

SILOS APARTMENTS - BUILDING 2

SALT LAKE CITY, UT

PLANNED DEVELOPMENT
DESIGN REVIEW

PROJECT DATA

CONTACT

OWNERSHIP

SILOS SOUTH APARTMENTS, LLC
2170 S MCCLELLAND ST, SUITE 100
SALT LAKE CITY, UT 84106

ARCHITECT

MOVE+PARTNERS
1900 Main Street, Suite 800
Irvine, CA 92614

CIVIL

CECIL ENGINEERING
8610 Sandy Parkway, Suite 200,
Salt Lake City, UT 84070

LANDSCAPE

WENK ASSOCIATES
1130 31st Street, Suite 101
Denver, CO 80205

PROJECT DESCRIPTION

Single-use project conceptual consisting of 5 levels of type III over 3 levels of type IA construction with total unit count of 275 units. This project conceptually features over 197,530 SF of residential, 1,270 SF of retail, 1,260 SF of amenity, and 49,020 SF of above grade parking.

In addition to residential, the following levels provide these uses:

Level 1, housed a retail space.

Level 4, on the concrete podium roof deck, and deck restroom.

ZONE

ADDRESS: 600 South 400 West
Salt Lake City, Utah
AP: -
ZONE: CG
DESIGNATION: CG

The purpose of the CG General Commercial District is to provide an environment for a variety of commercial uses, some of which involve the outdoor display/storage of merchandise or materials. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office, residential, heavy commercial and low intensities of manufacturing and warehouse uses. This district is appropriate in locations where supported by applicable master plans and along major arterials. Safe, convenient and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. The standards are intended to create a safe and aesthetically pleasing commercial environment for all users.

LOT INFORMATION

LOT 2 (BLDG 2)
LOT AREA: 1.828 ACRE
BUILDING AREA: -
ALLOWABLE FLOOR AREA LIMIT: -
UNITS IN LOT: 275 DU
DU PER ACRE: 150 DU

*SEE SITE PLAN FOR AP AND LOT CONSOLIDATION

HEIGHT

HEIGHT ALLOWABLE:

No building shall exceed seventy five feet (75') unless the property is within the following boundary: from 400 South to 700 South from 300 West to I-15, where buildings shall not exceed one hundred fifty feet (150'). Additionally, buildings taller than seventy five feet (75') to a maximum of one hundred and five feet (105') outside of the described boundary may be allowed in accordance with the provisions of Subsections G.1 through G.3 of this section. (21A.26.070)

The property is within the boundary: from 400 South to 700 South from 300 West to I-5.

PROPOSED: 85' - 0"

SETBACKS

REQUIRED:
Front Yard: Five feet (5')
Corner Side Yard: Ten feet (10')
Interior Side Yard: None Required
Rear Yard: Ten feet (10')
Buffer Yard: All lots abutting residential property shall conform to the buffer yard requirements of chapter 21a.48 of this title

PROPOSED:
Front Yard: Five feet and three inches (5'-3")
Corner Side Yard: Ten feet and six inches (10'-6")
Interior Side Yard: Thirty eight feet and two inches (38'-2")
Rear Yard: Thirty feet (30')
Buffer Yard: -

MIDBLOCK WALKWAY

MIDBLOCK WALKWAY 21A.26.070.H

The midblock walkway must be a minimum of fifteen feet (15') wide and include a minimum six feet (6') wide unobstructed path.

Building encroachments into the midblock walkway are permitted if they include one or more of the following elements:

- Colonnades;
- Staircases;
- Balconies - All balconies must be located at the third story or above;
- Building overhangs and associated cantilever - These coverings may be between nine feet (9') and fourteen feet (14') above the level of the sidewalk. They shall provide a minimum depth of coverage of six feet (6') and project no closer to the curb than three feet (3');
- Skybridge - A single skybridge is permitted. All skybridges must be located at the third, fourth, or fifth stories, and
- Other architectural element(s) not listed above that offers refuge from weather and/or provide publicly accessible usable space.

PARKING

RESIDENTIAL

- (ZONE CG) Per table 21A-44.040-A; studio and 1 bedrooms: (1) space per DU, 2+ bedrooms (1.25) parking spaces per DU.
- Per 21A.44.040-A, the maximum parking all contexts: studio & bedroom: (2) spaces per DU 2+ bedrooms: 3 spaces per DU.
- Per 21A.44.040.D.3, 1 Per 50 parking spaces, ADA stalls required.
- Per IBC 1106.5, (1) VAN stall shall be required for every (6) ADA stalls
- Per 21A.44.040.C, (1) EV stall shall be required every 25 spaces
- Tandem stalls to be assigned to a single unit
- Per 21A.44.050-A, B Shared parking can be reduced by the provided reduction factor.
- Per 21A.44.070, (1) short loading zone required for the first 80-200 Dwelling units, and (1) additional short loading zone for additional units exceeding 200 units of Multi-Family Residential

RETAIL

- Per table 21A-44.040 -A Two space shall be required per 1,000 SF of usable area.
- Per table 21A-44.040 -A the max parking is 4 spaces per 1,000 SF.
- Per 21A.44.080, (1) short loading zone required for 25,000-40,000 SF of retail.

RESIDENTIAL PARKING REQUIRED

RESIDENTIAL (275 DU) REQUIRED:
(31.28D= 39) + (144 1BD= 144) + (100 STUDIO = 100) = 283

REQUIRED RES TOTAL = 283 SPACES

RETAIL PARKING

REQUIRED RETAIL (1,110 SF): 2 SPACES / 1,000 SF

REQUIRED RETAIL TOTAL = 2 SPACES

STANDARD STALLS REQUIRED: 266 SPACES
ADA STALLS REQUIRED (2% OF TOTAL): 6 SPACES
ADA VAN STALLS REQUIRED (1 SPACE/ 8 ADA): 1 SPACE
EV STALLS REQUIRED (1 SPACE/ 25 SPACES): 12 SPACES

REQUIRED TOTAL (RESIDENTIAL + RETAIL): 285 SPACES

CONCEPTUAL PROPOSED TOTAL: 486 SPACES

INDOOR PARKING

LEVEL	PARKING TYPE	DESCRIPTION	STALL DEPTH	STALL WIDTH	COUNT
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	ACCESSIBLE	18' - 0"	8' - 0"	5
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	ACCESSIBLE - EV	18' - 0"	8' - 0"	1
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	ACCESSIBLE - VAN EV	18' - 0"	8' - 0"	1
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	STANDARD	17' - 6"	8' - 9"	90
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	STANDARD - EV	17' - 6"	8' - 9"	14
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	TANDEM	17' - 6"	8' - 9"	23
BLDG 2 - LEVEL 1 (+4232.0): 134					134
BLDG 2 - LEVEL 2	RESIDENT	ACCESSIBLE	18' - 0"	8' - 0"	1
BLDG 2 - LEVEL 2	RESIDENT	STANDARD	17' - 6"	8' - 9"	123
BLDG 2 - LEVEL 2	RESIDENT	TANDEM	17' - 6"	8' - 9"	19
BLDG 2 - LEVEL 2: 143					143
BLDG 2 - LEVEL 3	RESIDENT	ACCESSIBLE	18' - 0"	8' - 0"	1
BLDG 2 - LEVEL 3	RESIDENT	STANDARD	17' - 6"	8' - 9"	125
BLDG 2 - LEVEL 3	RESIDENT	TANDEM	17' - 6"	8' - 9"	22
BLDG 2 - LEVEL 3: 148					148
TOTAL					425

OUTDOOR PARKING

LEVEL	PARKING TYPE	DESCRIPTION	STALL DEPTH	STALL WIDTH	COUNT
BLDG 2 - LEVEL 1 (+4232.0)	STANDARD	STANDARD	17' - 6"	8' - 9"	31
BLDG 2 - LEVEL 1 (+4232.0)	STANDARD	ACCESSIBLE	18' - 0"	8' - 0"	3
BLDG 2 - LEVEL 1 (+4232.0)	STANDARD	STANDARD	17' - 6"	8' - 9"	27
BLDG 2 - LEVEL 1 (+4232.0): 61					61
TOTAL					61

CONCEPTUAL PROPOSED TOTAL: 486 SPACES

BICYCLE PARKING

BICYCLE PARKING ZONING REQUIREMENT

Per Table 21A.44.040-C, for Residential Uses in all zoning districts not listed in another context area, bicycle parking shall be 1 per 5 units. Public uses in all zoning districts not listed in another context area, bicycle parking shall be 1 per 5 units.
Per 21a.44.040.E.4 Secure/Enclosed Bicycle Parking: Each one (1) bicycle parking space that is within a secure/ enclosed bicycle parking facility may be used to satisfy the requirement of two (2) required bicycle parking spaces.

1. REQUIRED:

BICYCLE REQUIRED RESIDENTIAL: 275 DU/ 5 = 55 TOTAL UN-ENCLOSED

2. CONCEPTUAL PROPOSED:

BICYCLE CONCEPTUAL PROPOSED SECURE/ ENCLOSED BLDG 2: 38

NOTE: REQUIRED ON-SITE BIKE PARKING NOT A PART OF BUILDING 3 PROVIDED THROUGH THE LOCATIONS NOT A PART OF THIS PACKAGE (BUILDING 2) TO BE SUBMITTED SEPARATELY

CONCEPTUAL GROSS BUILDING AREA

Name	Area
BIKE STORAGE	570 SF
CORRIDOR	14,990 SF
DECK	11,830 SF
ELEC. RM	2,690 SF
FIRE RISER	260 SF
GARAGE	141,950 SF
GENERATOR RM	380 SF
LOBBY	5,490 SF
MAIL & PARCEL	670 SF
MECH. RM	230 SF
RESIDENTIAL UNITS	174,060 SF
RESTROOM	140 SF
RETAIL	1,230 SF
RETAIL TRASH	310 SF
STAIR	4,360 SF
SUPPORT	2,130 SF
TRASH	1,020 SF
	362,320 SF

CONCEPTUAL RESIDENTIAL DENSITY

DWELLING UNITS CONCEPTUAL PROPOSED:

STUDIO	100	36%
1BD/1BA	142	52%
1BD/1BA + DEN	2	1%
2BD/2BA	31	11%

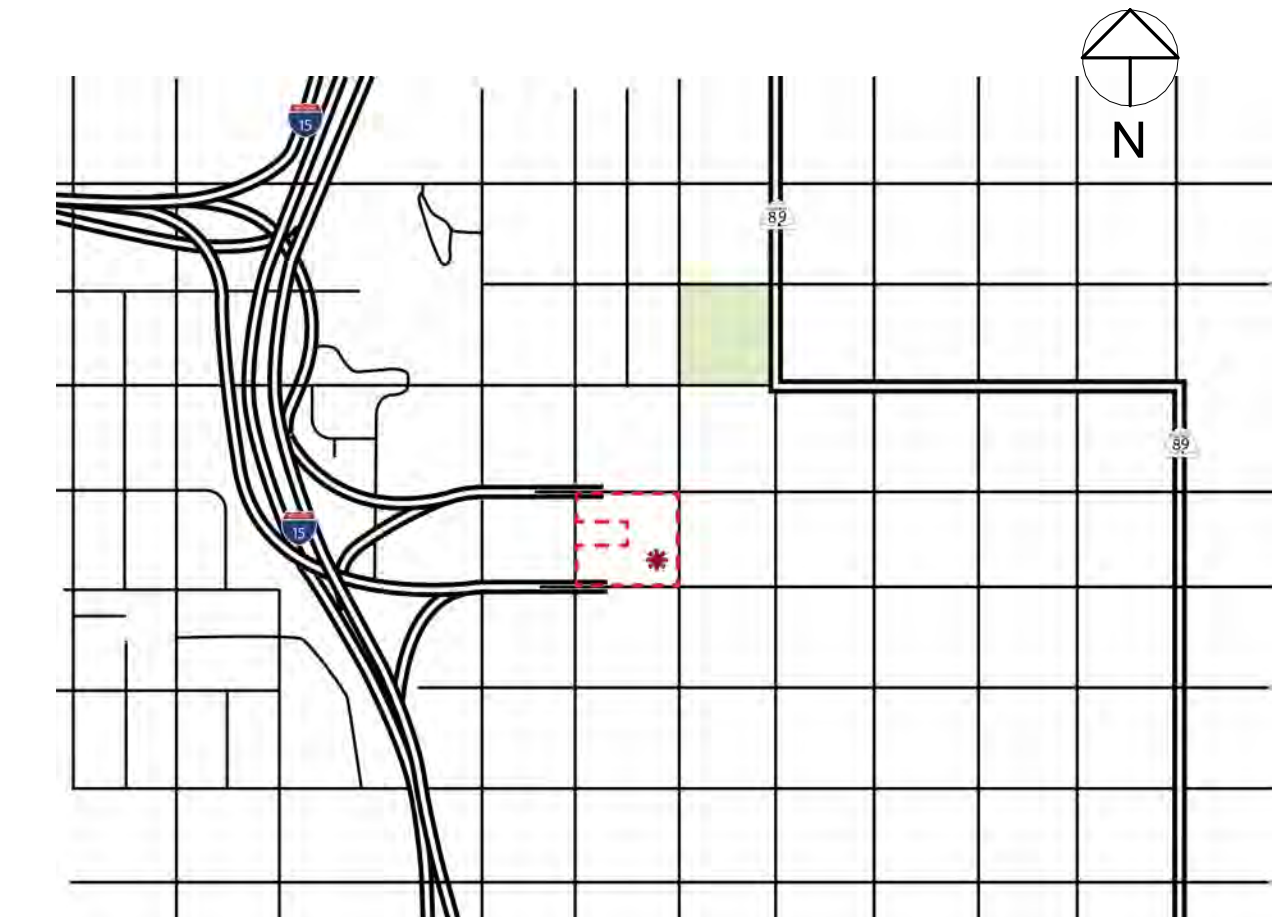
CONCEPTUAL AVERAGE HUD NET RENTABLE UNIT SIZE: 582 SF
CONCEPTUAL AVERAGE MARKET UNIT SIZE: 630 SF

CONCEPTUAL TOTAL HUD NET RENTABLE: 159,966 SF
CONCEPTUAL TOTAL MARKET NET: 174,300 SF

TYPE A UNITS = 6 UNITS OUT OF 275 = 2%
TYPE B UNITS = 269 UNITS OUT OF 275

UNIT COUNT				
UNIT	UNIT TYPE	MARKET RENTABLE AREA (SF)	NET RENTABLE AREA (SF)	UNIT COUNT
1 BEDROOM	1B-01	700 SF	649 SF	75
1 BEDROOM	1B-01.1	800 SF	741 SF	5
1 BEDROOM	1B-02	611 SF	561 SF	20
1 BEDROOM	1B-03	650 SF	606 SF	5
1 BEDROOM	1B-04	619 SF	568 SF	15
1 BEDROOM	1B-05	497 SF	452 SF	15
1 BEDROOM	1B-06	797 SF	723 SF	5
1 BEDROOM	1B-07	752 SF	696 SF	2
1 BEDROOM + DEN	1B-09	903 SF	833 SF	5
2 BEDROOMS	2B-01	956 SF	898 SF	13
2 BEDROOMS	2B-01.1	1,071 SF	995 SF	5
2 BEDROOMS	2B-03	997 SF	936 SF	9
2 BEDROOMS	2B-04	822 SF	766 SF	1
STUDIO	ST-01	469 SF	427 SF	90
STUDIO	ST-02	453 SF	412 SF	10
				275

VICINITY MAP



SHEET INDEX

ARCHITECTURE

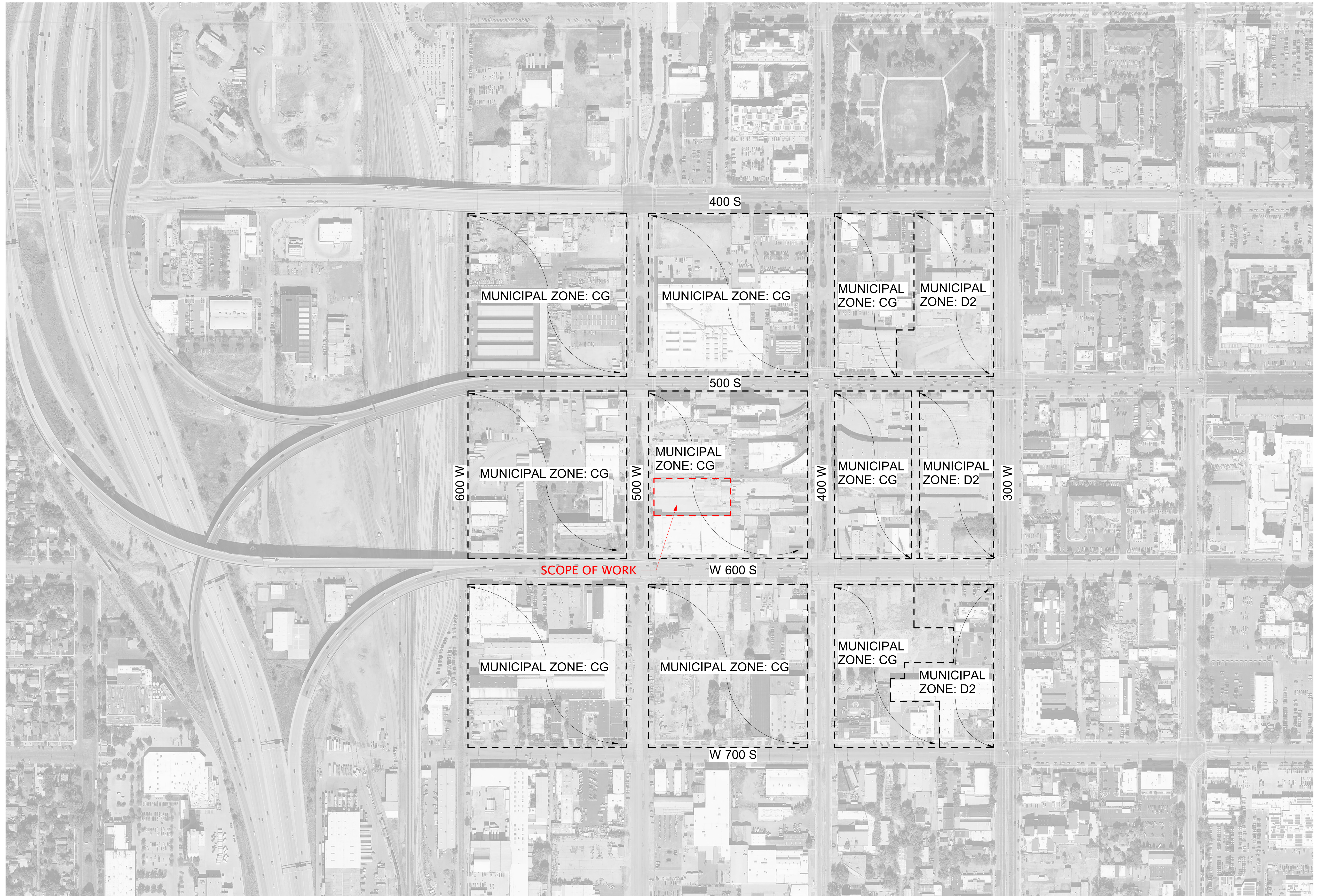
A0-0	COVERSHEET
A0-1	PROJECT DATA
A0-2	SITE CONTEXT
A0-3	SITE PLAN
A0-5	SHADOW ANALYSIS
A0-6	SITE CONTEXT IMAGERY
A1-1	BLDG 2 - LEVEL 1
A1-2	BLDG 2 - LEVEL 2
A1-3	BLDG 2 - LEVEL 3
A1-4	BLDG 2 - LEVEL 4
A1-5	BLDG 2 - LEVEL 5 (LEVEL 6-8 SIM)
A2-1	BUILDING ELEVATIONS
A2-2	BUILDING ELEVATIONS
A3-1	BUILDING SECTIONS
A3-2	WALL SECTION
A4-1	CONCEPTUAL ENLARGED UNIT PLANS
A4-2	CONCEPTUAL ENLARGED UNIT PLANS
A4-3	CONCEPTUAL ENLARGED UNIT PLANS
A4-4	CONCEPTUAL ENLARGED UNIT PLANS
A4-5	CONCEPTUAL ENLARGED UNIT PLANS
A4-6	CONCEPTUAL ENLARGED UNIT PLANS
A4-7	CONCEPTUAL ENLARGED UNIT PLANS
A5-1	CONCEPTUAL BUILDING PERSPECTIVE
A5-2	CONCEPTUAL BUILDING PERSPECTIVE
A5-3	CONCEPTUAL BUILDING PERSPECTIVE
A5-4	CONCEPTUAL BUILDING PERSPECTIVE
A5-5	CONCEPTUAL BUILDING PERSPECTIVE
A5-6	CONCEPTUAL BUILDING PERSPECTIVE
A6-1	LIGHTING AND SIGNAGE PLAN
A6-2	LIGHTING AND SIGNAGE PLAN
A6-3	LIGHTING AND SIGNAGE PLAN

