRANSPORTATION PERMITS ARE REQUIRED TO WORK IN THE PUBLIC RIGHT OF WAY. PLANS, LICENSE, BOND AND INSURANCE REQUIRED WITH PERMIT APPLICATION. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARDS (APWA STANDARDS AND SPECIFICATIONS AVAILABLE AT HTTPS://APWASTORE.NET/). ENGINEERING PERMIT AND TRANSPORTATION PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC RIGHT OF WAY. APPLY FOR THE ENGINEERING PERMIT AT HTTPS://ACA-PROD.ACCELA.COM/SLCREF/DEFAULT.ASPX.
- 10. NO PRIVATE INFRASTRUCTURE SUCH AS FOOTINGS/FOUNDATIONS/ENTRANCE STEPS/PERMANENT SOIL NAILS/SHORING/ TRANSFORMERS/ OIL-WATER SEPARATORS/ GREASE TRAPS ETC ARE PERMITTED IN THE PUBLIC RIGHT OF WAY.

#### **SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 3/C-700.
- 2 CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 4/C-700.
- (3) LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- (5) 30" TYPE "A" CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.
- (6) 30" MODIFIED TYPE "F" CURB AND GUTTER PER DETAIL 6/C-700.
- (7) 6" THICK RIBBON CURB.
- 8 6" WIDE CONCRETE MOW CURB.
- 9 FENCE WITH RETAINING WALL PANELS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- 11) 12" WIDE SOLID WHITE STOP BAR PER M.U.T.C.D. STANDARD PLANS.
- OPEN CONCRETE DRIVEWAY PER UDOT STANDARD DRAWING NO. GW 3B AND SPECIFICATIONS.
- (13) PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
- "NO PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- "RIGHT TURN ONLY" SIGN PER M.U.T.C.D. STANDARD PLANS.
- (18) ASPHALT PAVEMENT PER UDOT STANDARDS AND SPECIFICATIONS.
- TYPE "B1" CURB AND GUTTER PER UDOT STANDARD DRAWING NO. GW 2A AND SPECIFICATIONS.
- TYPE "B5" CURB PER UDOT STANDARD DRAWING NO. GW 2A AND SPECIFICATIONS. DOWEL CURB INTO ASPHALT AFTER ASPHALT PLACEMENT.
- PLOWABLE END SECTION PER UDOT STANDARD DRAWING NO. GW 1B AND SPECIFICATIONS.
- 6" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- CURB STOP PER DETAIL 5/C-700.
- DRAINAGE SWALE. SEE GRADING PLAN FOR ELEVATION INFORMATION.



THE STANDARD IN ENGINEERING 45 W 10000 S, Suite 500

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CONTACT: PAUL GARBETT

PHONE: 801.456.2474

1000 WES SOUTH 549 CITY •ජ 900 WES

**550 SOUTH** 

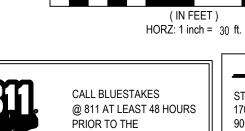
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BENCHMARK STREET MONUMENT 1700 SOUTH STREET & 900 WEST STREET

ELEV = 4227.53'



#### **GENERAL NOTES**

- 1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- 3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- 4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- 5. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 6. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- 7. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- 8. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 9. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- 10. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC UNLESS OTHERWISE NOTED ON THESE PLANS.
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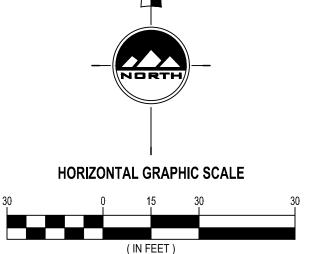
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**GRADING PLAN** 