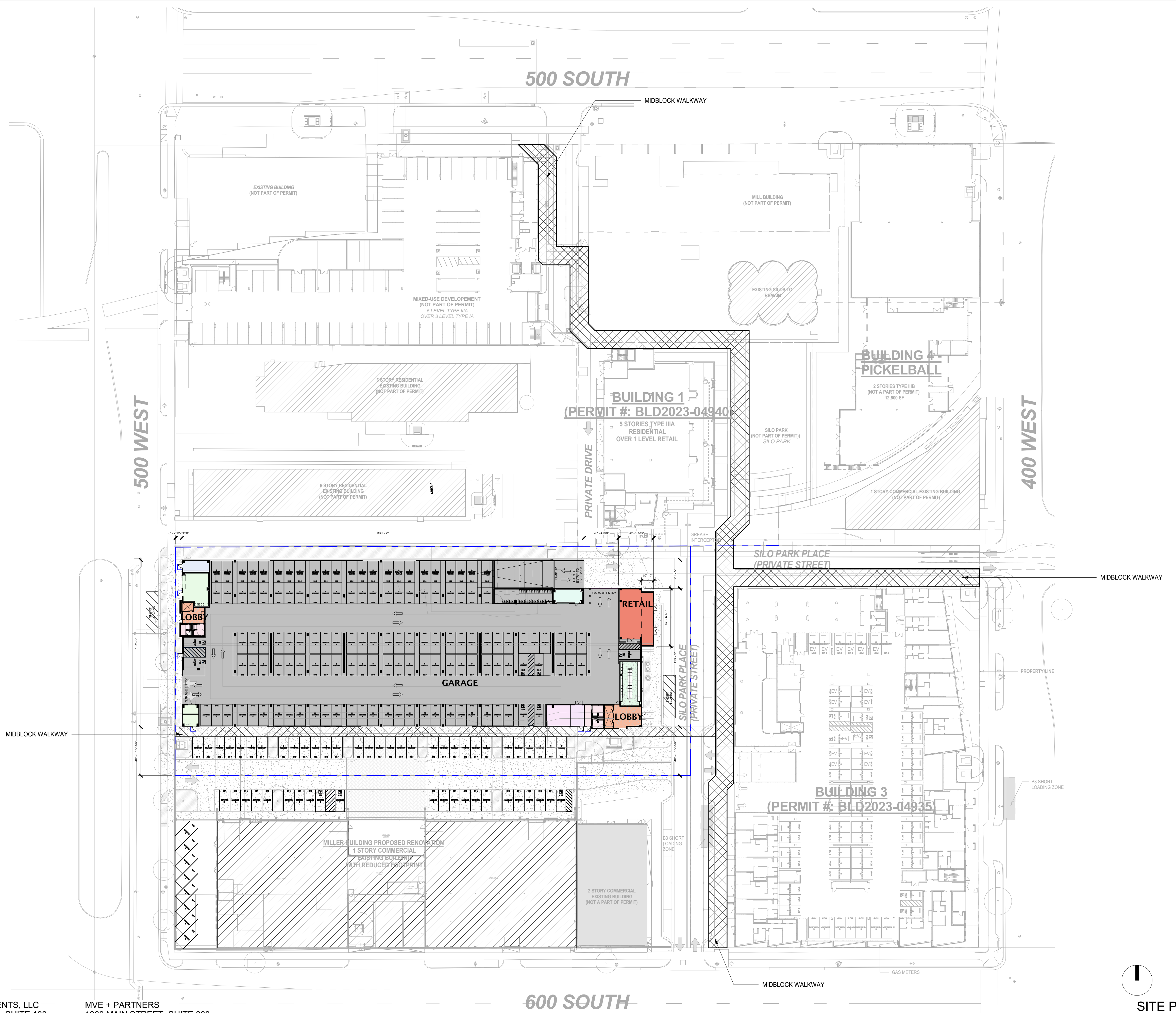
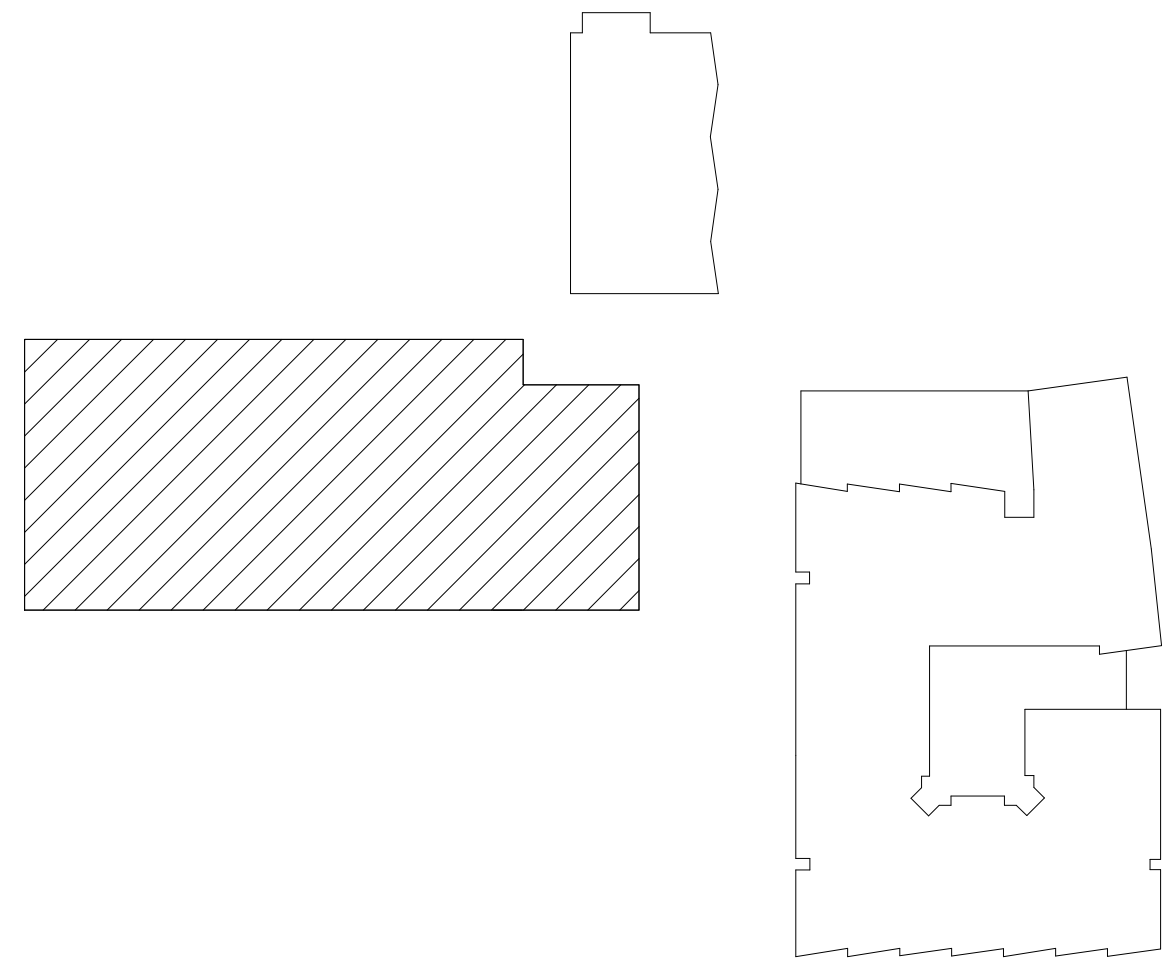
CIVIL

CSP-1	CONCEPTUAL SITE PLAN
CUP-1	CONCEPTUAL UTILITY PLAN
CDP-1	CONCEPTUAL DRAINAGE PLAN

LANDSCAPE

L-100	LANDSCAPE COVER, NOTES, AND SHEET INDEX
L-101	LANDSCAPE LAYOUT AND MATERIALS PLAN
L-200	SITE DETAILS
L-300	PLANTING PLAN
L-400	PLANTING DETAILS





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SALT LAKE CITY, UT 84101

PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

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A0-3
SITE PLAN
1" = 40'-0"
08/01/2024

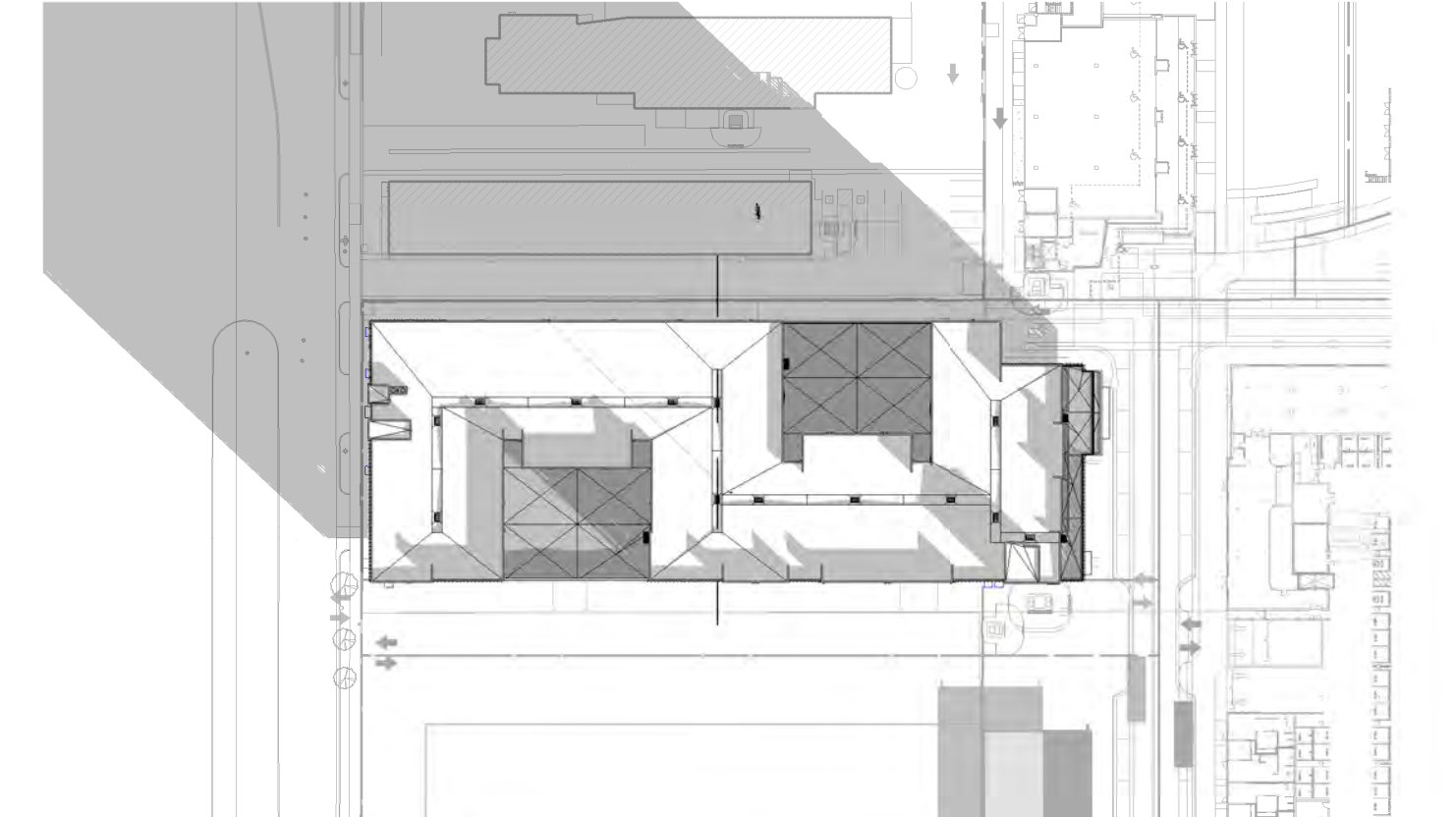
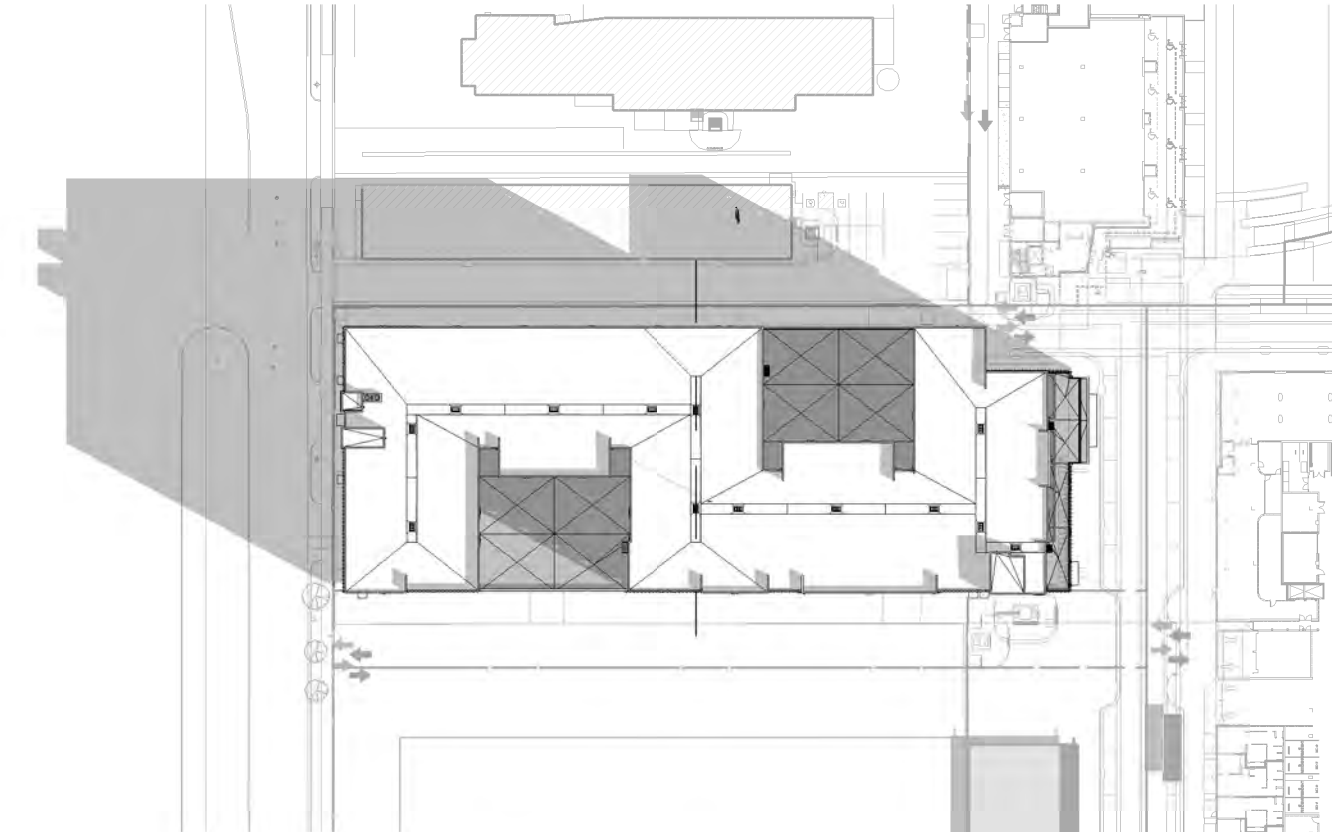
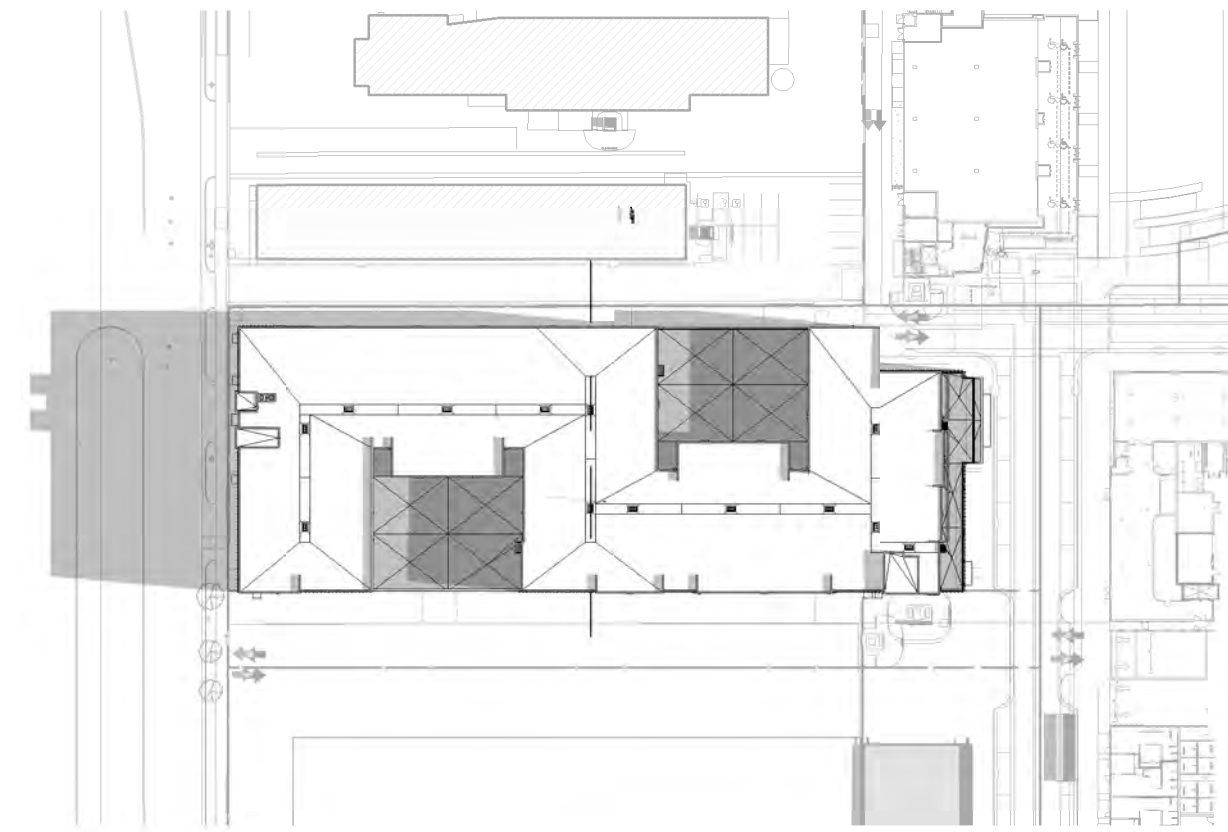
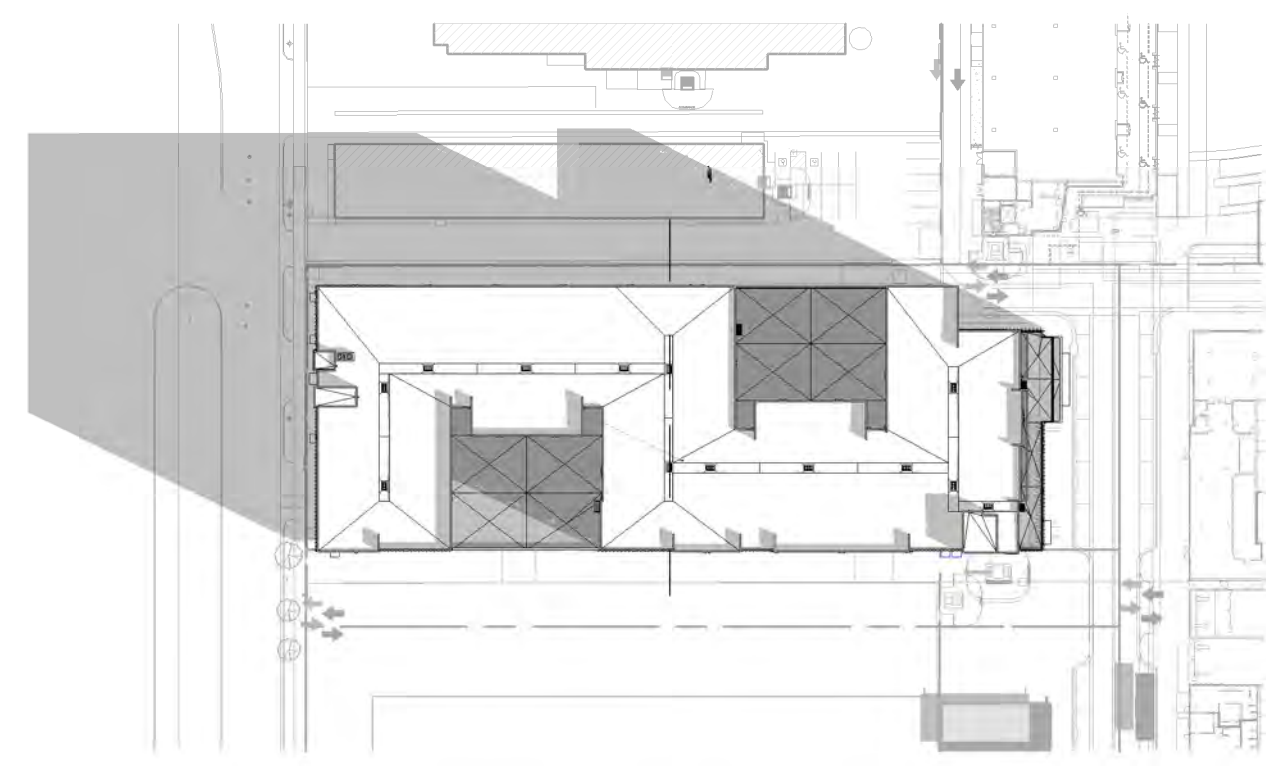
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MARCH 20

SUMMER SOLSTICE
JUNE 21

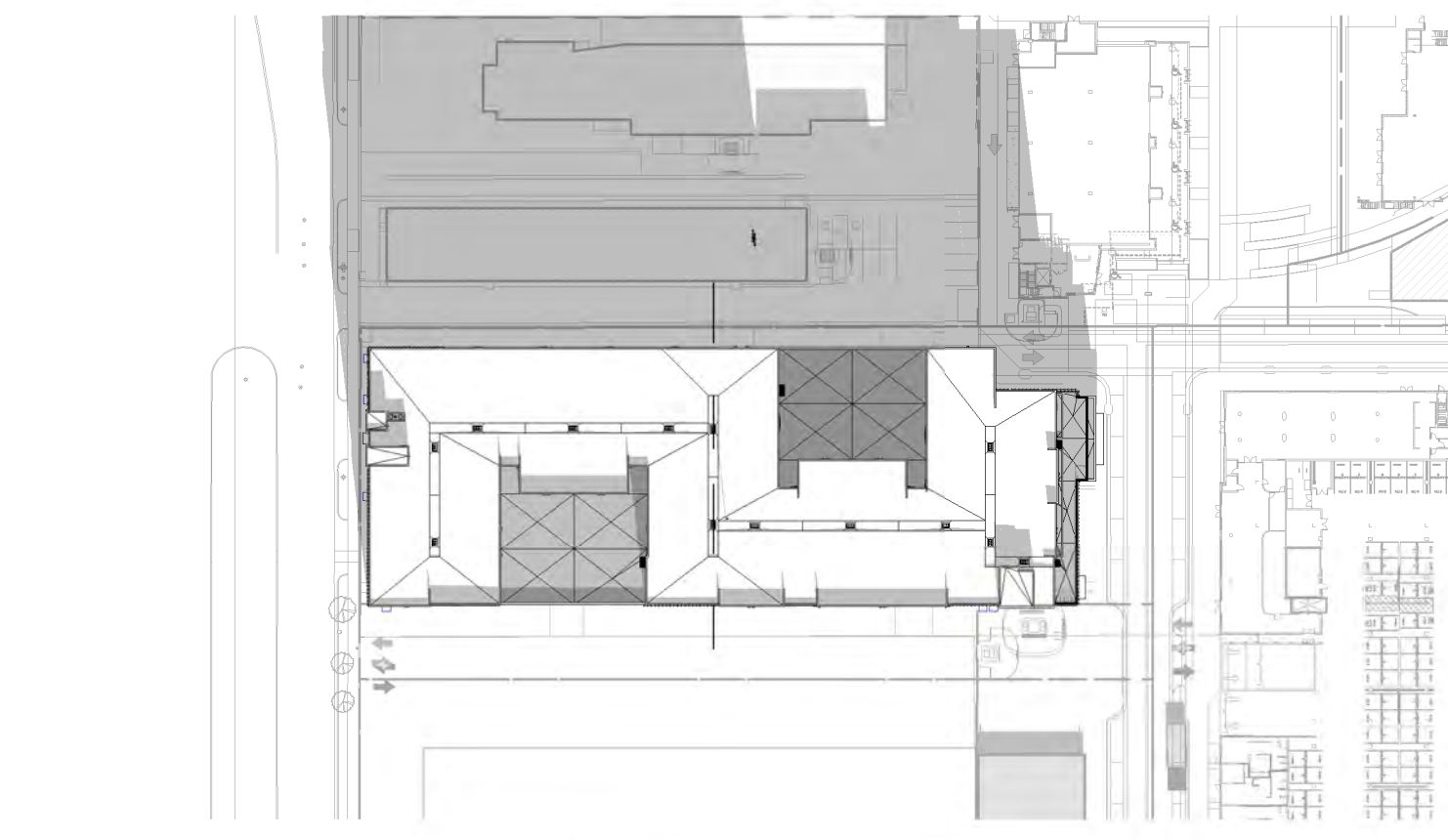
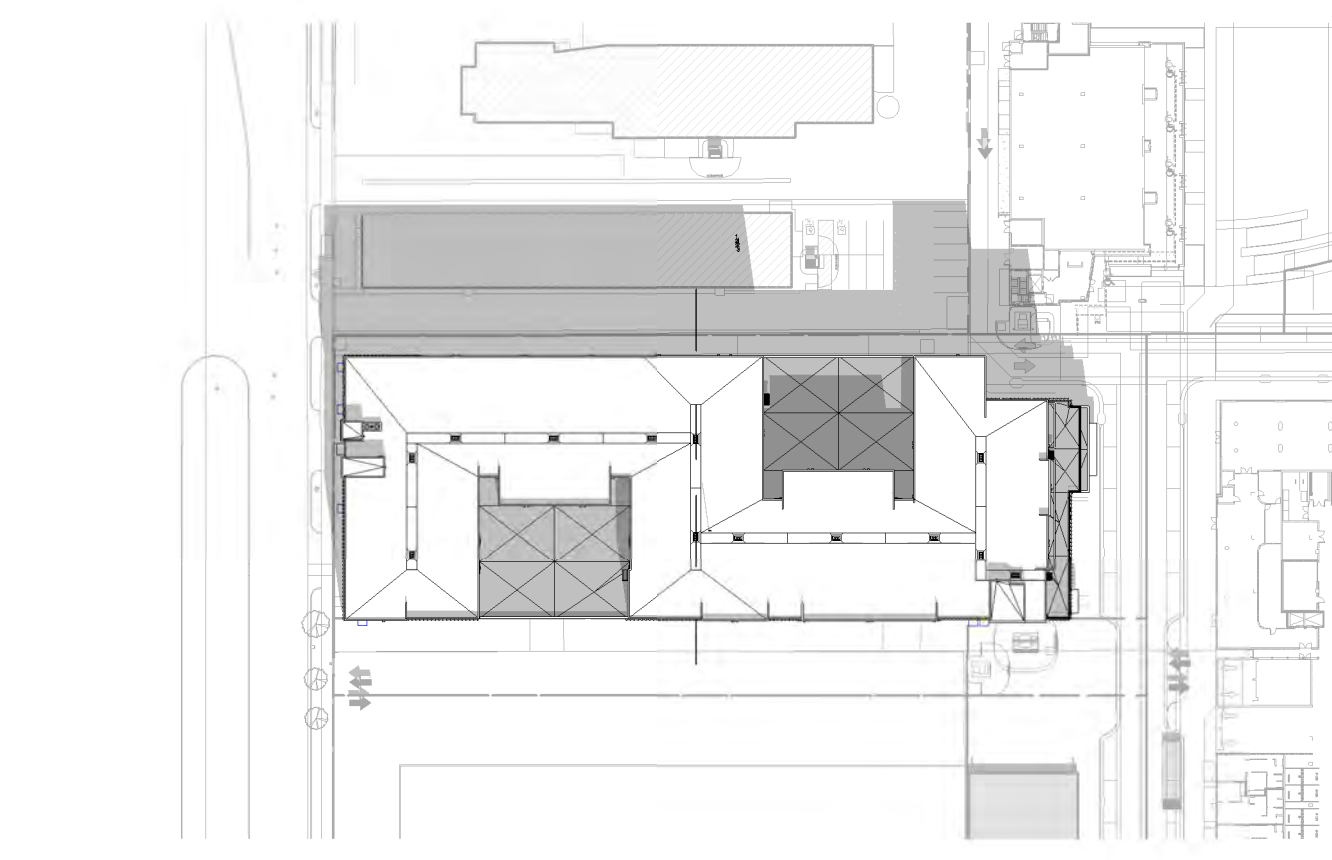
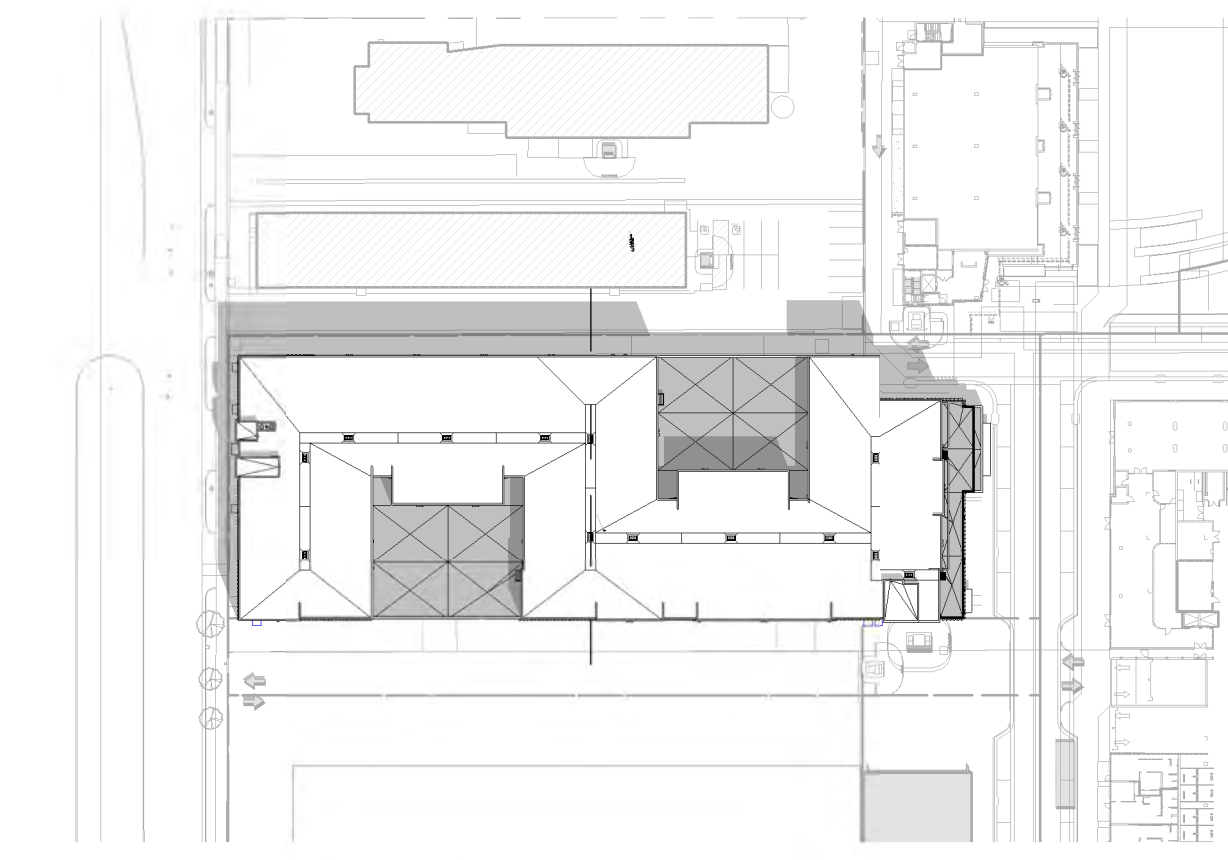
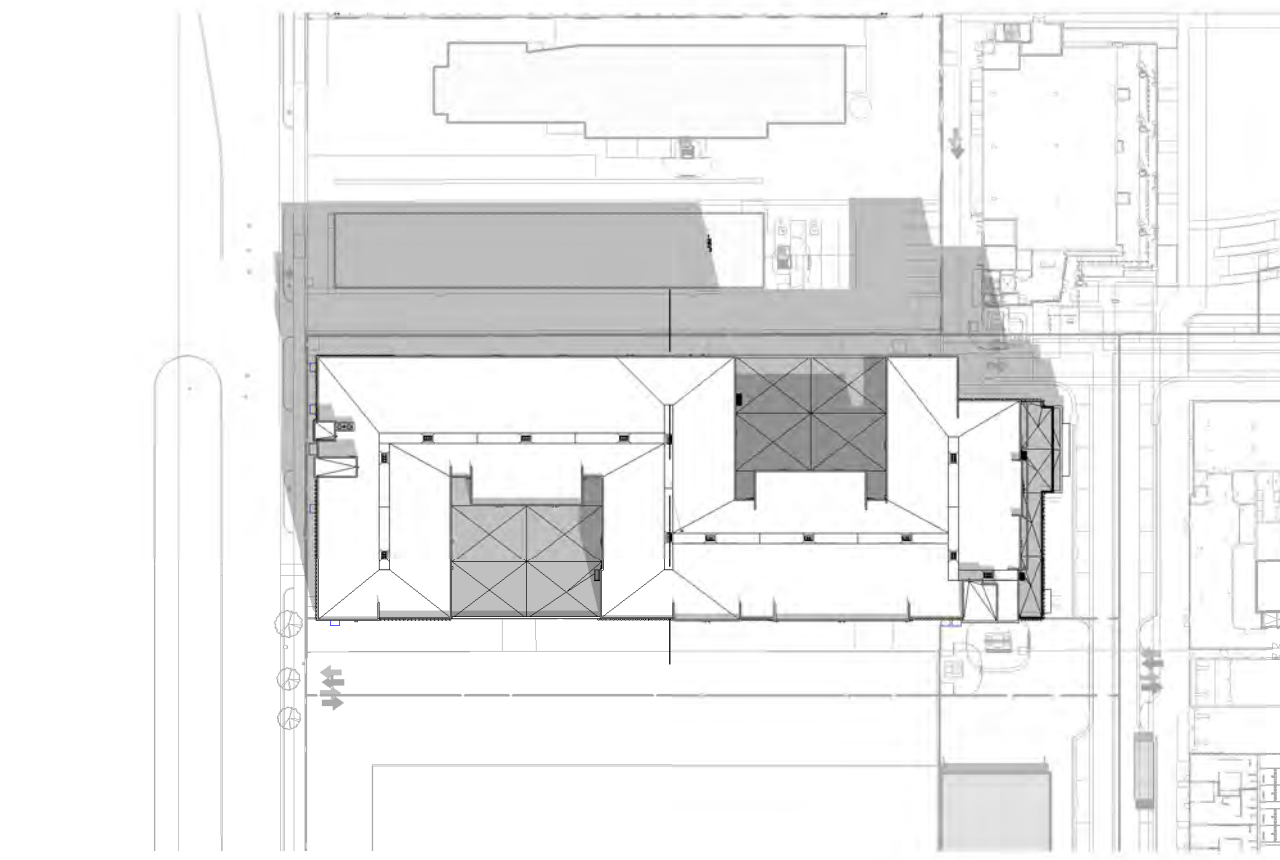
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WINTER SOLSTICE
DECEMBER 21