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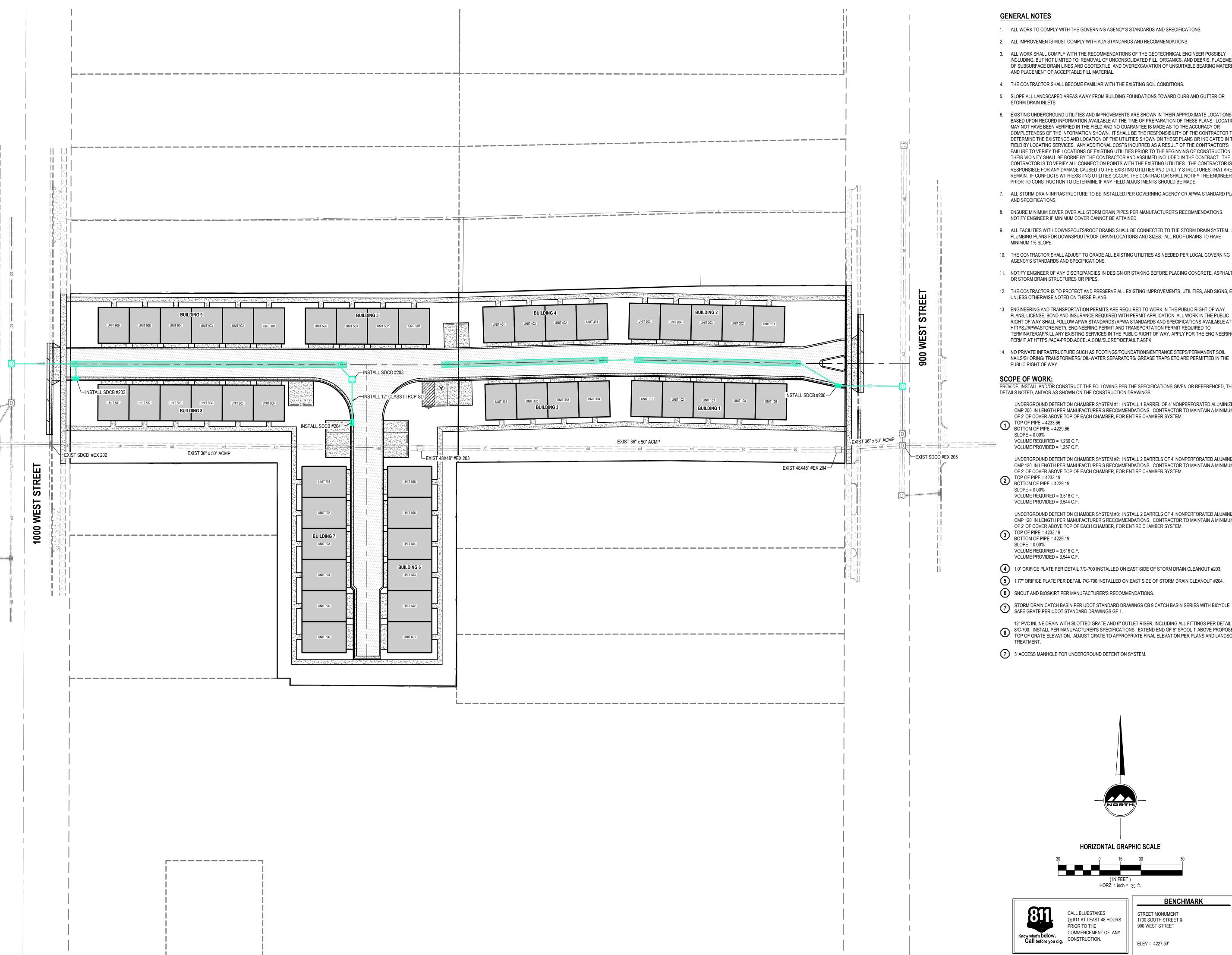
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ELEV = 4227.53'



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- 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- 3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- 4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- 5. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR
- 6. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE T REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- 7. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- 8. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- 9. ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE
- 10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 11. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
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UNDERGROUND DETENTION CHAMBER SYSTEM #1: INSTALL 1 BARREL OF 4' NONPERFORATED ALUMINIZED CMP 200' IN LENGTH PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO MAINTAIN A MINIMUM OF 2' OF COVER ABOVE TOP OF EACH CHAMBER, FOR ENTIRE CHAMBER SYSTEM.

VOLUME REQUIRED = 1,230 C.F.

VOLUME PROVIDED = 1,257 C.F.

UNDERGROUND DETENTION CHAMBER SYSTEM #2: INSTALL 2 BARRELS OF 4' NONPERFORATED ALUMINIZED CMP 120' IN LENGTH PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO MAINTAIN A MINIMUM OF 2' OF COVER ABOVE TOP OF EACH CHAMBER, FOR ENTIRE CHAMBER SYSTEM.

VOLUME REQUIRED = 3,516 C.F.

UNDERGROUND DETENTION CHAMBER SYSTEM #3: INSTALL 2 BARRELS OF 4' NONPERFORATED ALUMINIZED CMP 120' IN LENGTH PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO MAINTAIN A MINIMUM OF 2' OF COVER ABOVE TOP OF EACH CHAMBER, FOR ENTIRE CHAMBER SYSTEM.

VOLUME REQUIRED = 3,516 C.F.

- (4) 1.0" ORIFICE PLATE PER DETAIL 7/C-700 INSTALLED ON EAST SIDE OF STORM DRAIN CLEANOUT #203.
- 1.77" ORIFICE PLATE PER DETAIL 7/C-700 INSTALLED ON EAST SIDE OF STORM DRAIN CLEANOUT #204.
- 6 SNOUT AND BIOSKIRT PER MANUFACTURER'S RECOMMENDATIONS.
- STORM DRAIN CATCH BASIN PER UDOT STANDARD DRAWINGS CB 9 CATCH BASIN SERIES WITH BICYCLE SAFE GRATE PER UDOT STANDARD DRAWINGS GF 1.
- 8/C-700. INSTALL PER MANUFACTURER'S SPECIFICATIONS. EXTEND END OF 6" SPOOL 1' ABOVE PROPOSED TOP OF GRATE ELEVATION. ADJUST GRATE TO APPROPRIATE FINAL ELEVATION PER PLANS AND LANDSCAPE
- 3' ACCESS MANHOLE FOR UNDERGROUND DETENTION SYSTEM.



HORZ: 1 inch = 30 ft.

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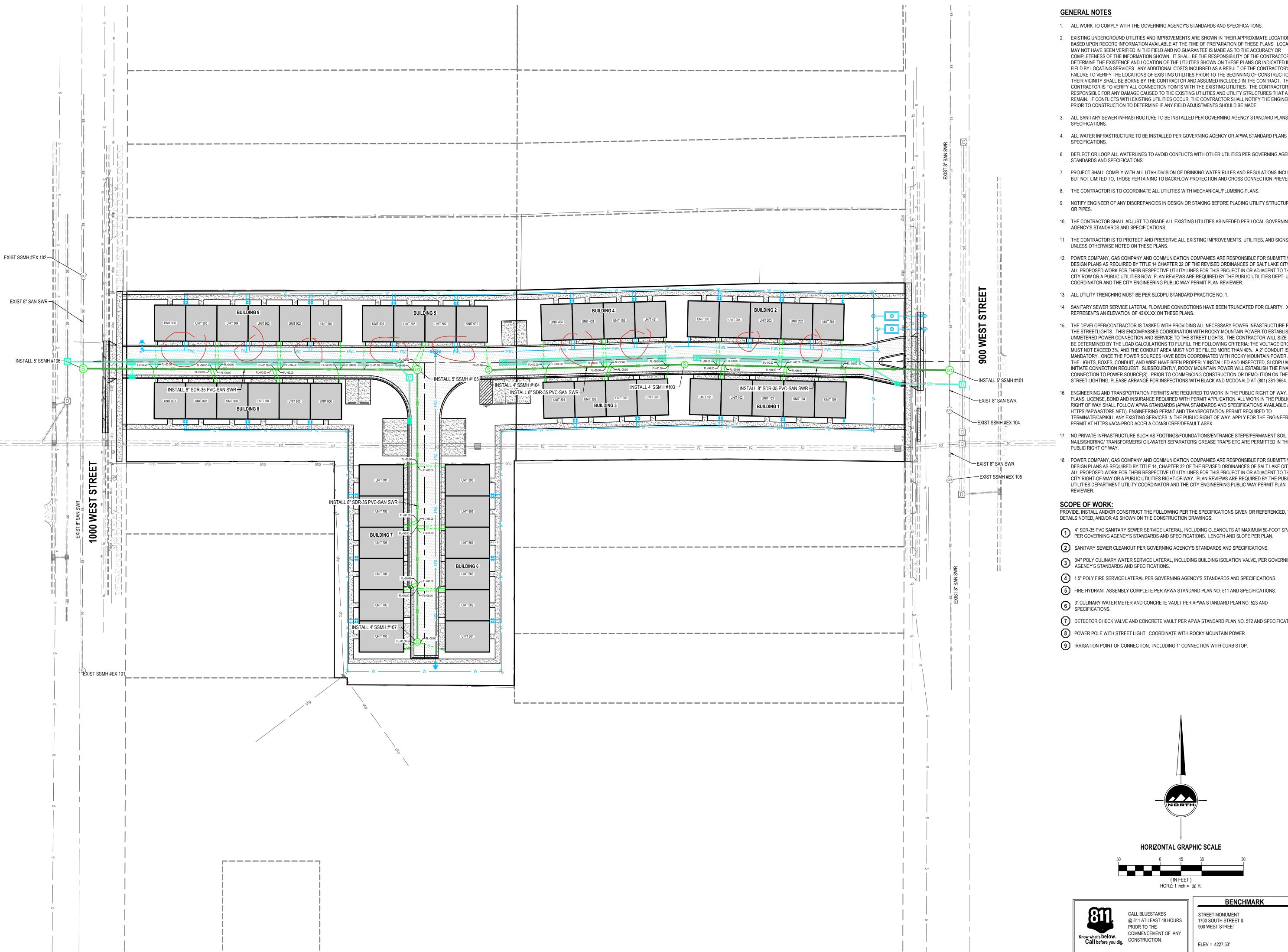
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DRAINAGE PLAN