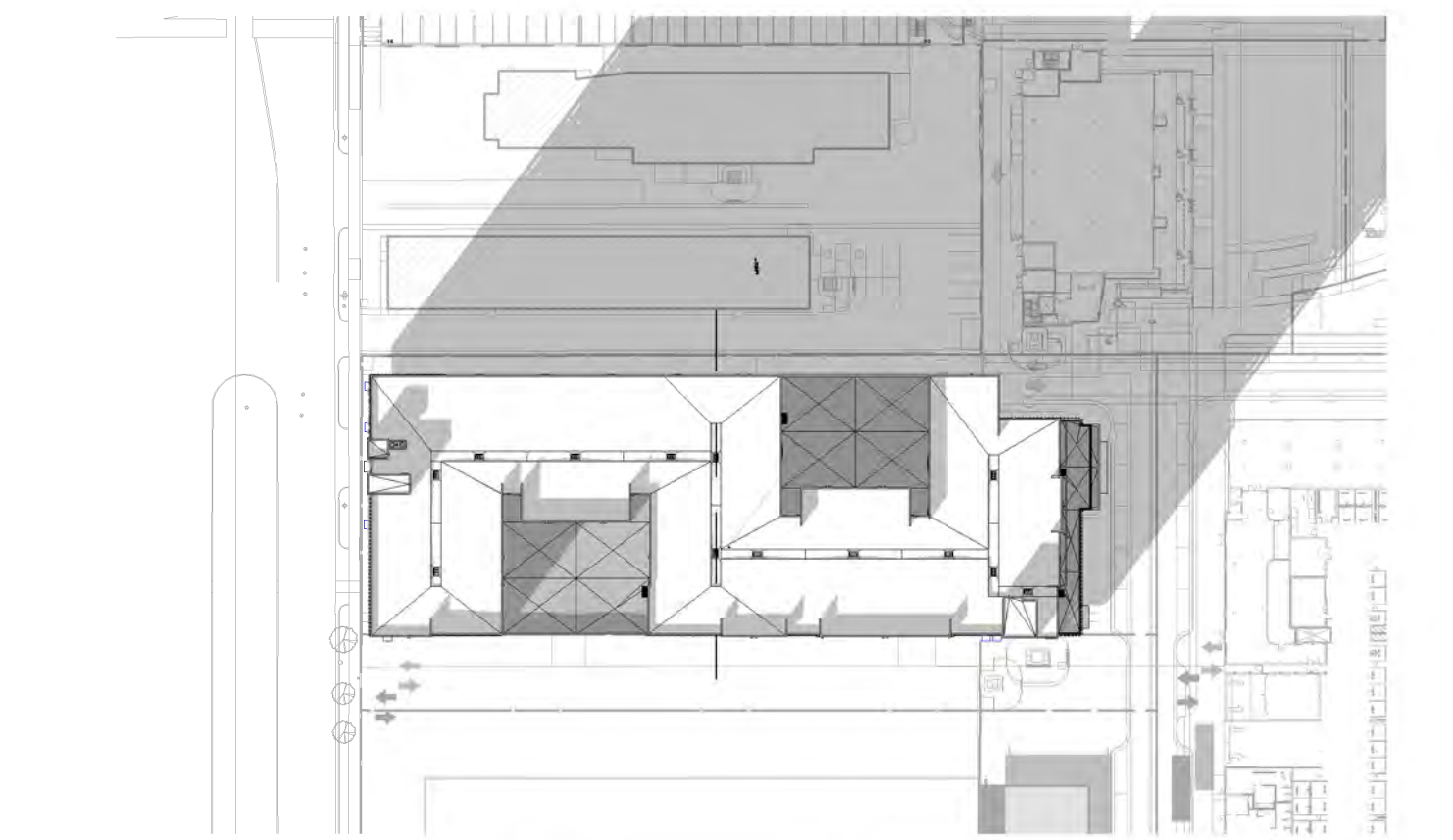
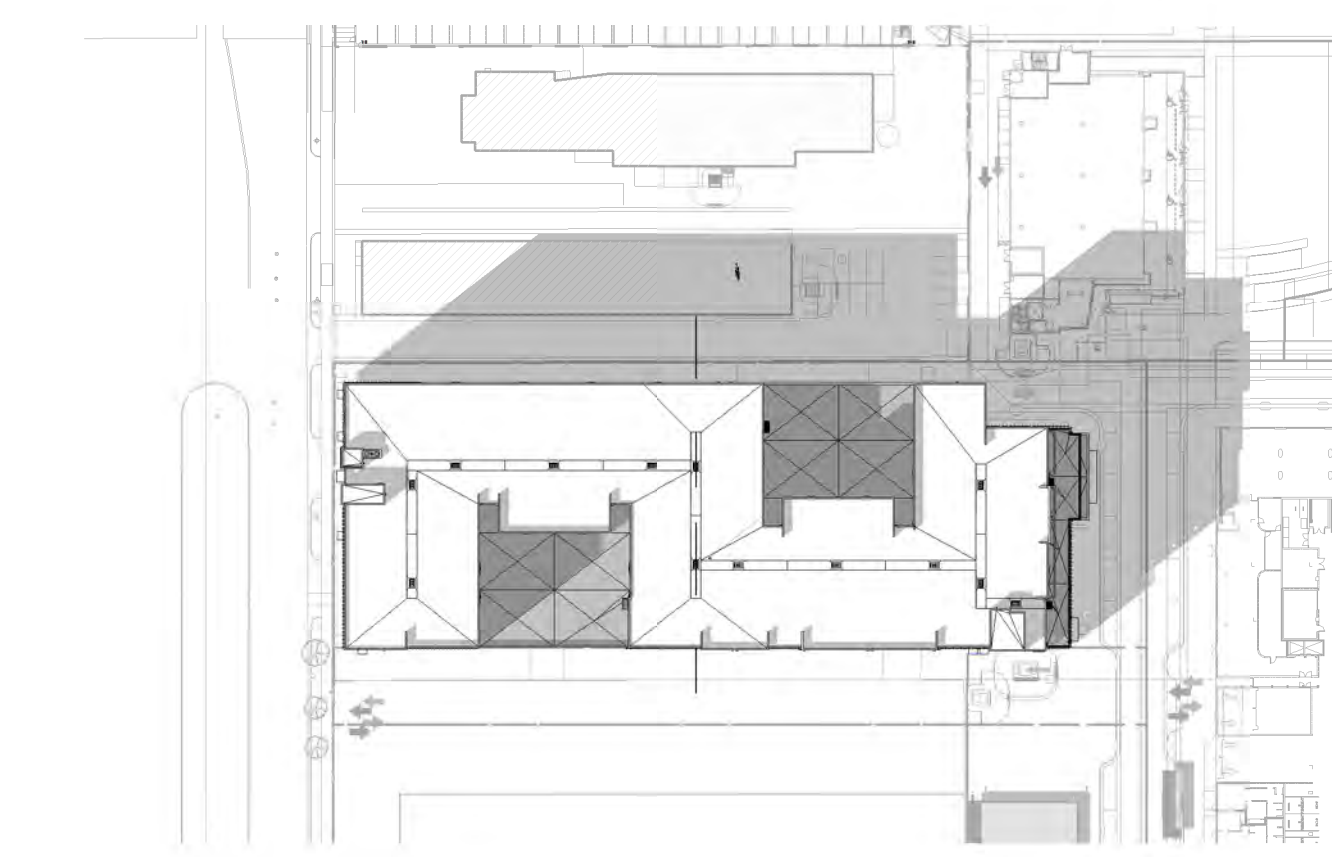
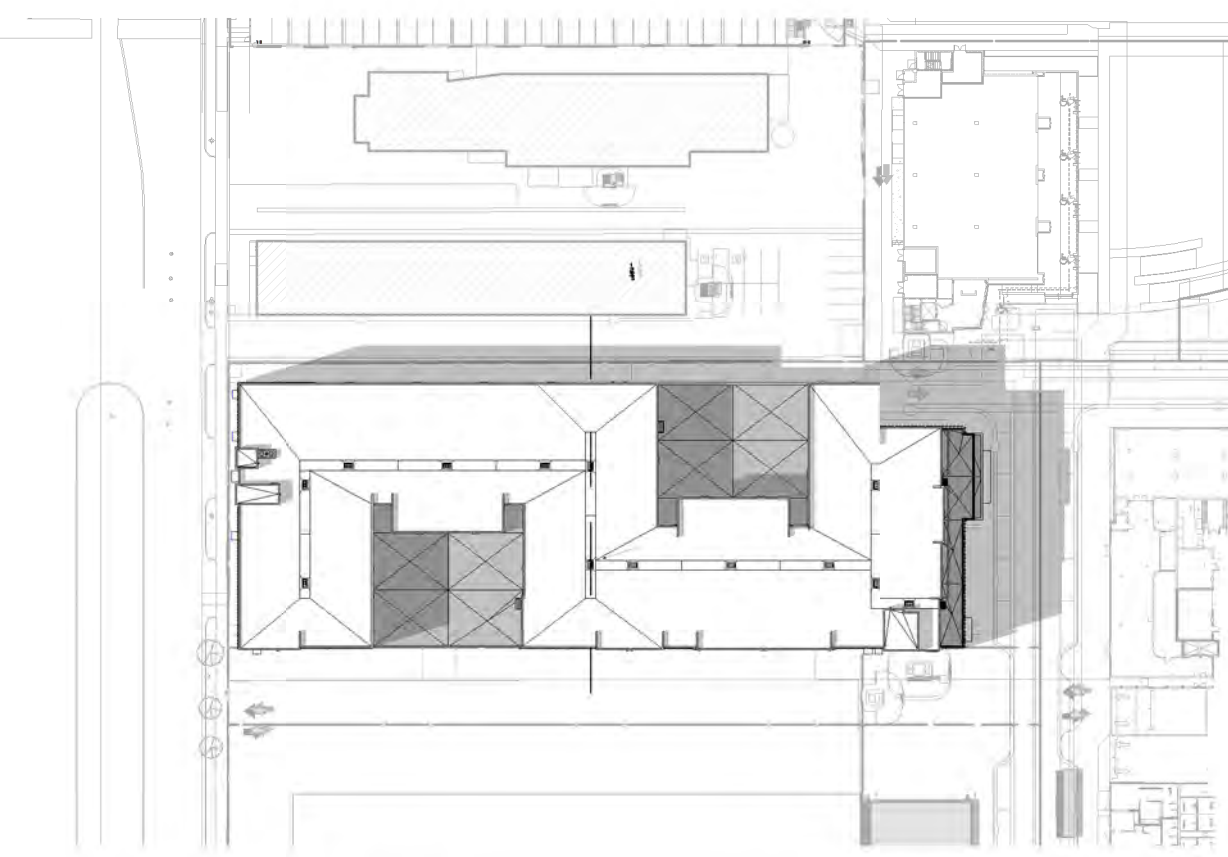
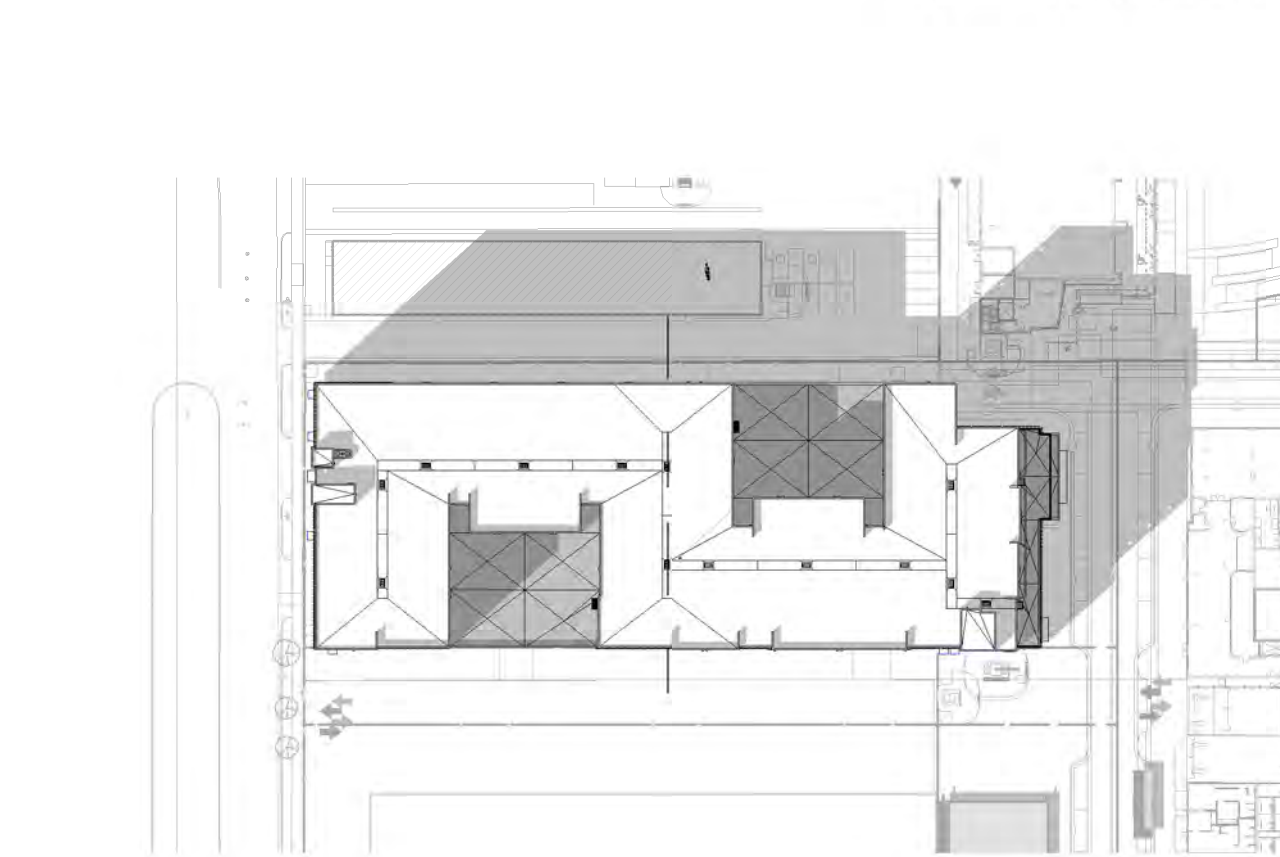
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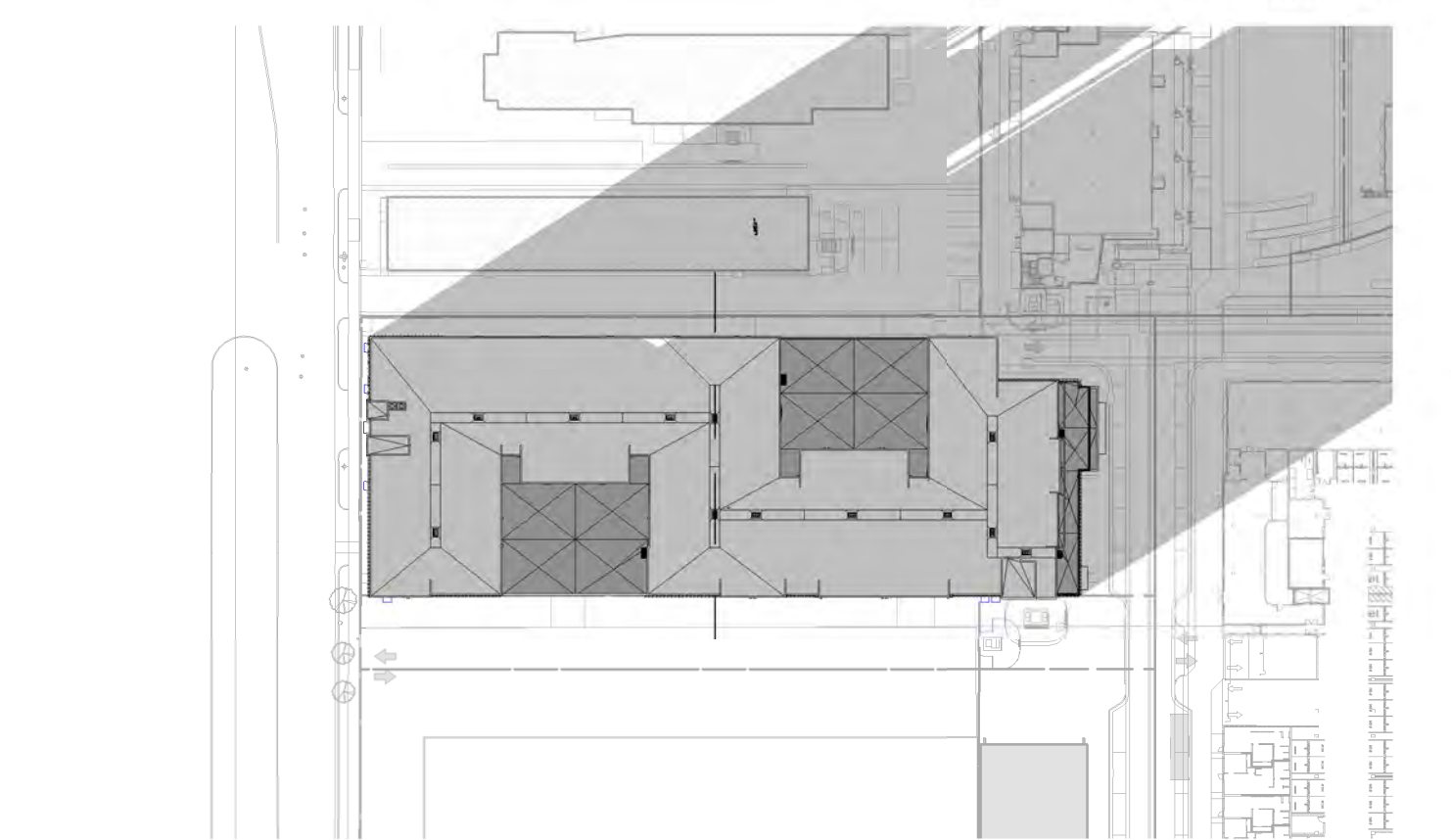
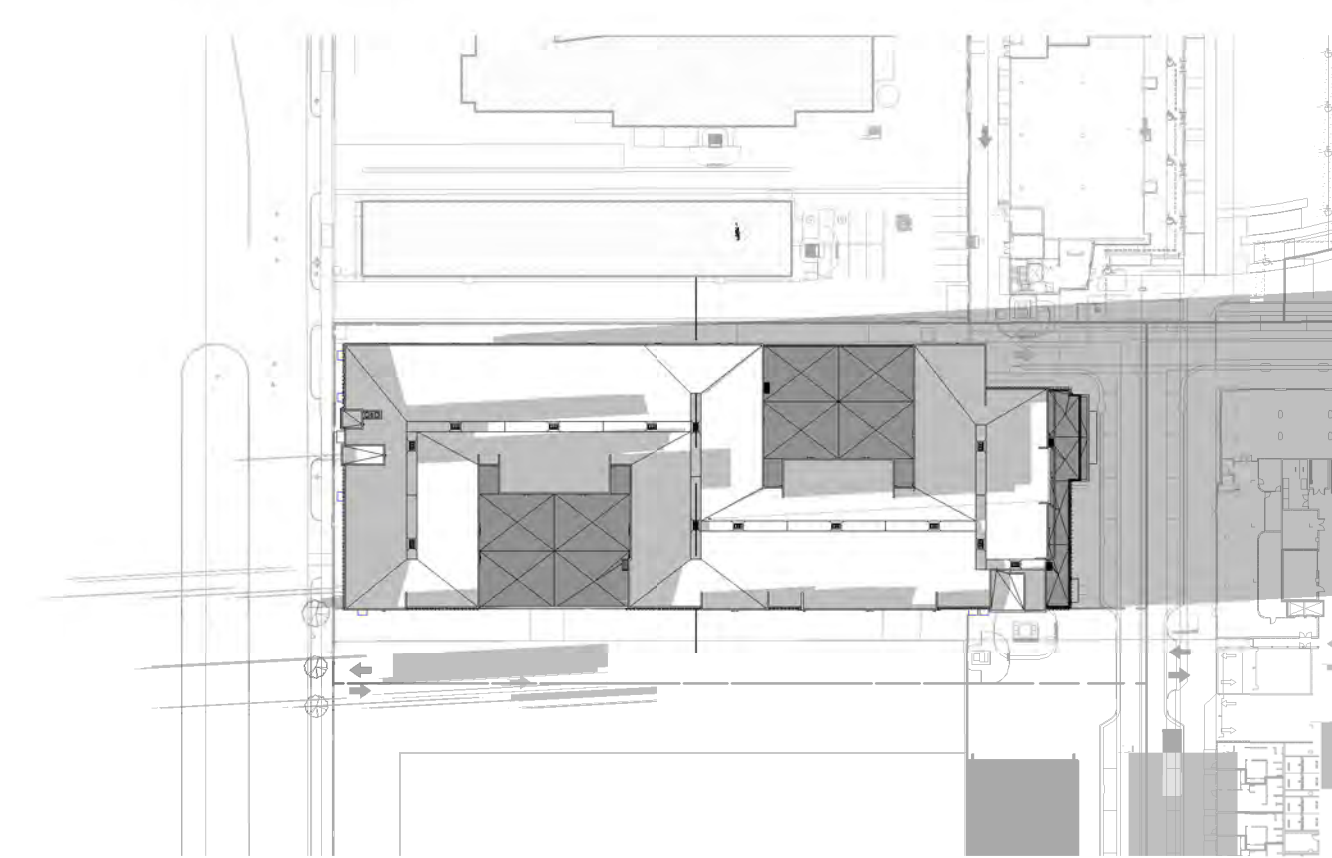
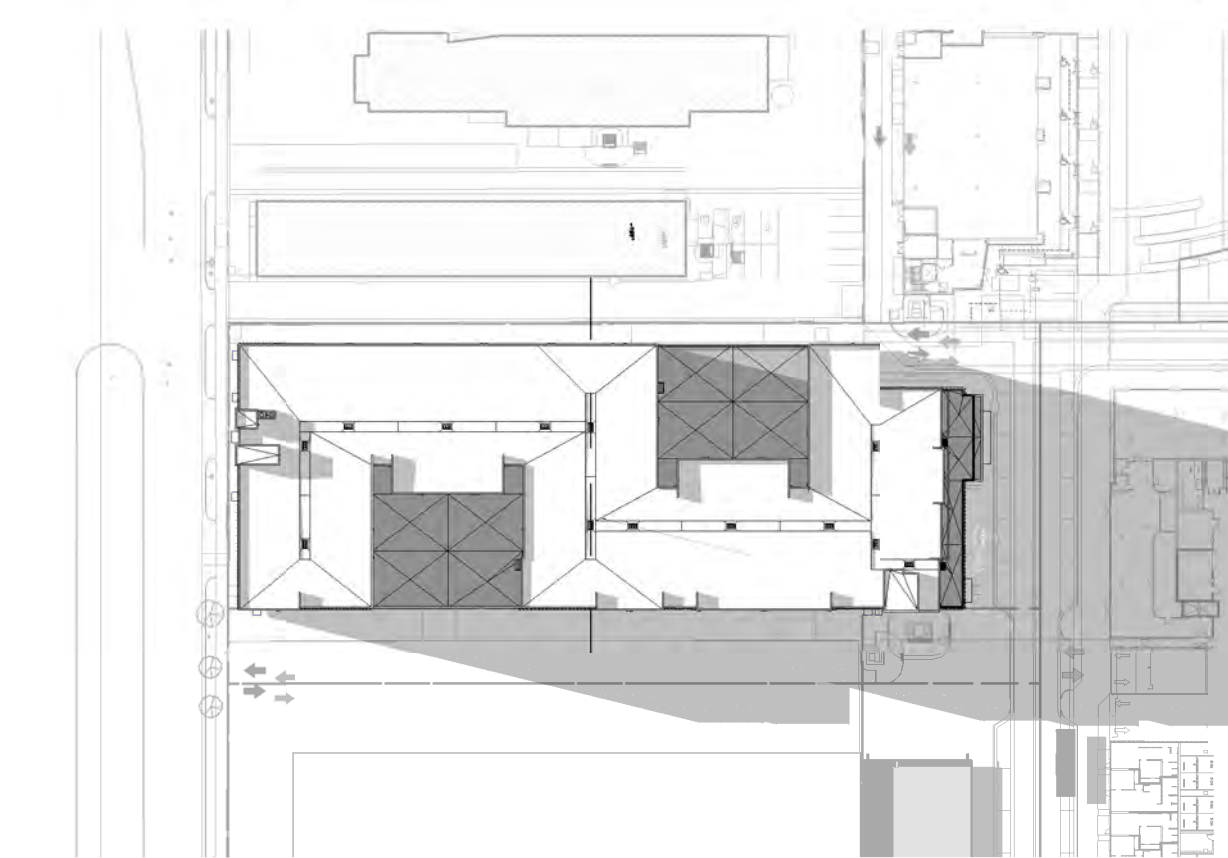
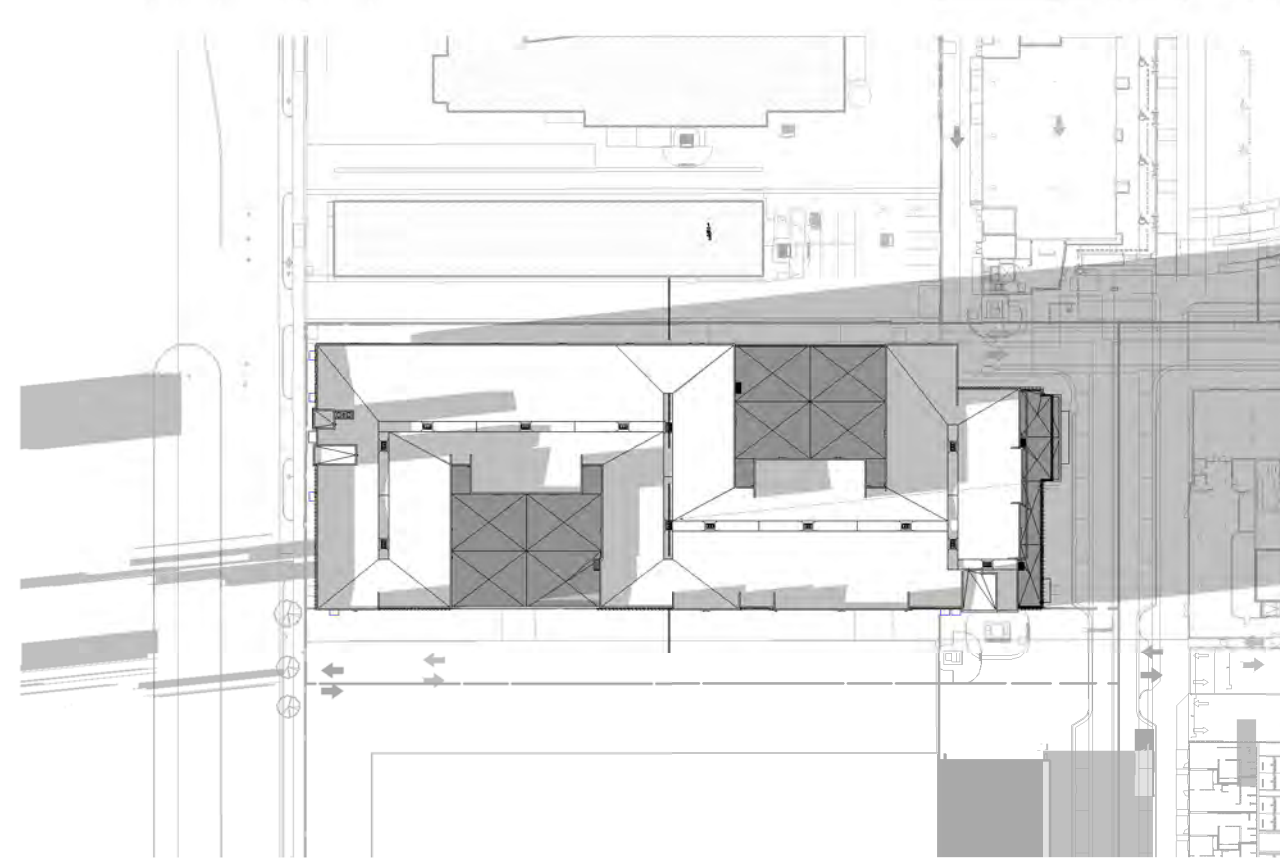
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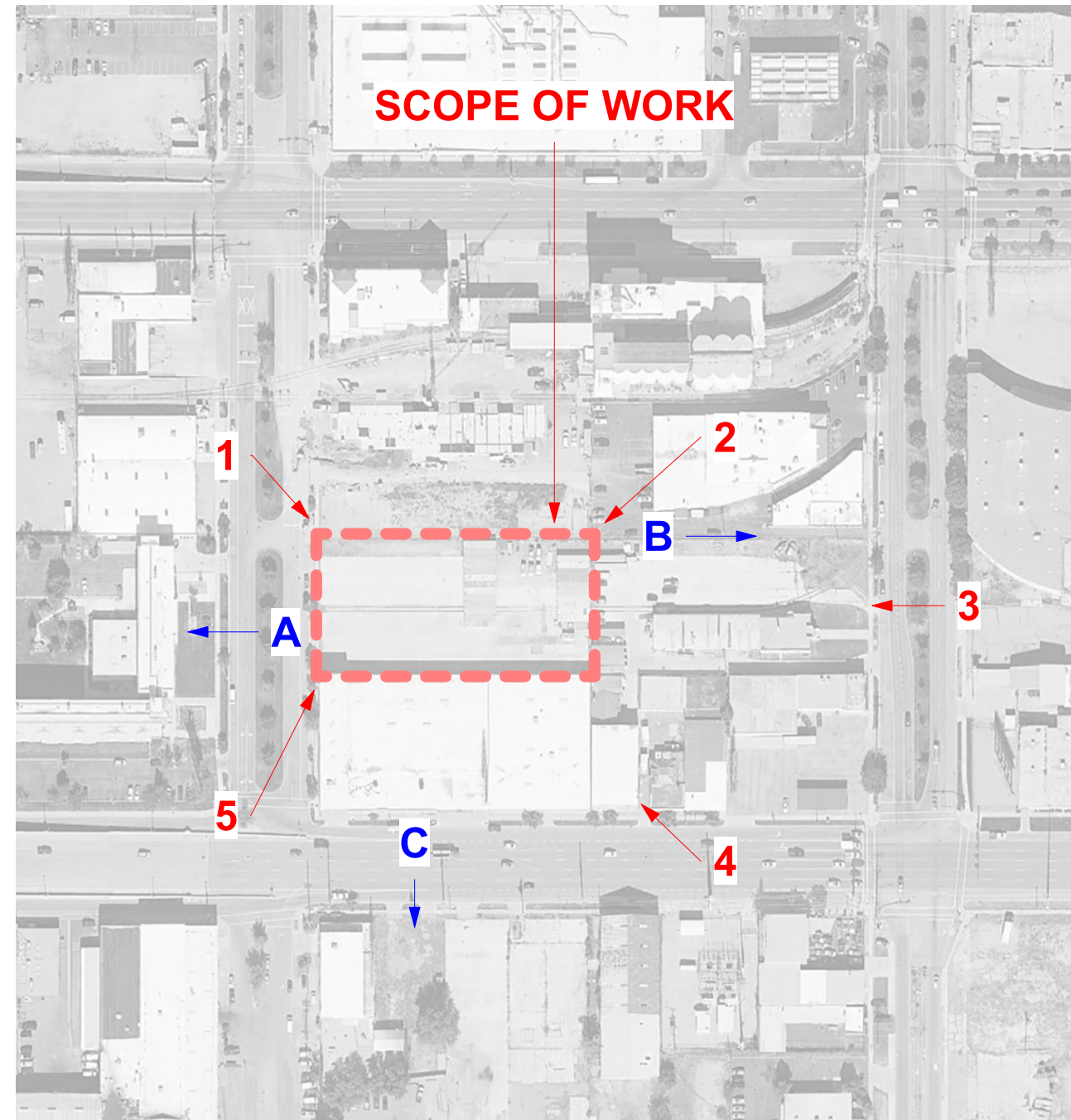
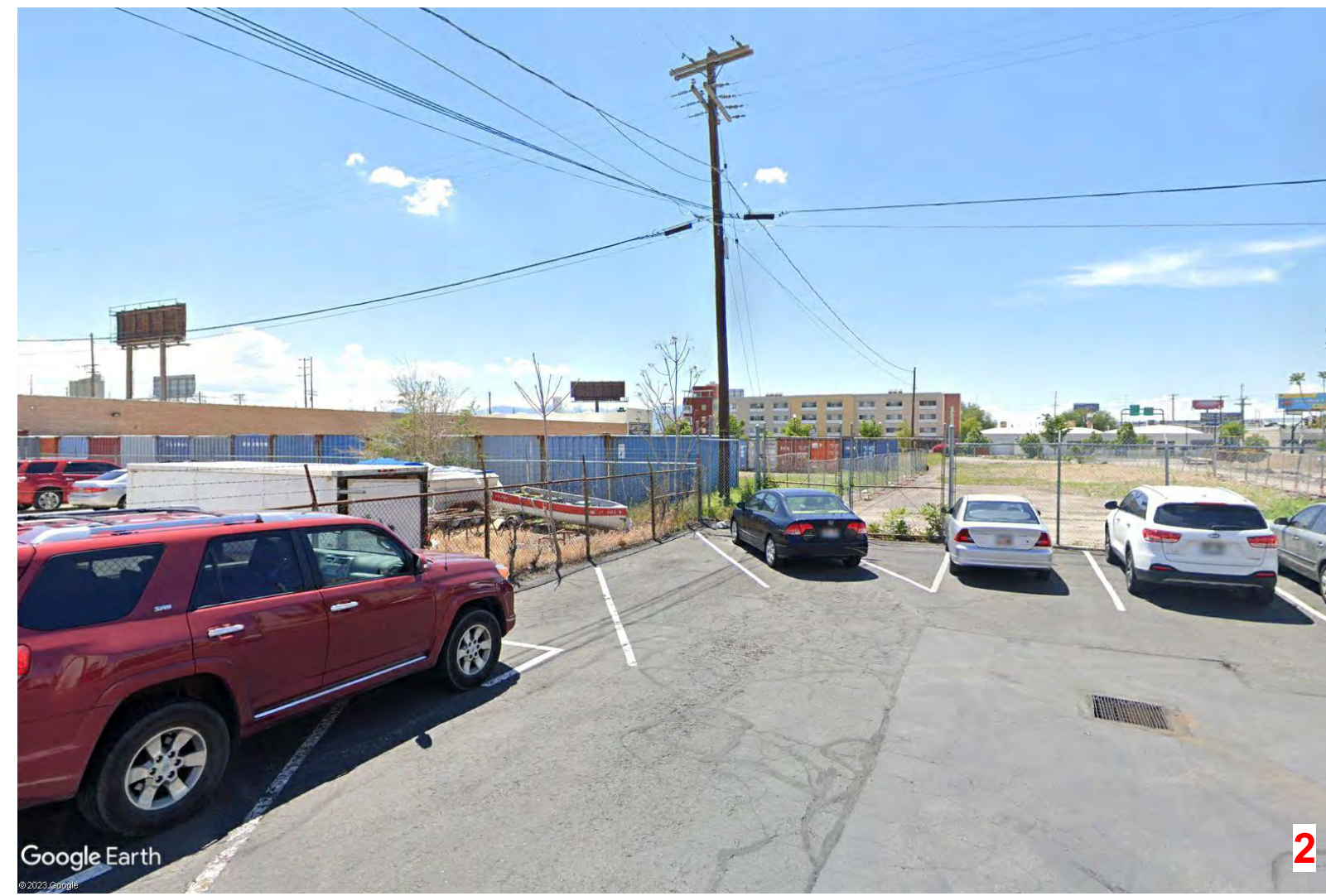


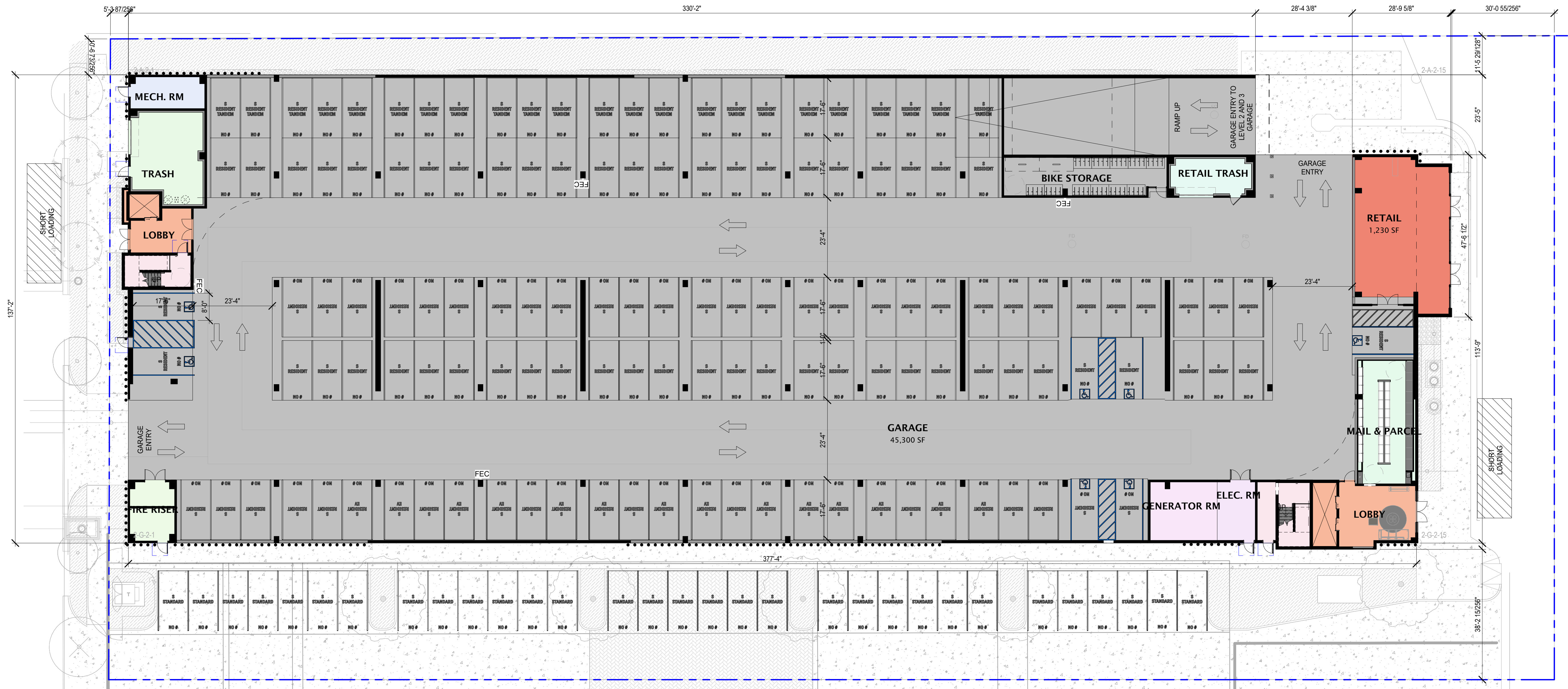
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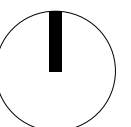
Floor Plan is conceptual in nature. Final Floor Plan will be determined during the Permit Process.

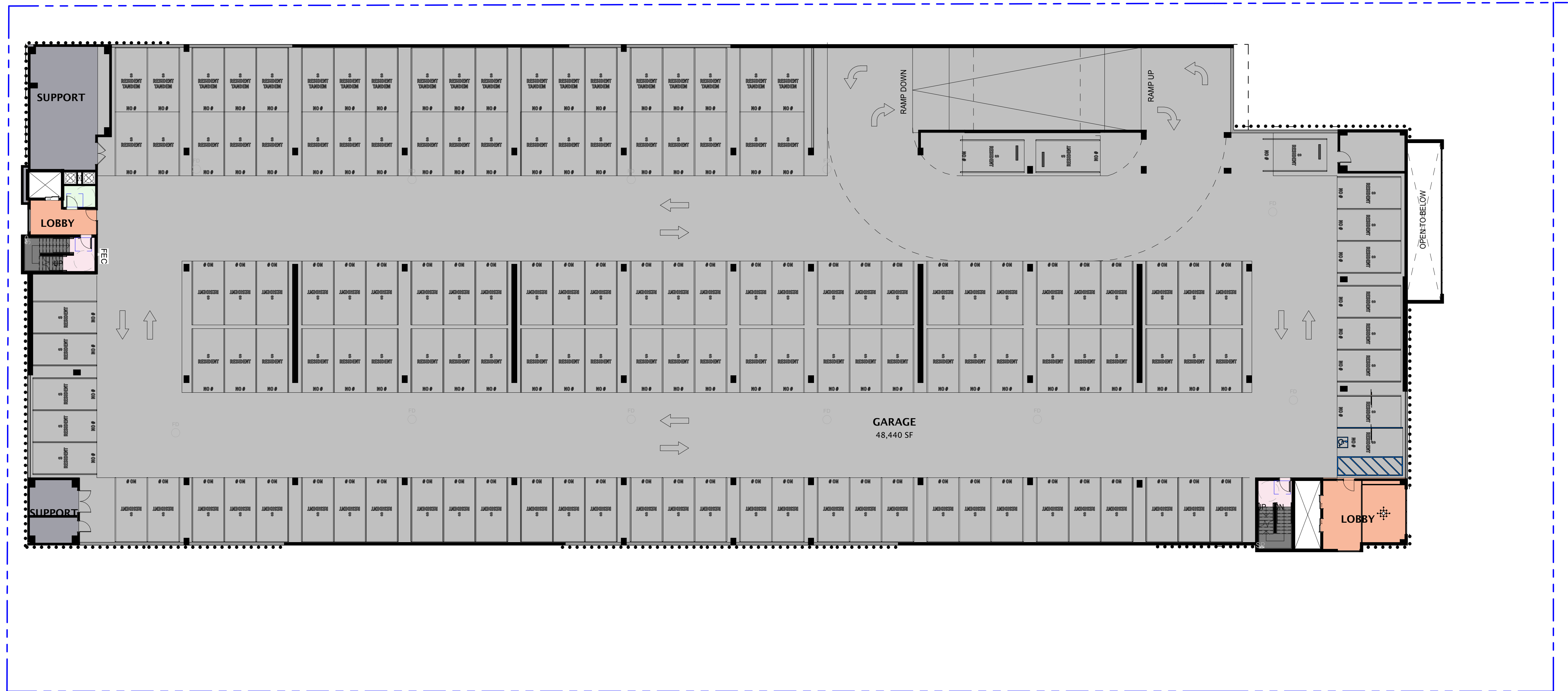
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PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2


A1-1
BLDG 2 - LEVEL 1
 1/16" = 1'-0"
 08/01/2024



Floor Plan is conceptual in nature. Final Floor Plan will be determined during the Permit Process.

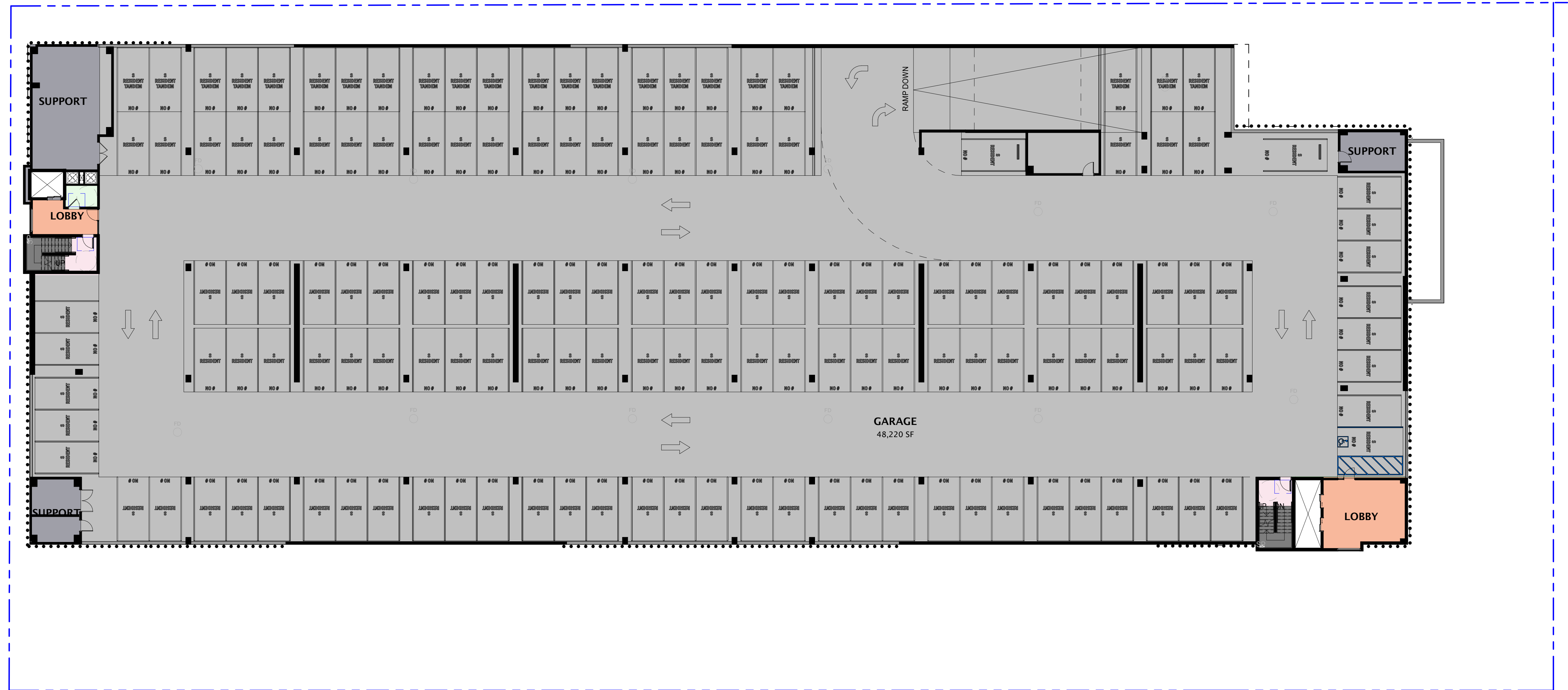
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A1-2
BLDG 2 - LEVEL 2
1/16" = 1'-0"
08/01/2024



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A1-3
BLDG 2 - LEVEL 3
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08/01/2024



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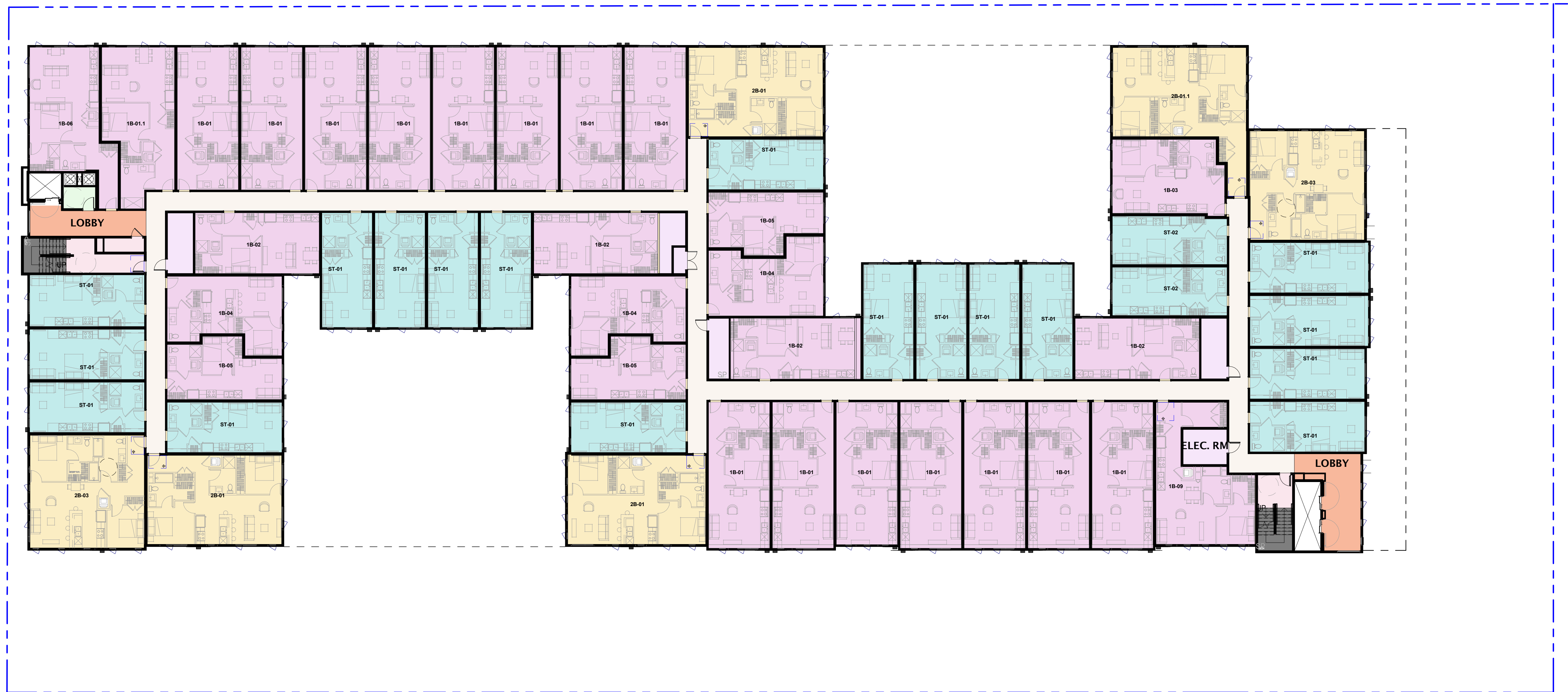
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A1-4
BLDG 2 - LEVEL 4
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08/01/2024



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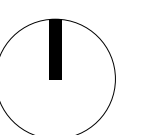
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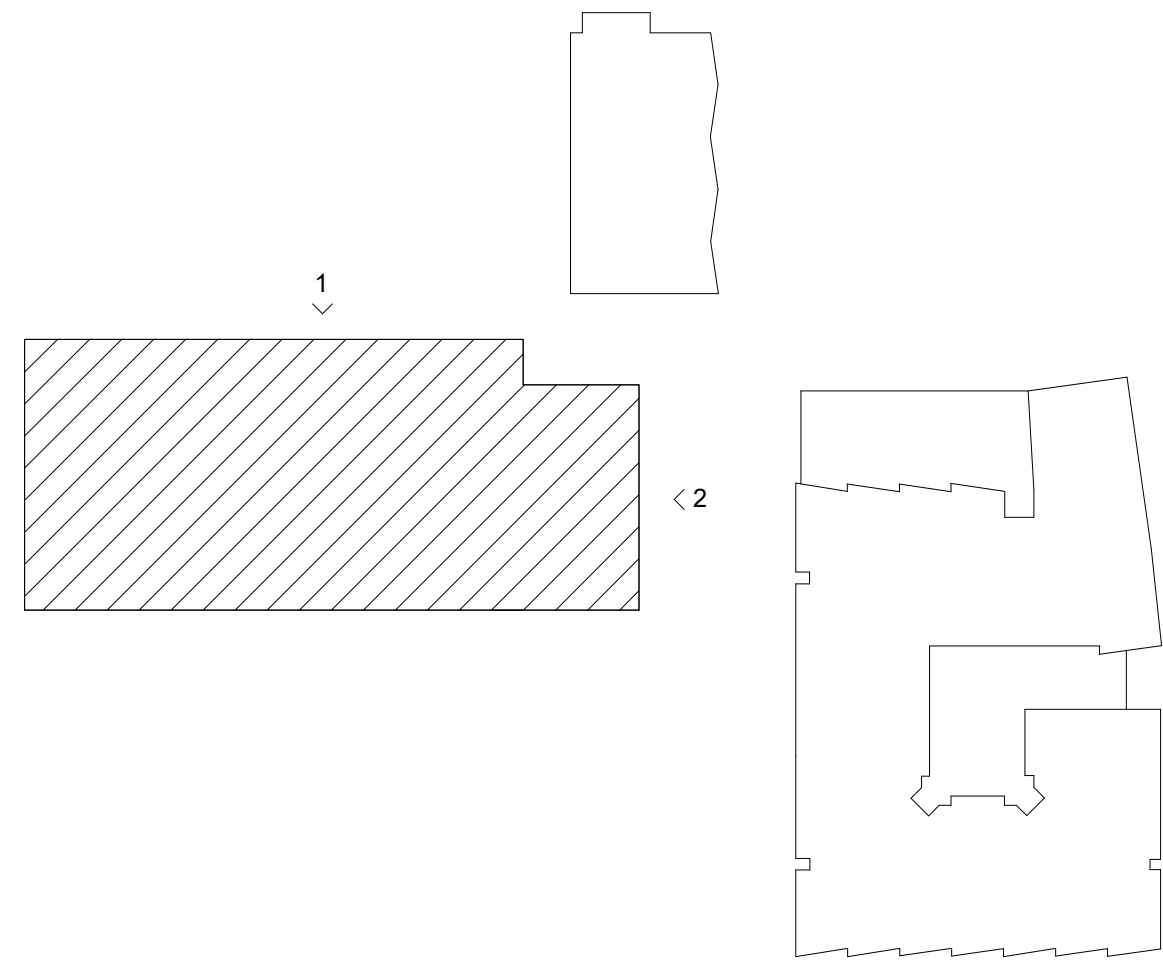
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PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

BLDG 2 - LEVEL 5 (LEVEL 6-8 SIM)
1/16" = 1'-0"
08/01/2024



A1-5



- 01 CONCRETE
- 02 STUCCO
- 03 VINYL WINDOW
- 04 METAL WALL PANELS BLACK
- 05 GLASS STOREFRONT
- 06 WOOD POLE SCREEN
- 07 VINYL DOOR
- 08 METAL RAILING
- 09 GLASS RAILING

Note: Final material color, opening locations, and specification to be issued upon Building Permit Submittal



BUILDING 2 - EAST ELEVATION 1/16" = 1'-0" 2



BUILDING 2 - NORTH ELEVATION 1/16" = 1'-0" 1

Building Elevations are conceptual in nature. Final Building Elevations will be determined during the Permit Process.

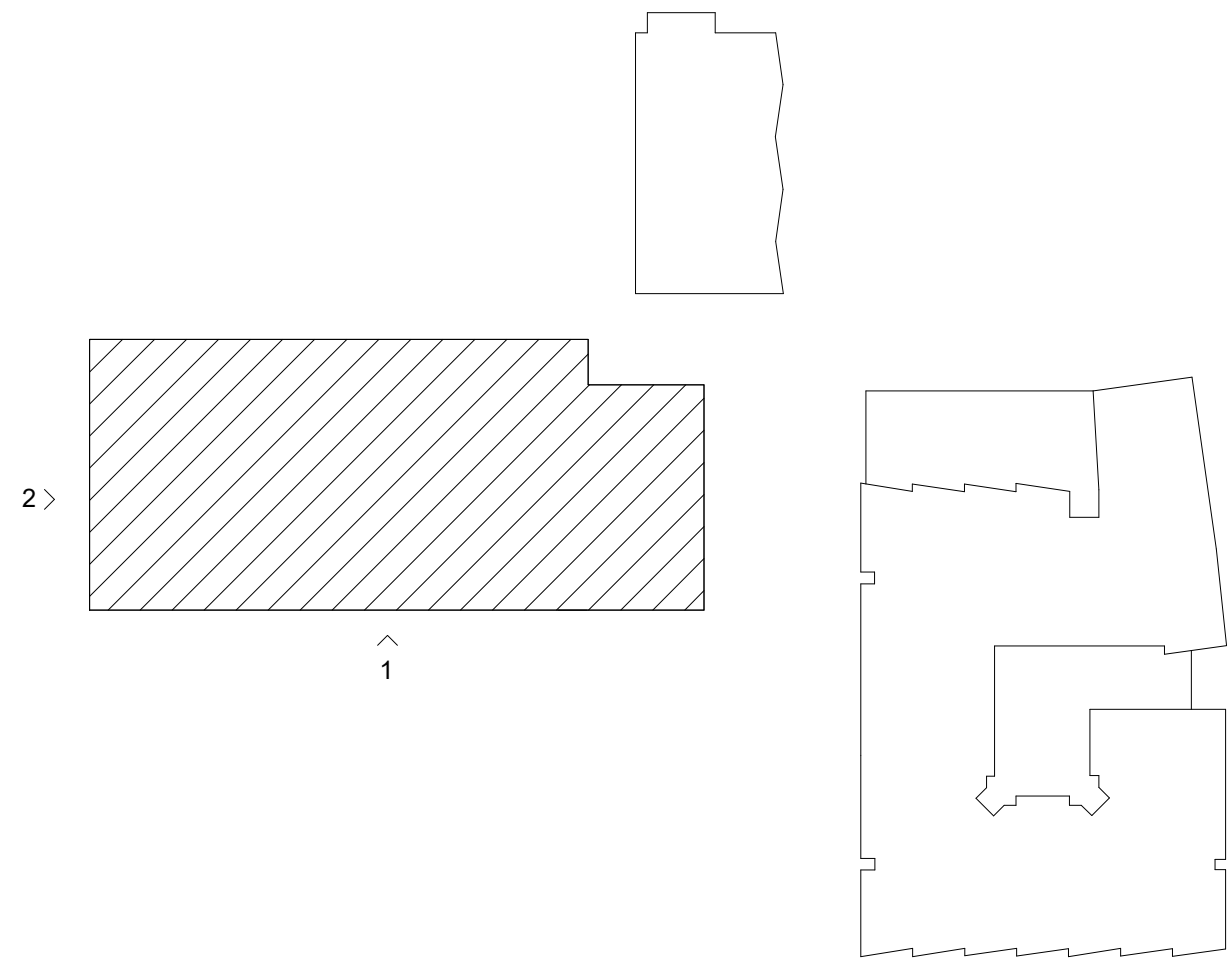
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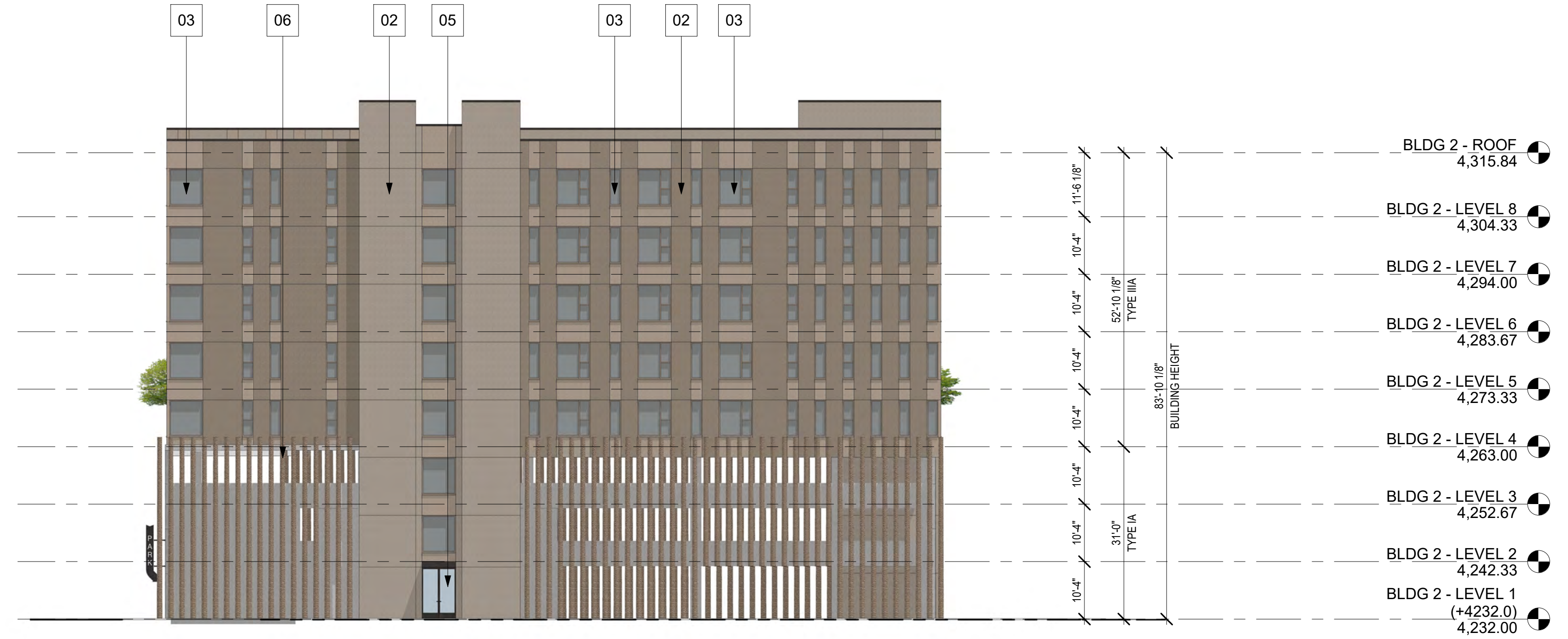
PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

A2-1
BUILDING ELEVATIONS
1/16" = 1'-0"
08/01/2024



- 01 CONCRETE
- 02 STUCCO
- 03 VINYL WINDOW
- 04 METAL WALL PANELS BLACK
- 05 GLASS STOREFRONT
- 06 WOOD POLE SCREEN
- 07 VINYL DOOR
- 08 METAL RAILING
- 09 GLASS RAILING

Note: Final material color, opening locations, and specification to be issued upon Building Permit Submittal