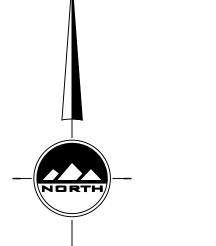
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#### **GENERAL NOTES**

- 1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- 3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
- 4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- 6. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 7. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION
- 8. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
- 9. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES
- 10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 11. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- 12. POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPT. UTILIT COORDINATOR AND THE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.
- 13. ALL UTILITY TRENCHING MUST BE PER SLCDPU STANDARD PRACTICE NO. 1.
- 14. SANITARY SEWER SERVICE LATERAL FLOWLINE CONNECTIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 42XX.XX ON THESE PLANS.
- 15. THE DEVELOPER/CONTRACTOR IS TASKED WITH PROVIDING ALL NECESSARY POWER INFASTRUCTURE FOR THE STREETLIGHTS. THIS ENCOMPASSES COORDINATION WITH ROCKY MOUNTAIN POWER TO ESTABLISH AN UNMETERED POWER CONNECTION AND SERVICE TO THE STREET LIGHTS. THE CONTRACTOR WILL SIZE WILL BE DETERMINED BY THE LOAD CALCULATIONS TO FULFILL THE FOLLOWING CRITERIA: THE VOLTAGE DROP MUST NOT EXCEED 3%, AND THE CONDUIT AREA MUST NOT BE FILLED MORE THAN 40%. A 2" CONDUIT IS MANDATORY. ONCE THE POWER SOURCES HAVE BEEN COORDINATED WITH ROCKY MOUNTAIN POWER AND THE LIGHTS, BOXES, CONDUIT, AND WIRE HAVE BEEN PROPERLY INSTALLED AND INSPECTED, SLCDPU WILL INITIATE CONNECTION REQUEST. SUBSEQUENTLY, ROCKY MOUNTAIN POWER WILL ESTABLISH THE FINAL CONNECTION TO POWER SOURCE(S). PRIOR TO COMMENCING CONSTRUCTION OR DEMOLITION ON THE STREET LIGHTING, PLEASE ARRANGE FOR INSPECTIONS WITH BLACK AND MCDONALD AT (801) 381-9654.
- 16. ENGINEERING AND TRANSPORTATION PERMITS ARE REQUIRED TO WORK IN THE PUBLIC RIGHT OF WAY. PLANS, LICENSE, BOND AND INSURANCE REQUIRED WITH PERMIT APPLICATION. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARDS (APWA STANDARDS AND SPECIFICATIONS AVAILABLE AT HTTPS://APWASTORE.NET/). ENGINEERING PERMIT AND TRANSPORTATION PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC RIGHT OF WAY. APPLY FOR THE ENGINEERING PERMIT AT HTTPS://ACA-PROD.ACCELA.COM/SLCREF/DEFAULT.ASPX.
- NAILS/SHORING/ TRANSFORMERS/ OIL-WATER SEPARATORS/ GREASE TRAPS ETC ARE PERMITTED IN THE PUBLIC RIGHT OF WAY.
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- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 4" SDR-35 PVC SANITARY SEWER SERVICE LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 50-FOOT SPACING PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
- (2) SANITARY SEWER CLEANOUT PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 3/4" POLY CULINARY WATER SERVICE LATERAL, INCLUDING BUILDING ISOLATION VALVE, PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- (4) 1.5" POLY FIRE SERVICE LATERAL PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- (5) FIRE HYDRANT ASSEMBLY COMPLETE PER APWA STANDARD PLAN NO. 511 AND SPECIFICATIONS.
- 3" CULINARY WATER METER AND CONCRETE VAULT PER APWA STANDARD PLAN NO. 523 AND SPECIFICATIONS.
- (7) DETECTOR CHECK VALVE AND CONCRETE VAULT PER APWA STANDARD PLAN NO. 572 AND SPECIFICATIONS. 8 POWER POLE WITH STREET LIGHT. COORDINATE WITH ROCKY MOUNTAIN POWER.
- (9) IRRIGATION POINT OF CONNECTION, INCLUDING 1" CONNECTION WITH CURB STOP.