BUILDING 2 - WEST ELEVATION 1/16" = 1'-0" 2



BUILDING 2 - SOUTH ELEVATION 1/16" = 1'-0" 1

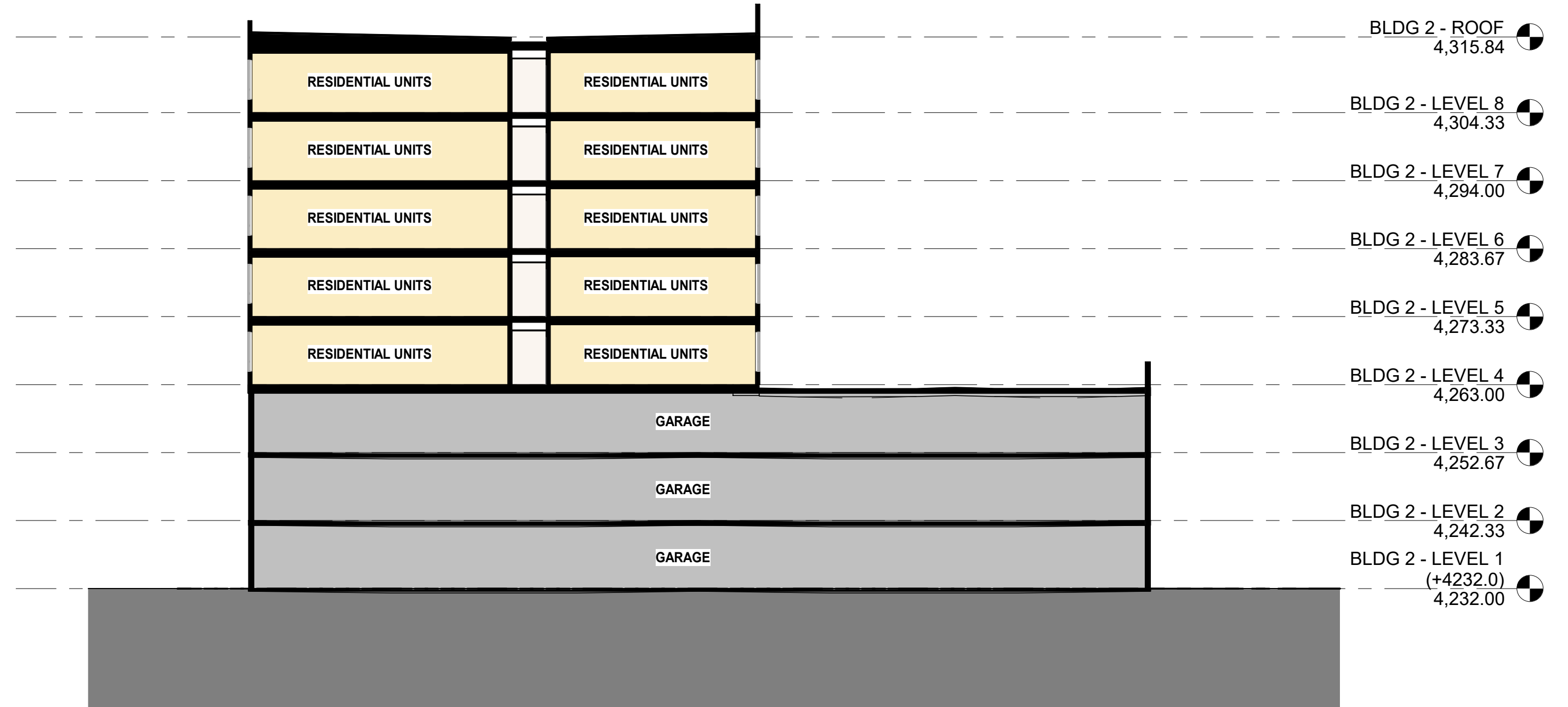
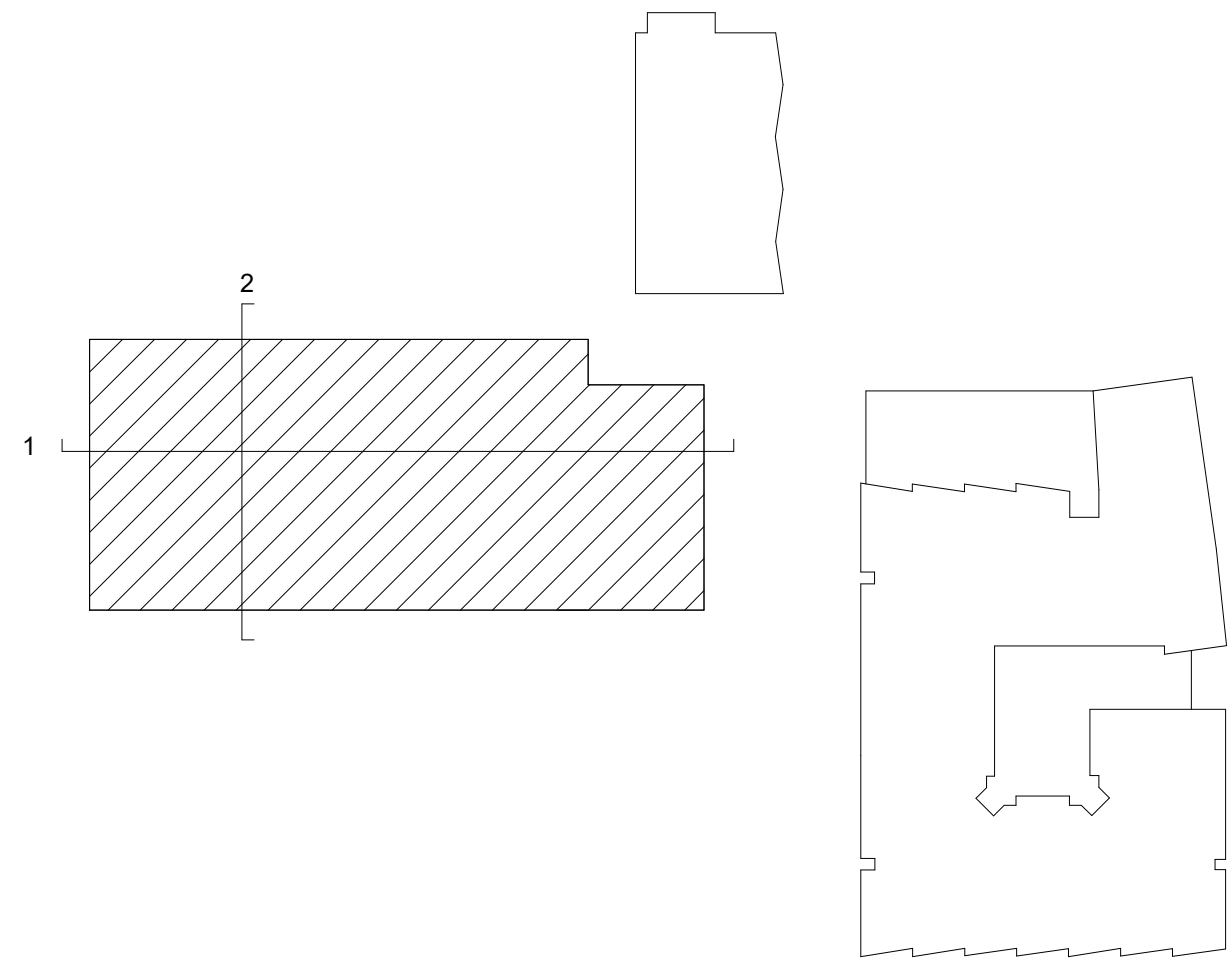
Building Elevations are conceptual in nature. Final Building Elevations will be determined during the Permit Process.

SILOS SOUTH APARTMENTS
SALT LAKE CITY, UT 84101

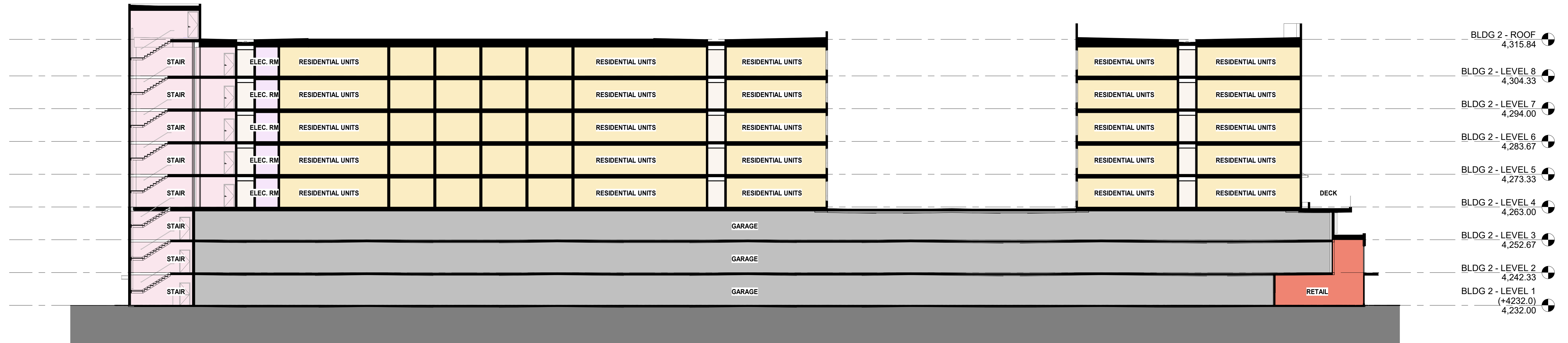
SILOS SOUTH APARTMENTS, LLC
2170 S MCCLELLAND ST, SUITE 100
SALT LAKE CITY, UT 84106
PHONE: 801.582.3188

MVE + PARTNERS
1900 MAIN STREET, SUITE 800
IRVINE, CA 92614
PHONE: 949.809.3388

A2-2
BUILDING ELEVATIONS
1/16" = 1'-0"
08/01/2024



BUILDING 2 - SECTION 2 1/16" = 1'-0" 2



BUILDING 2 - SECTION 1 1/16" = 1'-0" 1

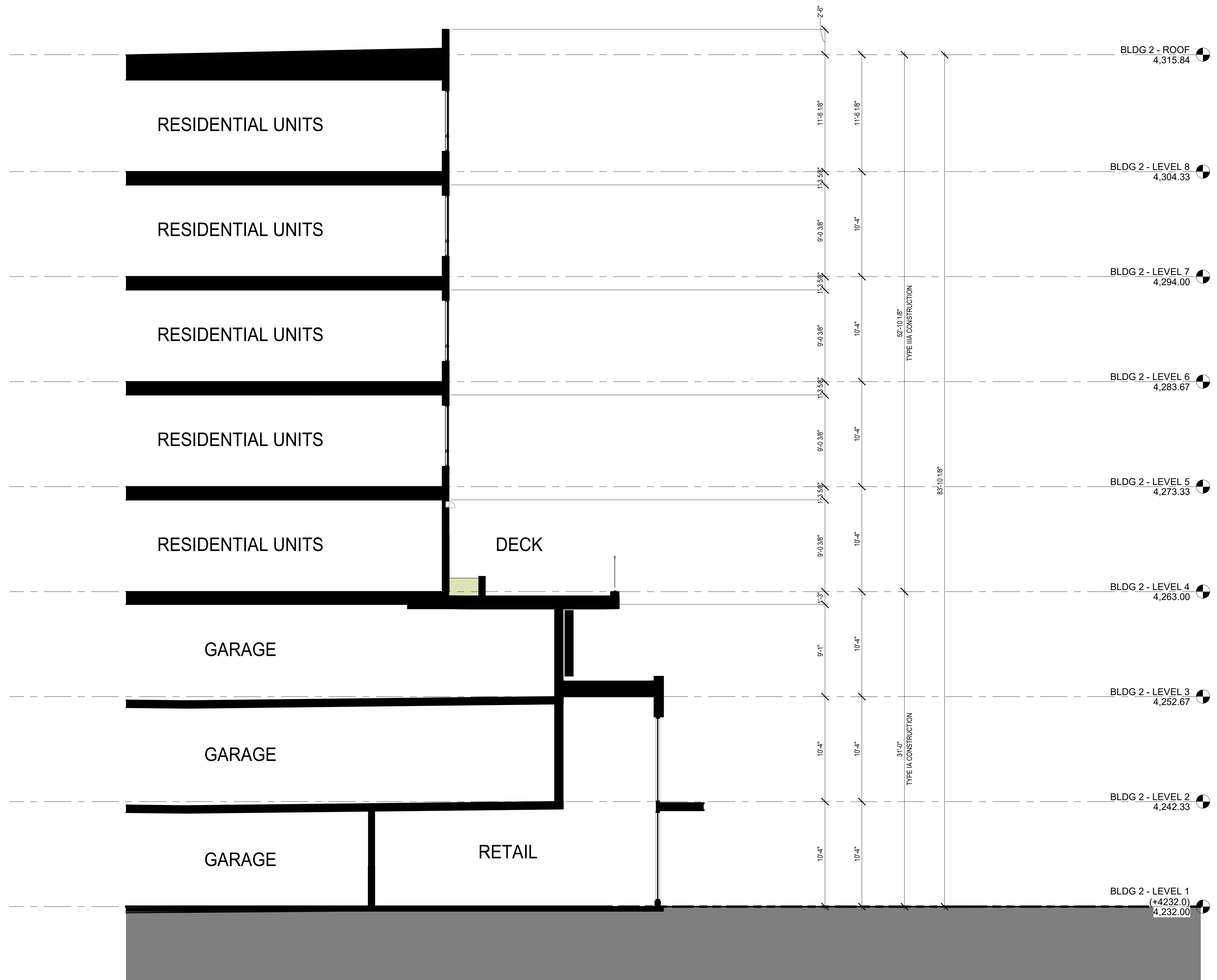
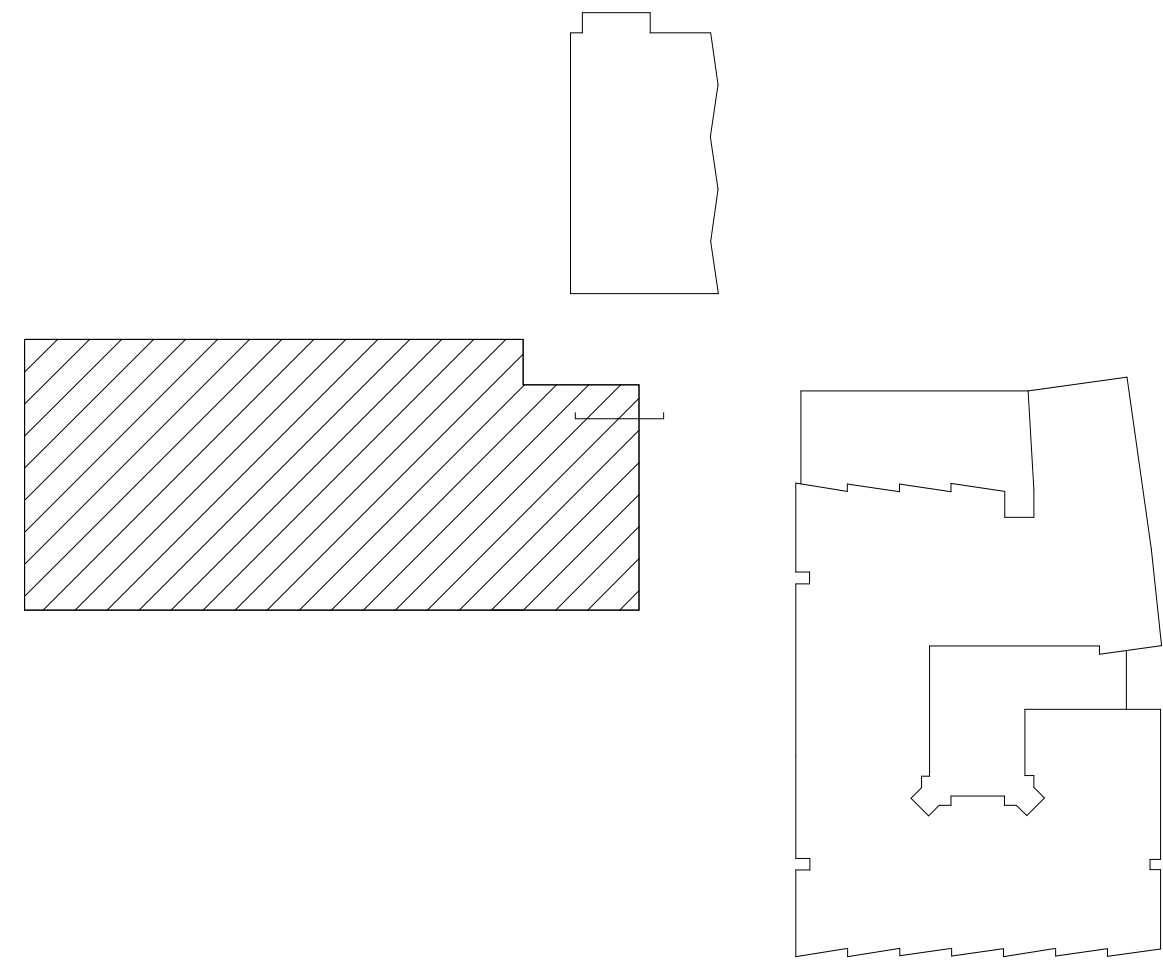
Building Sections are conceptual in nature. Final Building Sections will be determined during the Permit Process.

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A3-1
BUILDING SECTIONS
1/16" = 1'-0"
08/01/2024



Wall section is conceptual in nature. Final Wall Section will be determined during the Permit Process.

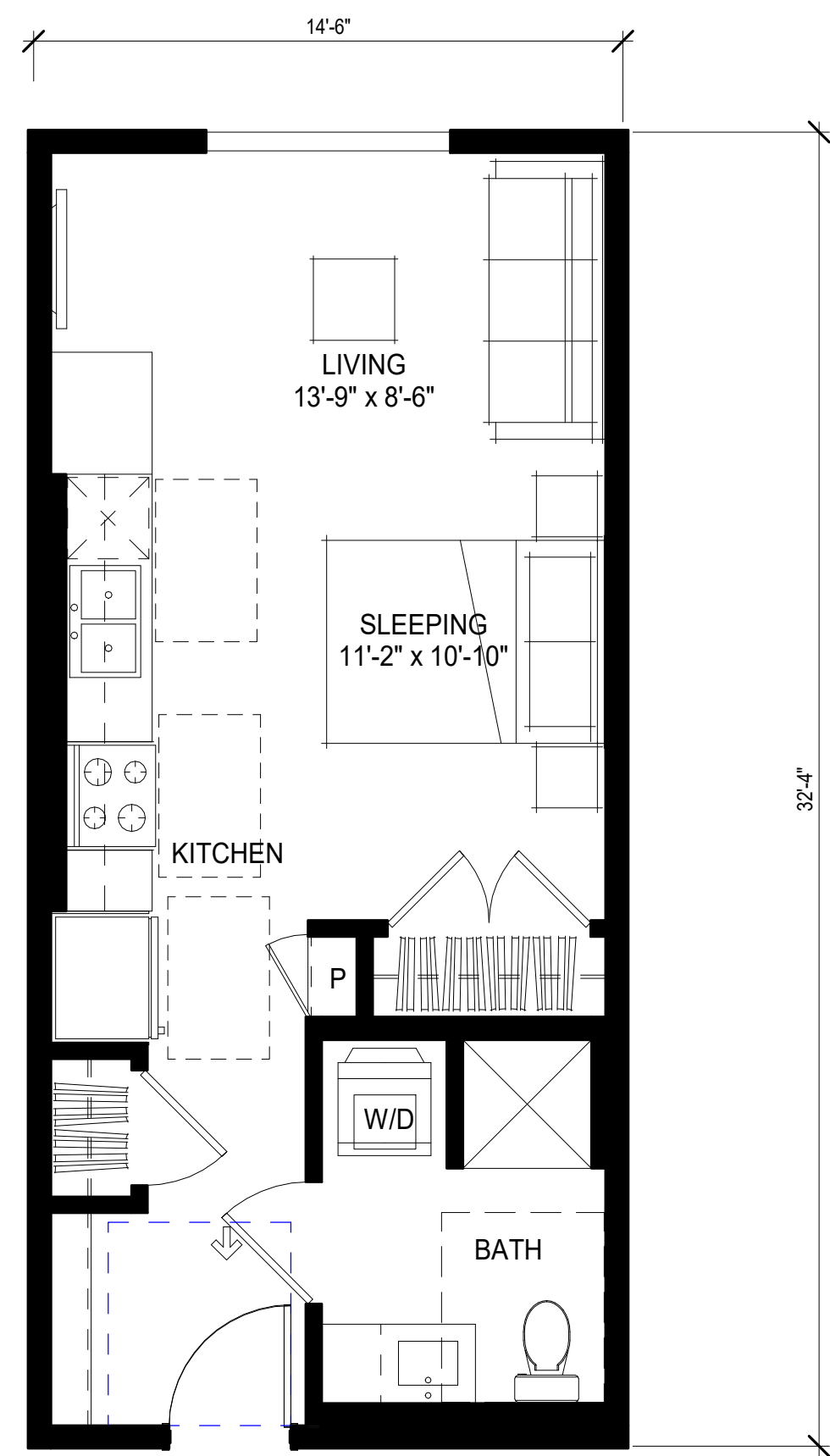
SILOS SOUTH APARTMENTS
SALT LAKE CITY, UT 84101

PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

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A3-2
WALL SECTION
3/16" = 1'-0"
08/01/2024



UNIT ST-01

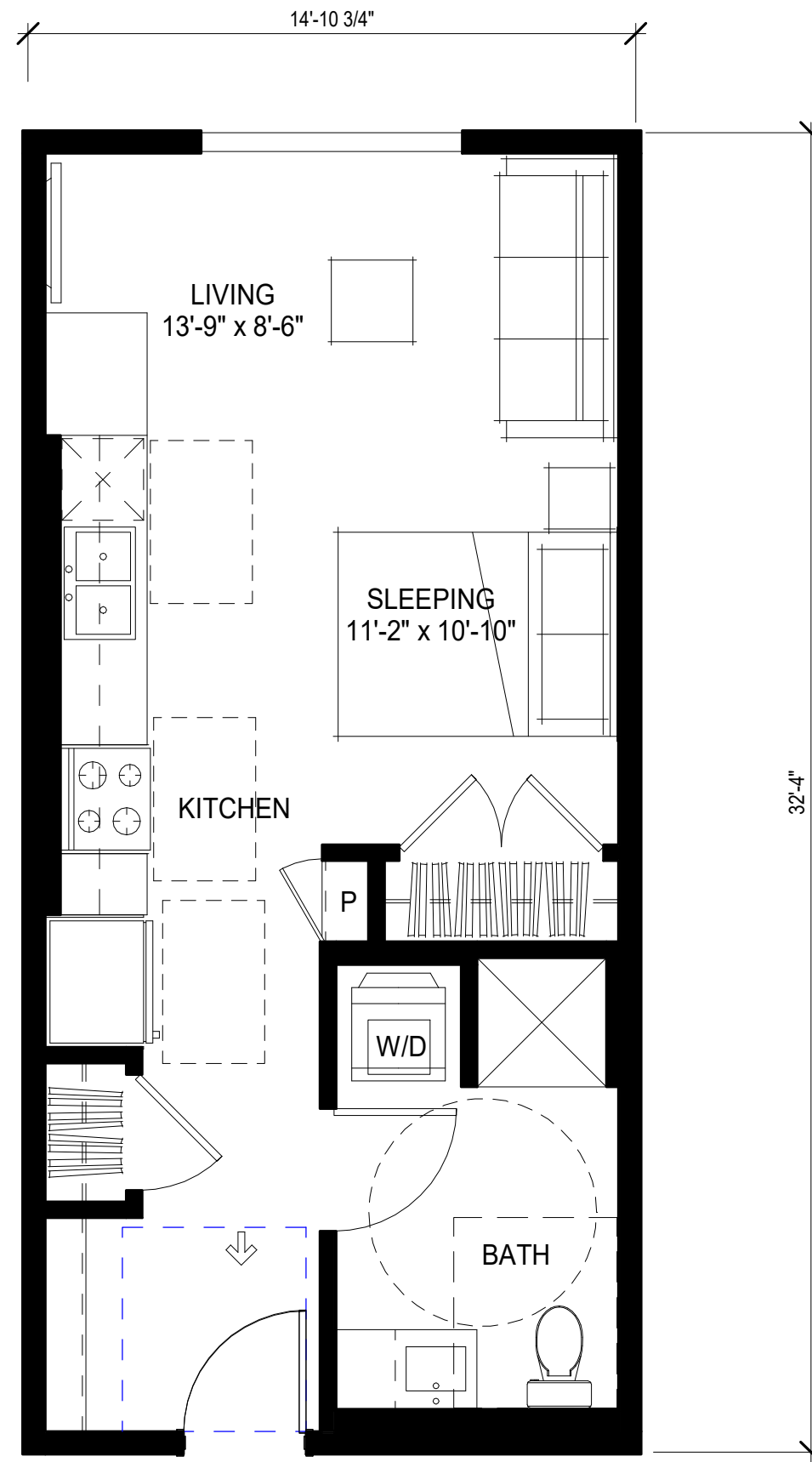
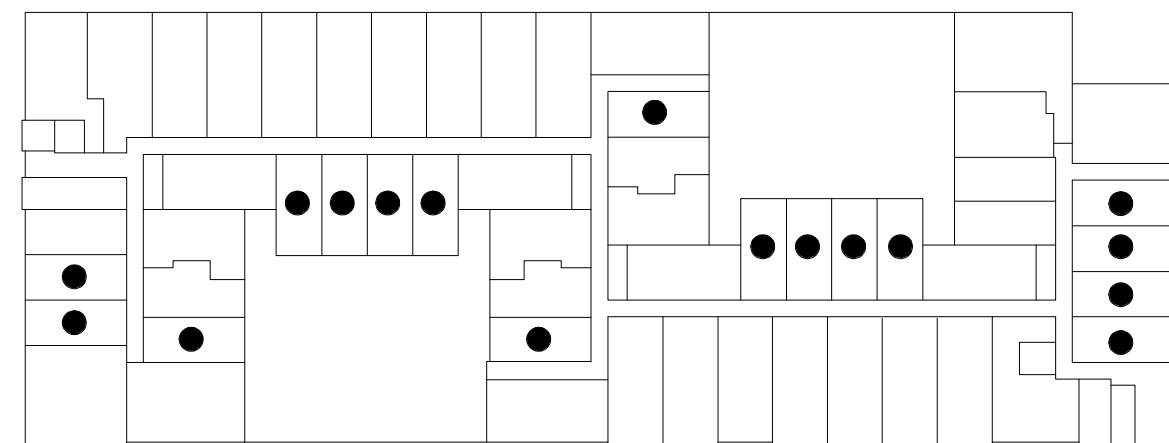
STUDIO