HORIZONTAL GRAPHIC SCALE

HORZ: 1 inch = 30 ft.



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PAUL GARBETT

PHONE: 801.456.2474

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900

**550 SOUTH** 

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**2024-06-26 FOR REVIEW** 

**UTILITY PLAN** 

2024-09-03 12928 PROJECT MANAGER DESIGNED BY



#### **GENERAL NOTES**

- 1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- 2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- 3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- 4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- 5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- 6. NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- 7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

#### **SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1) INLET PROTECTION PER DETAIL 9/C-700.
- SILT FENCE PER DETAIL 10/C-700.
- 3 PORTABLE TOILET.
- 4 VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 8/C-700.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- 6 SUGGESTED STOCKPILE AREA.

REVISION SCHEDULE					
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE		
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					
40					



45 W 10000 S, Suite 500 Sandy, UT 84070 Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

Phone: 435.843.3590

**CEDAR CITY** Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

1000 WEST

SOUTH

**1550 SOUTH 900 WES** 

GARBETT HOMES 273 NORTH EAST CAPITOL STREET SALT ALAKE CITY, UTAH 84103

CONTACT: PAUL GARBETT

PHONE: 801.456.2474

**2024-06-26 FOR REVIEW** 

**EROSION CONTROL PLAN** 

2024-09-03 PROJECT MANAGER DESIGNED BY

BENCHMARK CALL BLUESTAKES STREET MONUMENT @ 811 AT LEAST 48 HOURS 1700 SOUTH STREET & PRIOR TO THE 900 WEST STREET Know what's below.
Call before you dig.
COMMENCEMENT OF ANY
CONSTRUCTION. ELEV = 4227.53'

HORZ: 1 inch = 30 ft.



Landscape

Qty	Symbol	Common Name	Botanical Name	Plant Size
4		Norway Spruce	Picea abies	6' Min.
10		Amur Maple	Acer ginnala 'Flame'	2" Cal.
9		Eastern Redbud	Cercis canadensis	2" Cal.

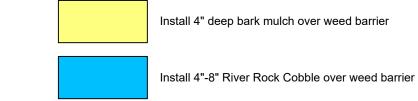
#### Shrubs-Grasses

Qty	Symbol	Common Name	Botanical Name	Plant Size
91	0	Boxwood, Littleleaf	Buxus microphylla	5 Gallon
121	0	Barberry, 'Crimson Pygmy'	Berberis thunbergii atropurpurea nana	5 Gallon
84	$\Diamond$	Cinquefoil	Potentilla fruticosa 'Abbotswood'	5 Gallon
236	€	Fountain Grass	Festuca ovina glauca	1 Gallon
65	0	Blue Fescue	Festuca ovina glauca	1 Gallon

#### Annuals-Perennials

Qty	Symbol	Common Name	Botanical Name	Plant Size
174	⊗	Black-Eyed Susan	Rudbeckia hirta	1 Gallon
83	$\mathfrak{S}$	Pink Hardy Iceplant	Delosperma cooperi	1 Gallon
$\overline{}$				

1 Install 6" Concrete Edging





**BENCHMARK** STREET MONUMENT 1700 SOUTH STREET & 900 WEST STREET

ELEV = 4227.53'

HORZ: 1 inch = 30 ft.

CALL BLUESTAKES

PRIOR TO THE

Know what's below.
Call before you dig.
CONSTRUCTION.

@ 811 AT LEAST 48 HOURS

2024-09-26 12928 PROJECT MANAGER DESIGNED BY

**JBDIVISION** 

THE STANDARD IN ENGINEERING

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1550 SOUTH 900 WEST SALT LAK

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**TOOELE** 

**CEDAR CITY** 

RICHFIELD

2024-06-26 FOR REVIEW

LANDSCAPE PLAN