AVG. HUD NET RENTABLE AREA: 427 SF

AVG. MARKET NET AREA: 469 SF

UNIT COUNT: 88 - 32%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



UNIT ST-01 TYPE A

STUDIO

AVG. HUD NET RENTABLE AREA: 427 SF

AVG. MARKET NET AREA: 469 SF

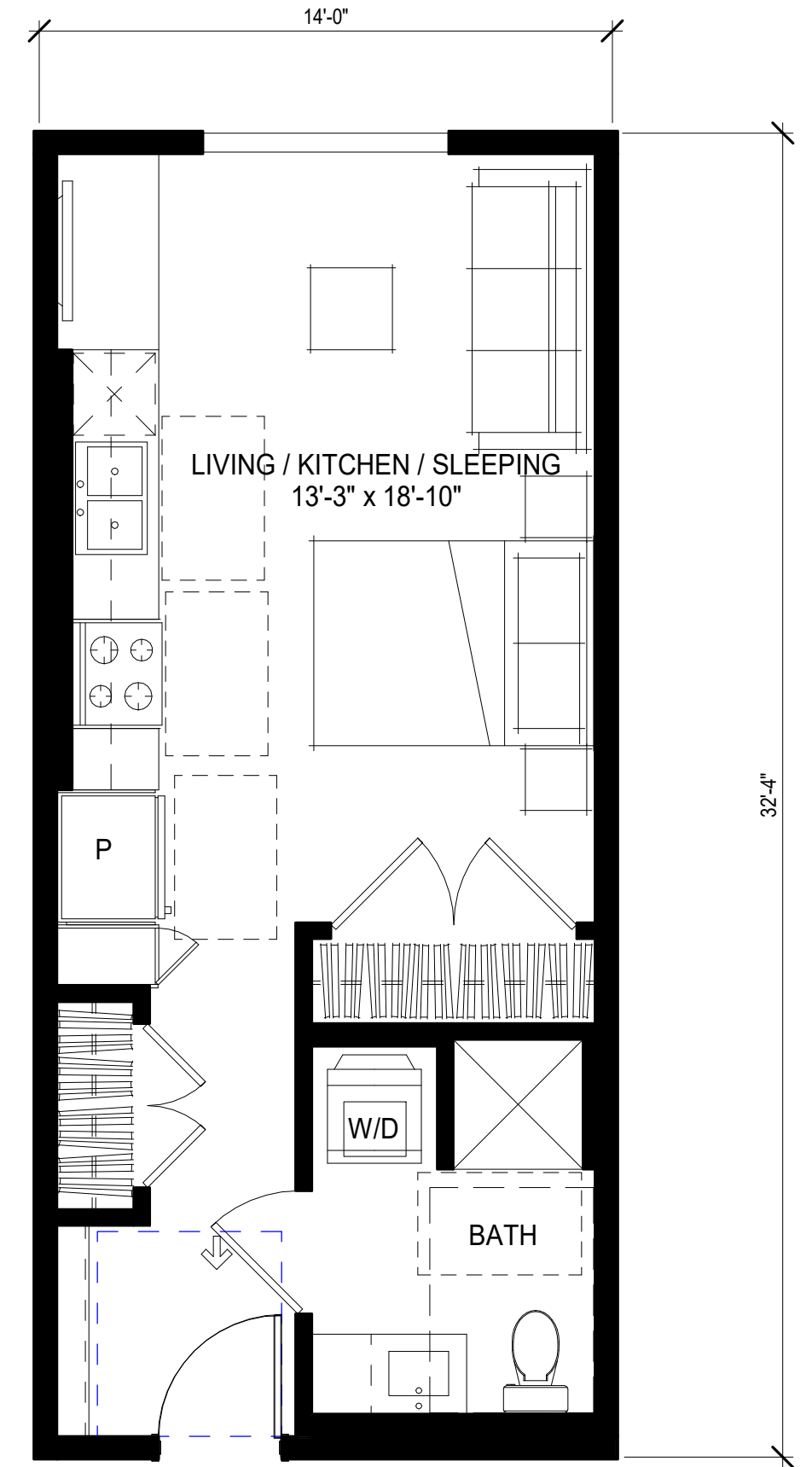
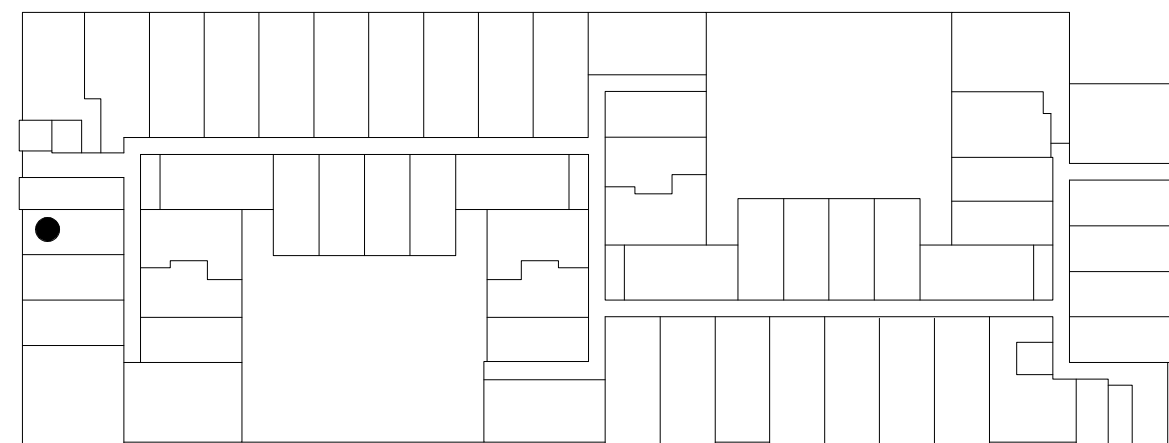
TYPE A UNIT ONLY ON LEVEL 5 & 6

UNIT COUNT: 2 - 0.7%

TYPE B UNIT ON LEVEL 4, 7 & 8

UNIT COUNT: 3 - 1.1%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



UNIT ST-02

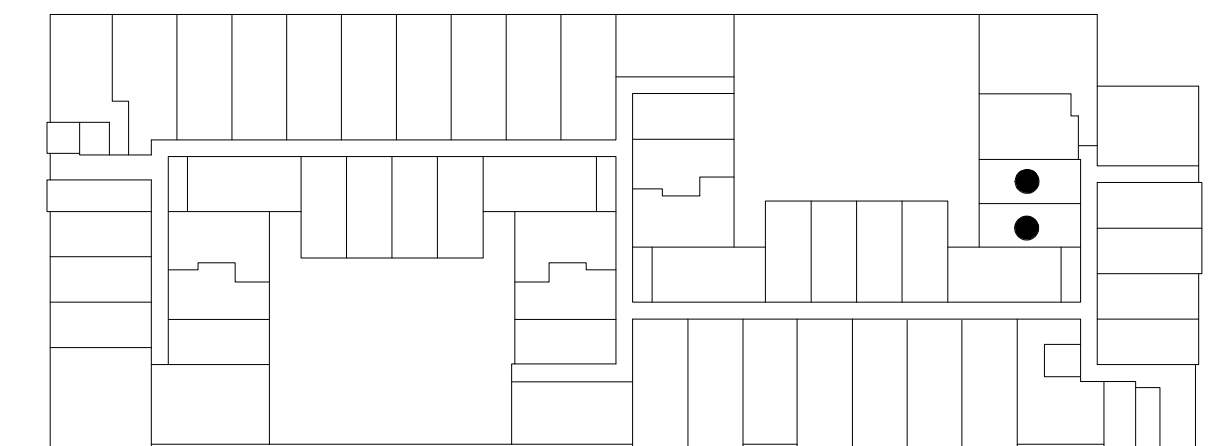
STUDIO

AVG. HUD NET RENTABLE AREA: 412 SF

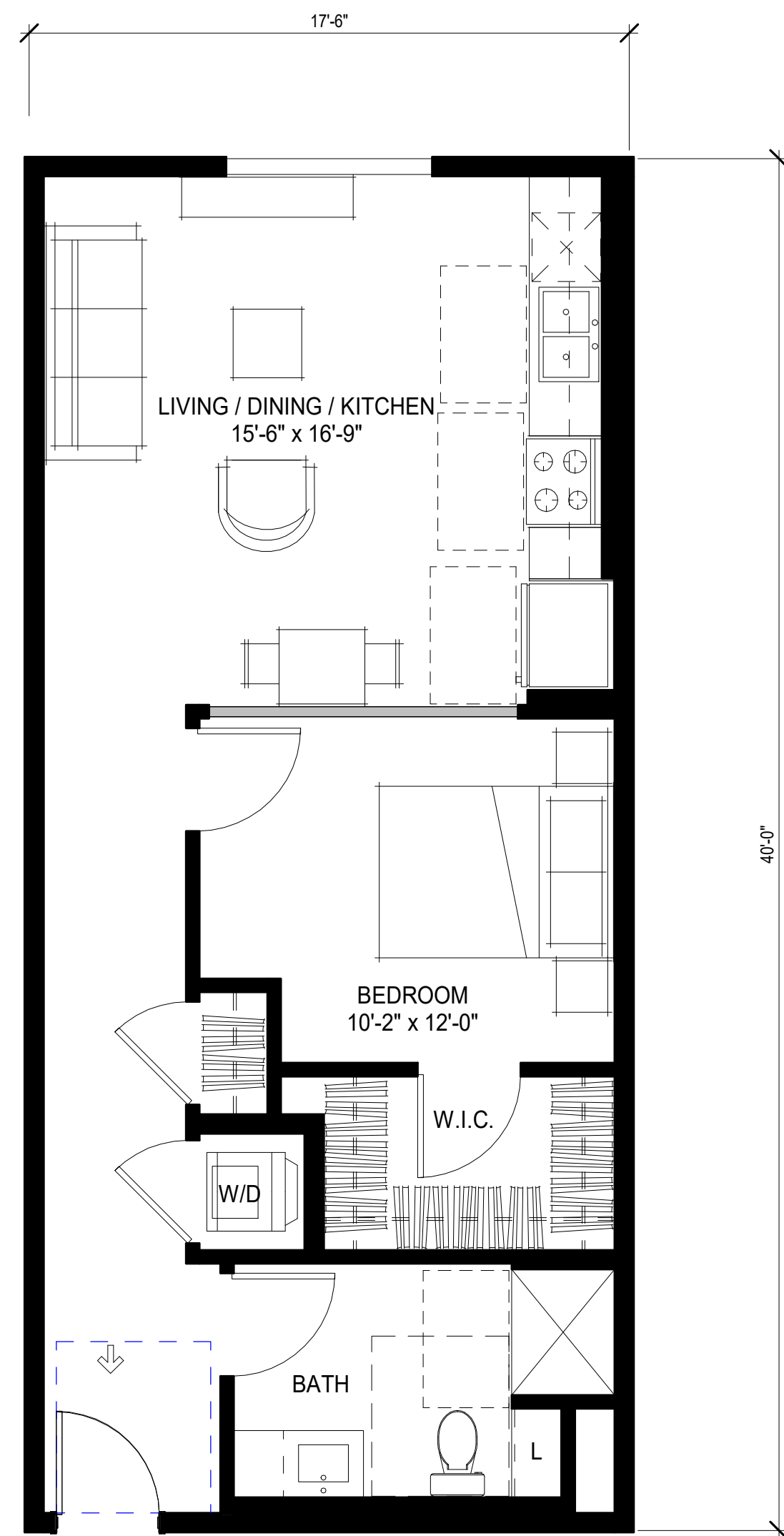
AVG. MARKET NET AREA: 453 SF

UNIT COUNT: 10 - 3.6%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



Unit plans are conceptual in nature. Final Unit Plans will be determined during the Permit Process.



UNIT 1B-01

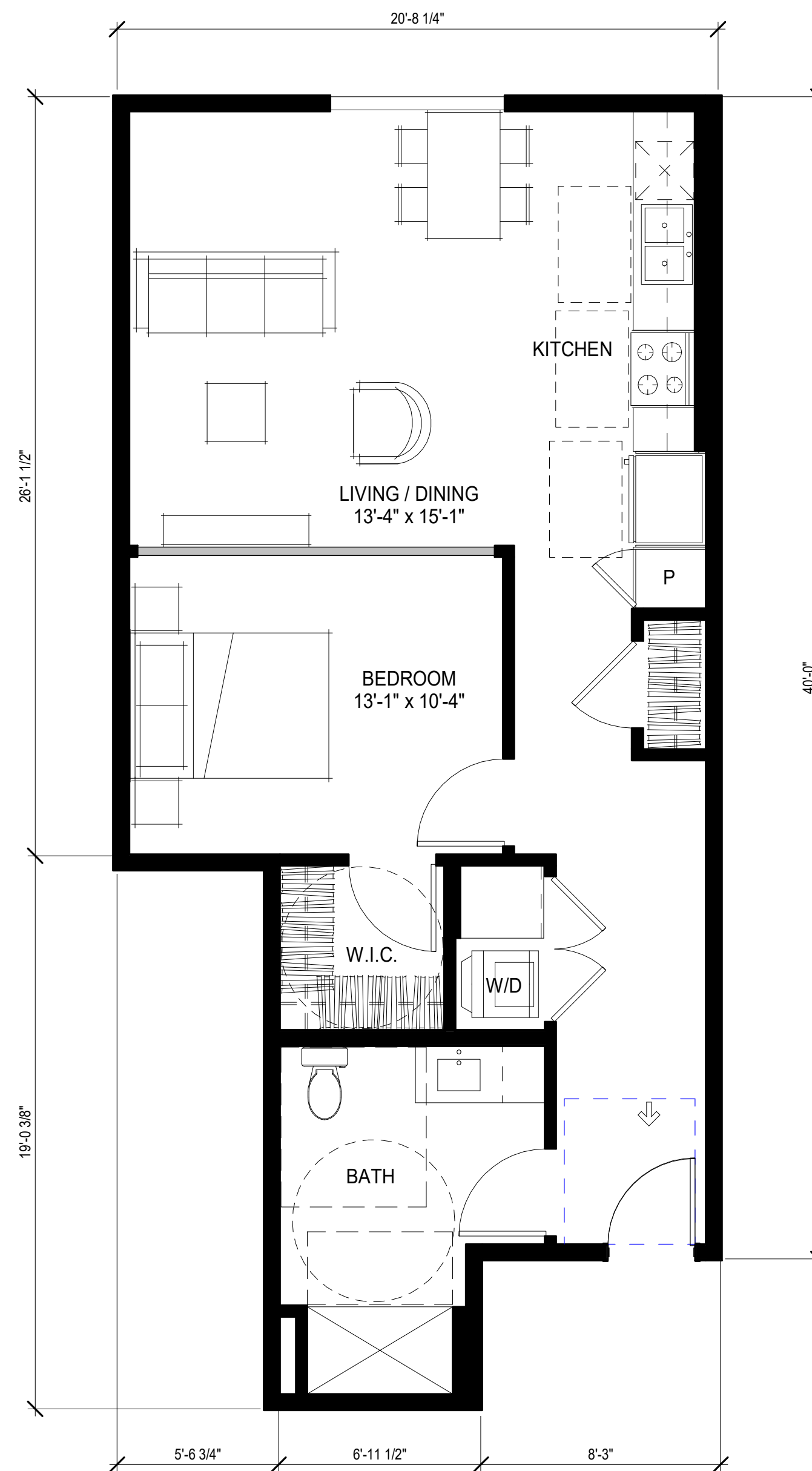
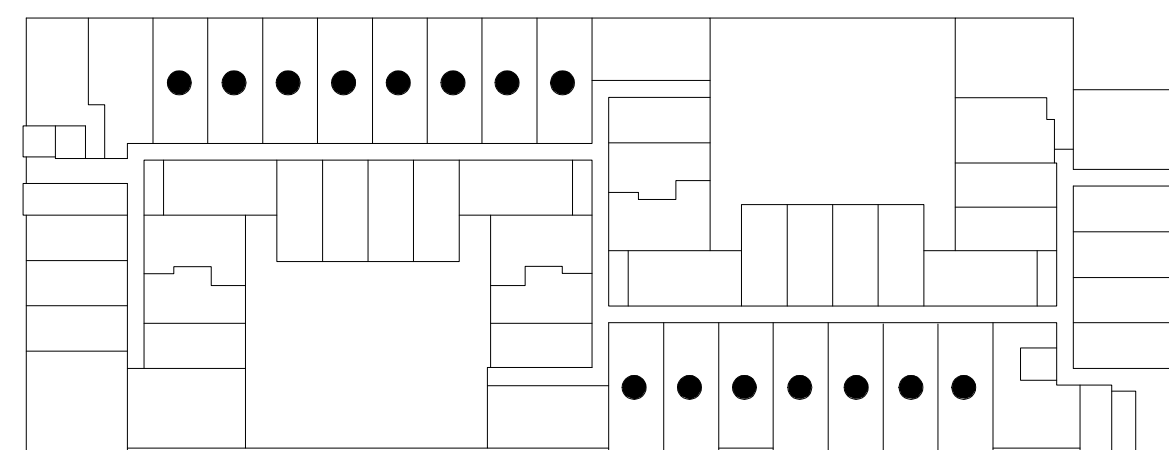
1 BED/ 1 BA

AVG. HUD NET RENTABLE AREA: 649 SF

AVG. MARKET NET AREA: 700 SF

UNIT COUNT: 75 - 27.3%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



UNIT 1B-01.1 TYPE A

1 BED/ 1 BA

AVG. HUD NET RENTABLE AREA: 800 SF

AVG. MARKET NET AREA: 741 SF

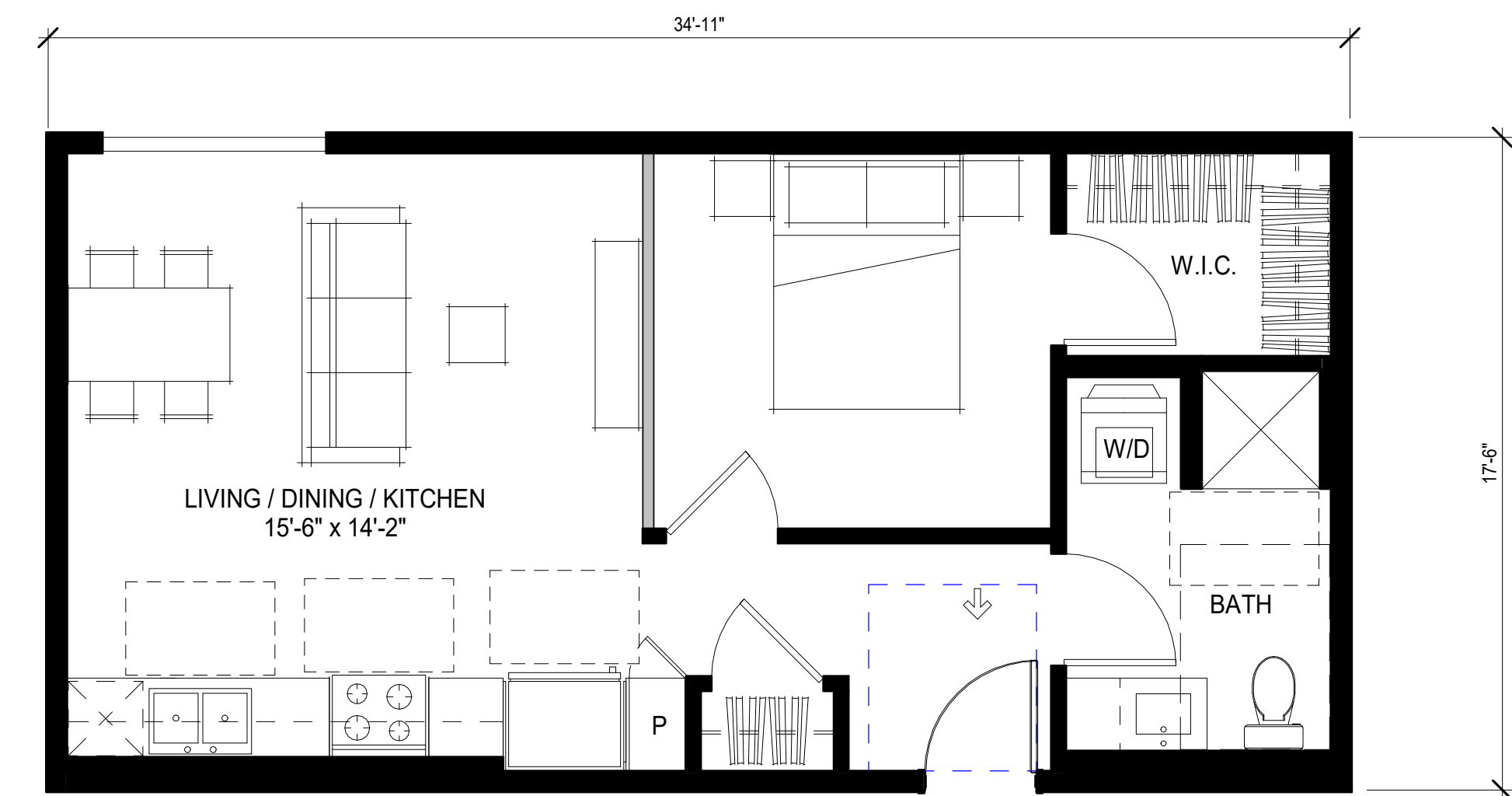
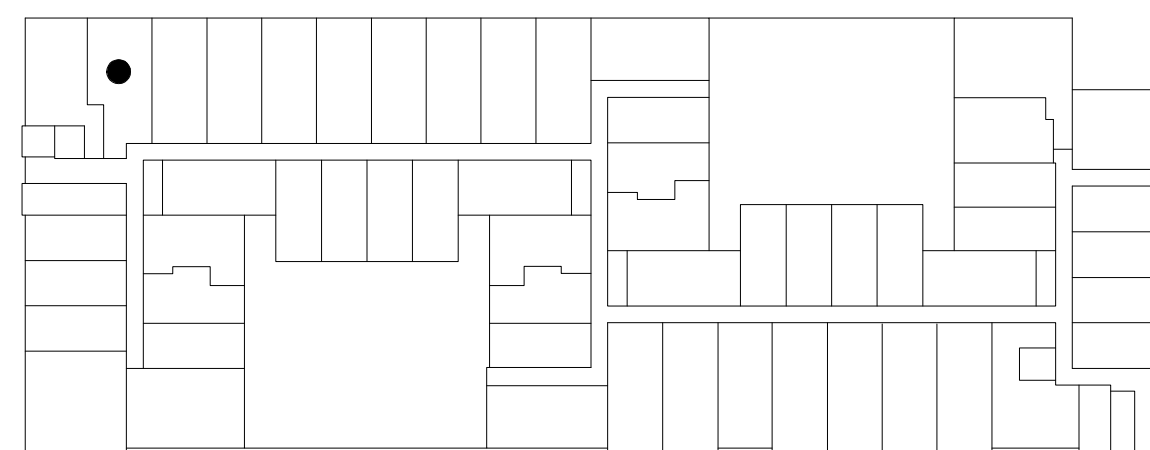
TYPE A UNIT ONLY ON LEVEL 5 & 6

UNIT COUNT: 2 - 0.7%

TYPE B UNIT ON LEVEL 4, 7 & 8

UNIT COUNT: 3 - 1.1%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



UNIT 1B-02

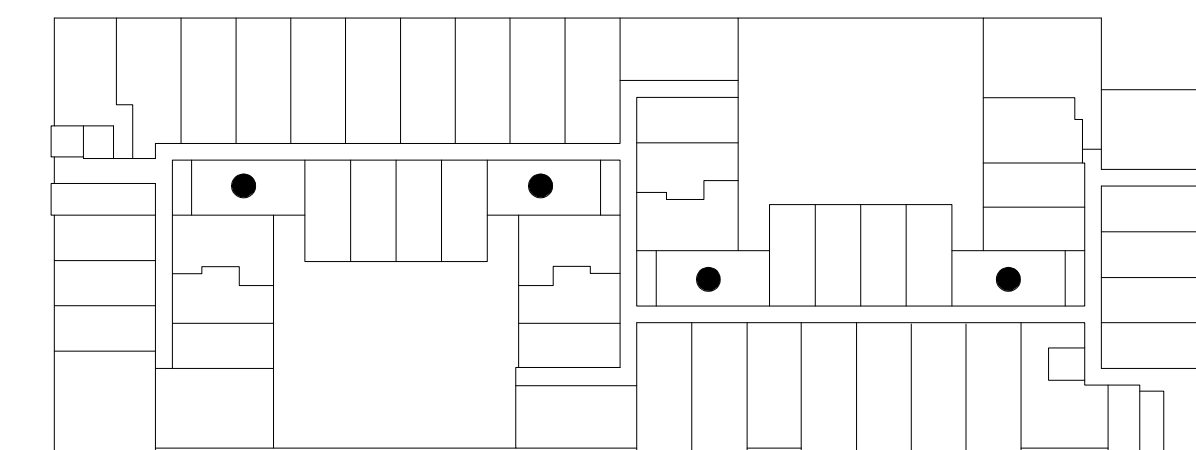
1 BED/ 1 BA

AVG. HUD NET RENTABLE AREA: 561 SF

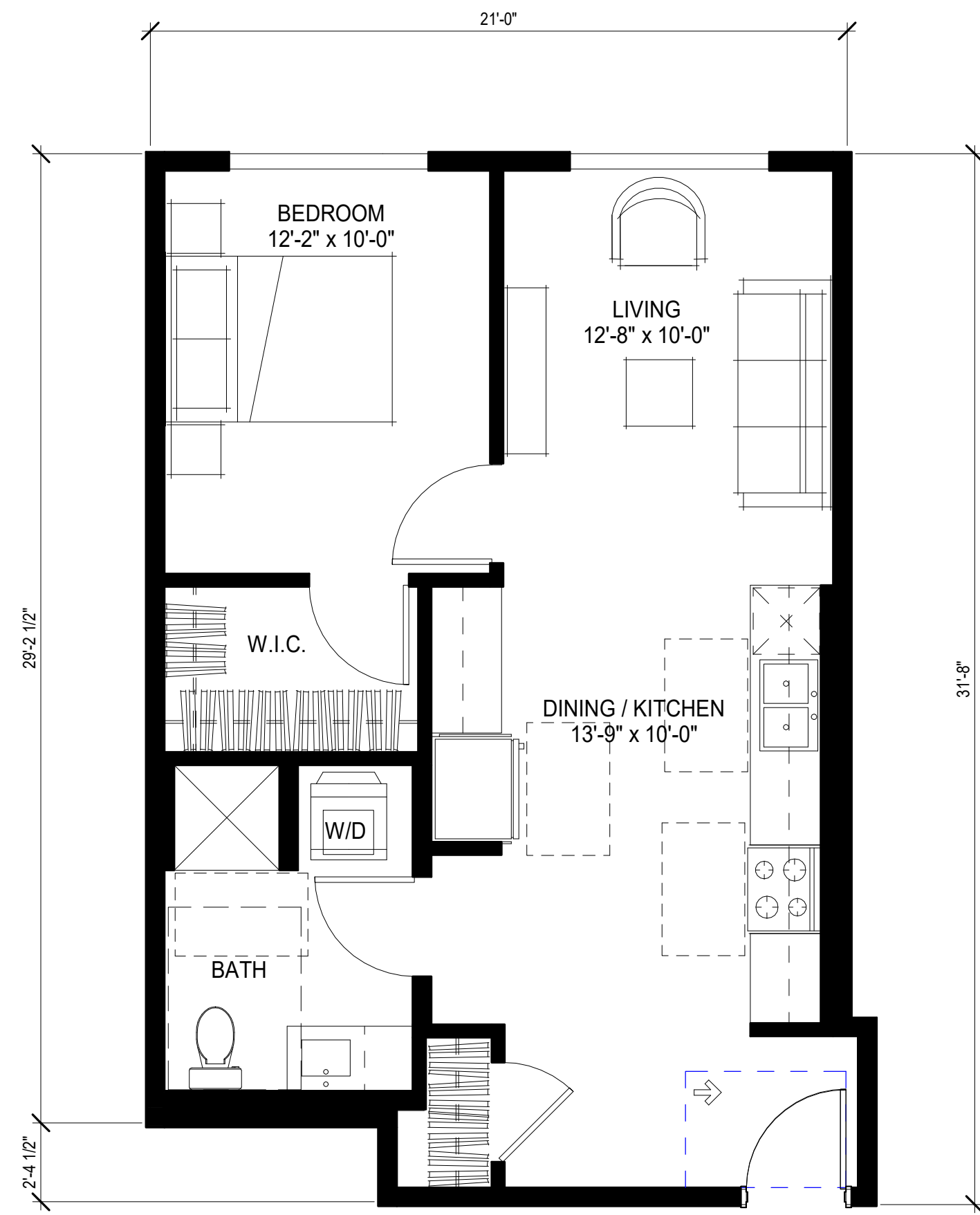
AVG. MARKET NET AREA: 611 SF

UNIT COUNT: 20 - 7.3%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



Unit plans are conceptual in nature. Final Unit Plans will be determined during the Permit Process.



UNIT 1B-03

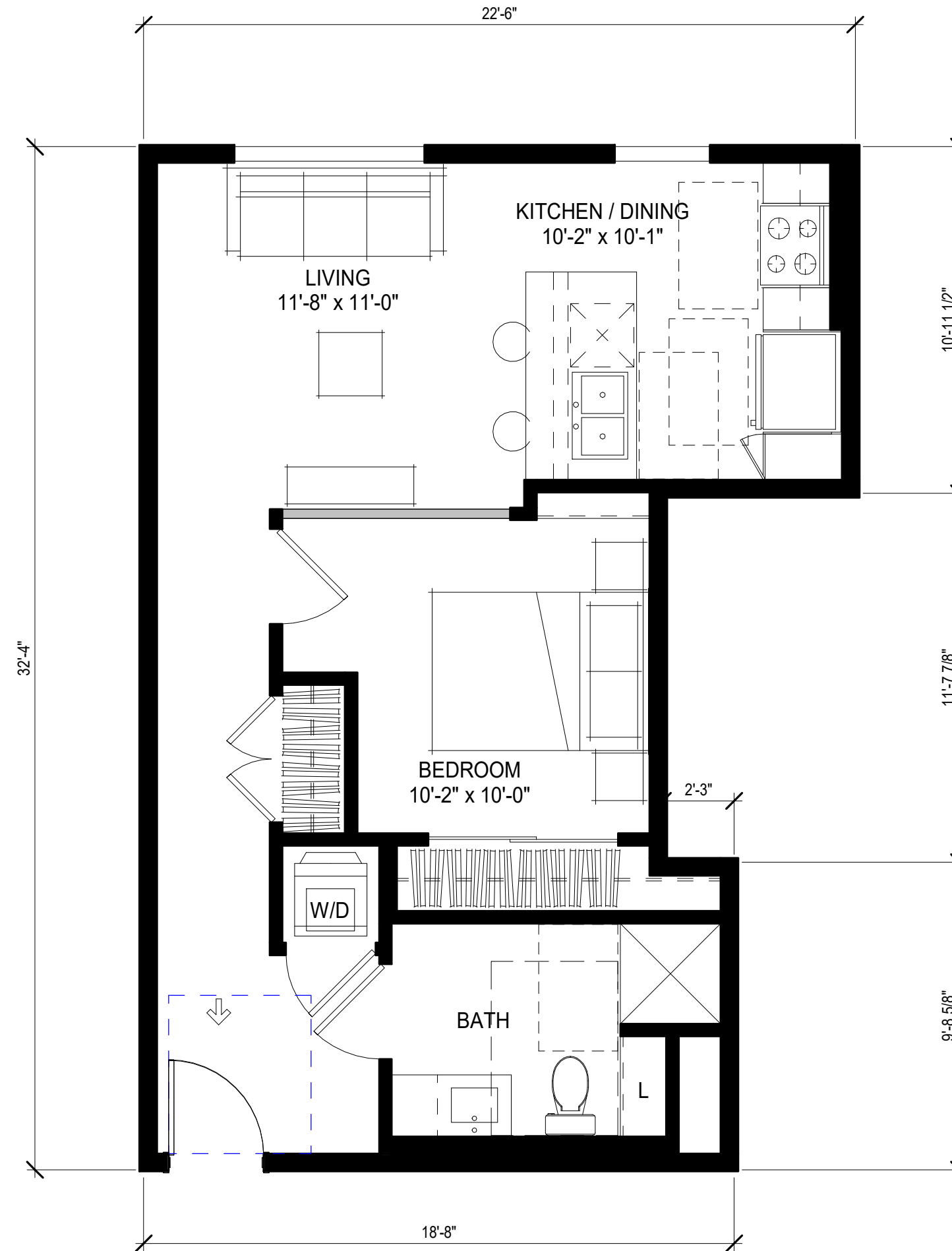
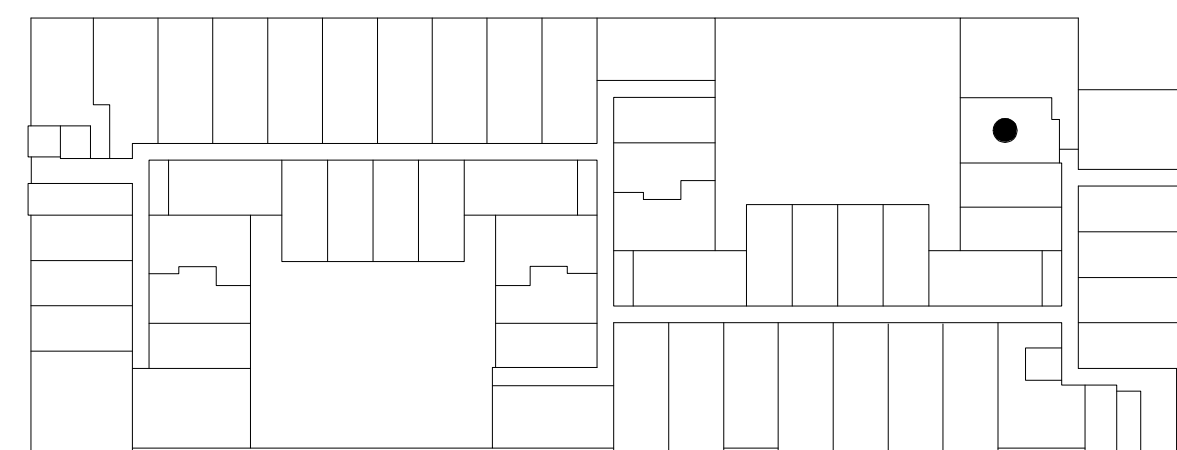
1 BED/ 1 BA

AVG. HUD NET RENTABLE AREA: 606 SF

AVG. MARKET NET AREA: 650 SF

UNIT COUNT: 5 - 1.8%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



UNIT 1B-04

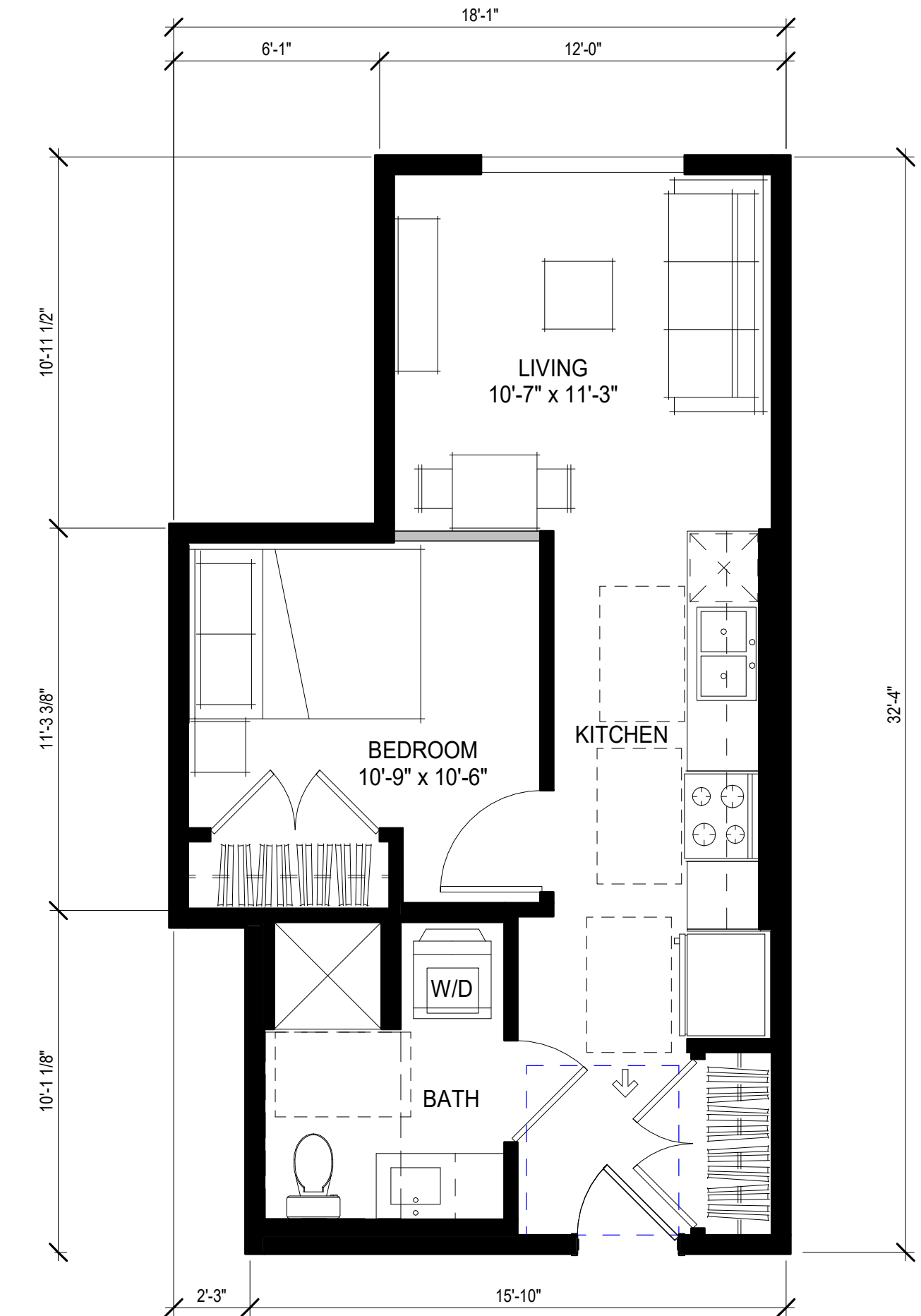
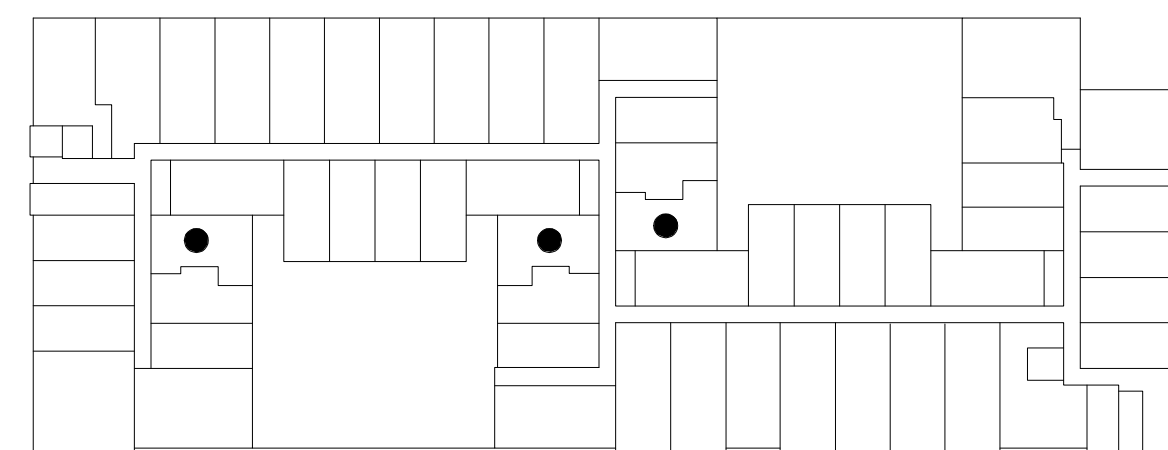
1 BED/ 1 BA

AVG. HUD NET RENTABLE AREA: 568 SF

AVG. MARKET NET AREA: 619 SF

UNIT COUNT: 15 - 5.5%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



UNIT 1B-05

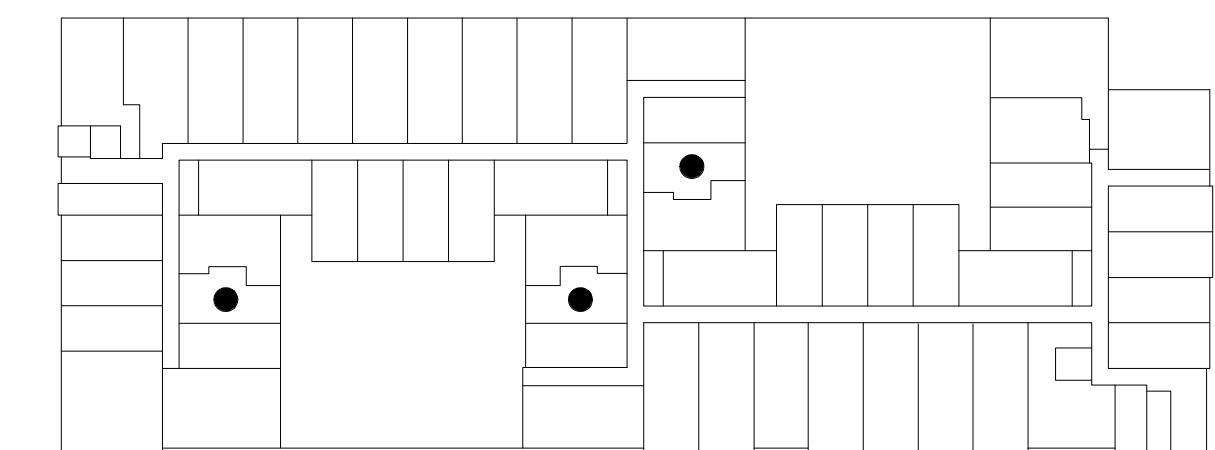
1 BED/ 1 BA

AVG. HUD NET RENTABLE AREA: 452 SF

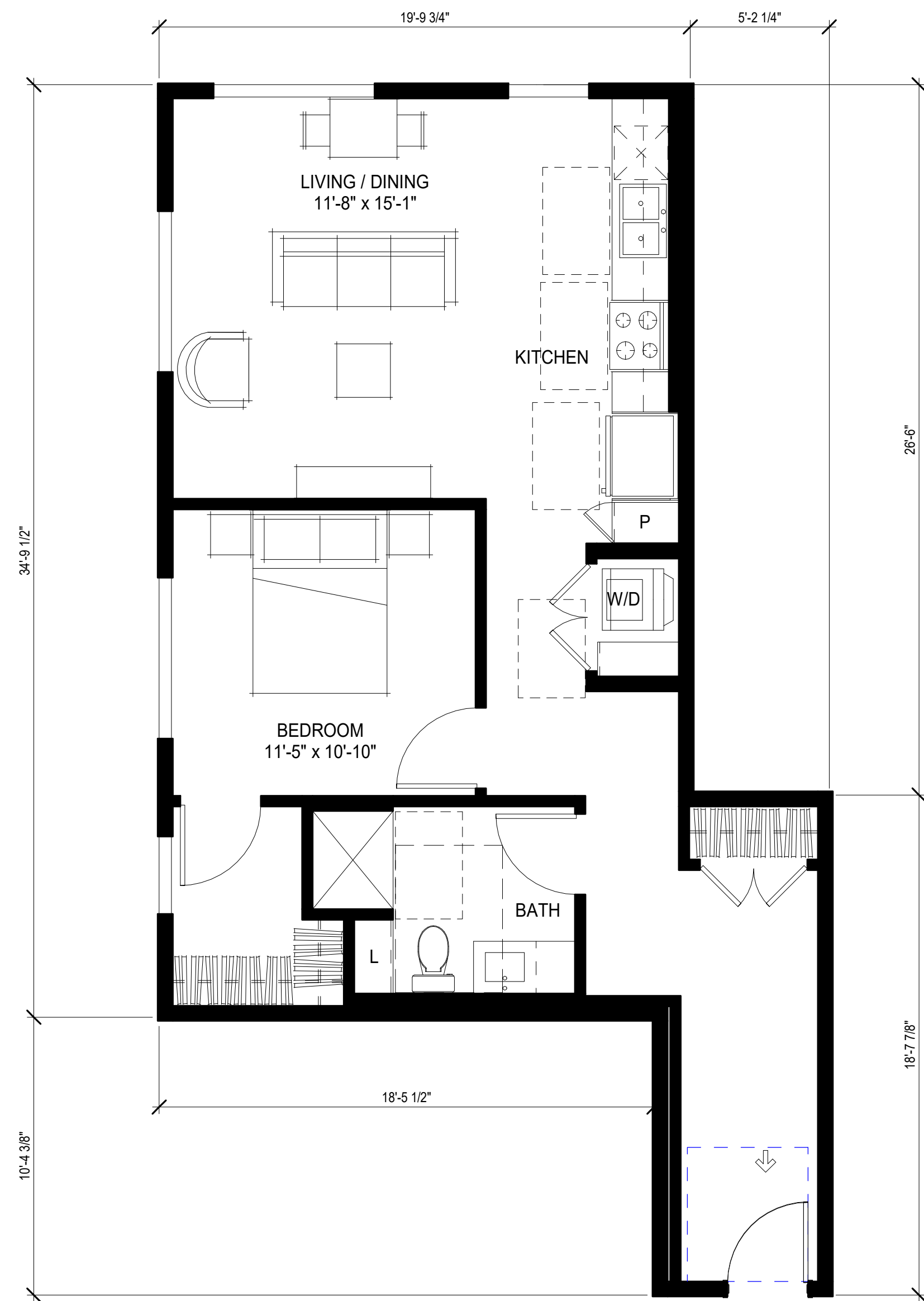
AVG. MARKET NET AREA: 496 SF

UNIT COUNT: 15 - 5.5%

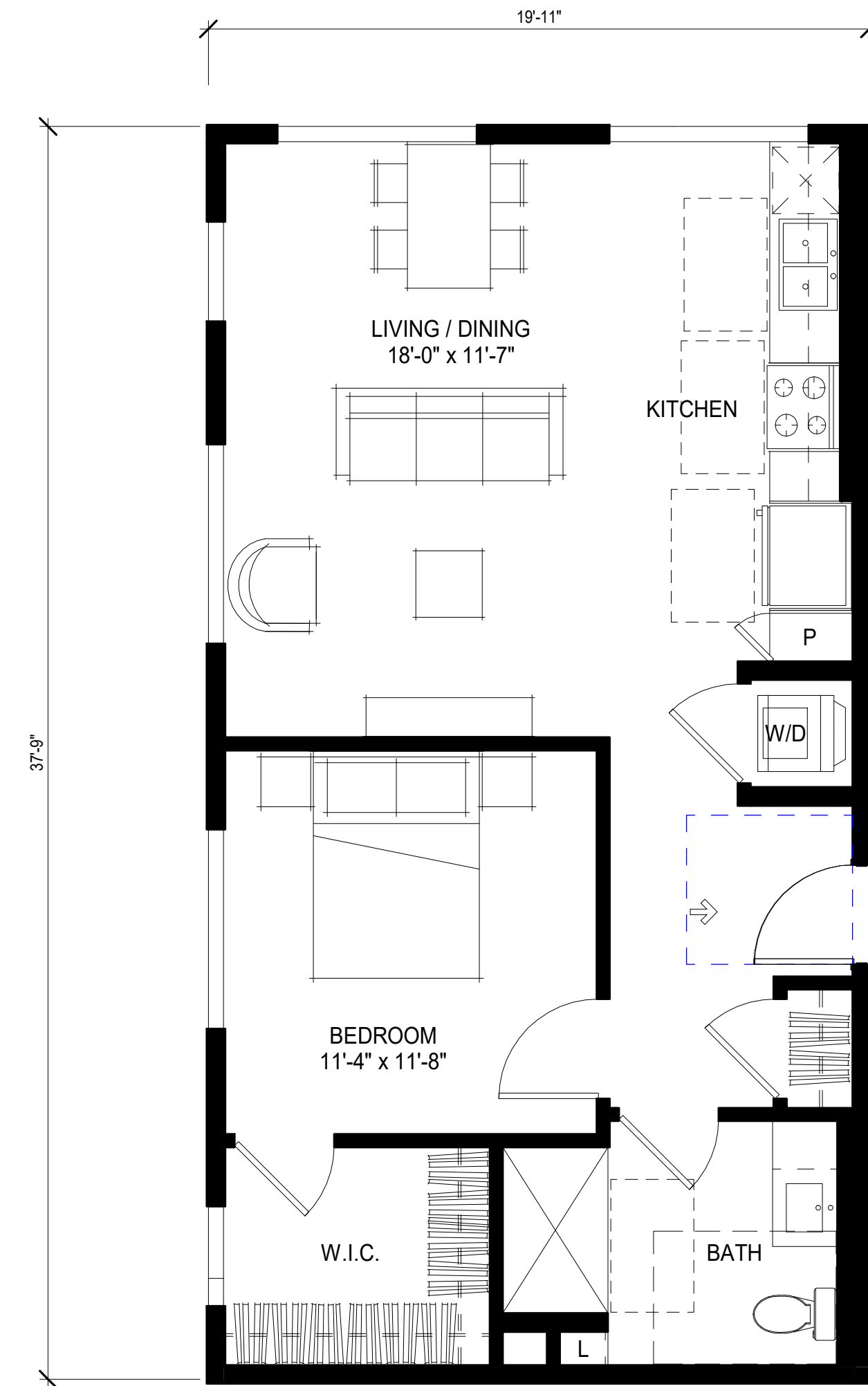
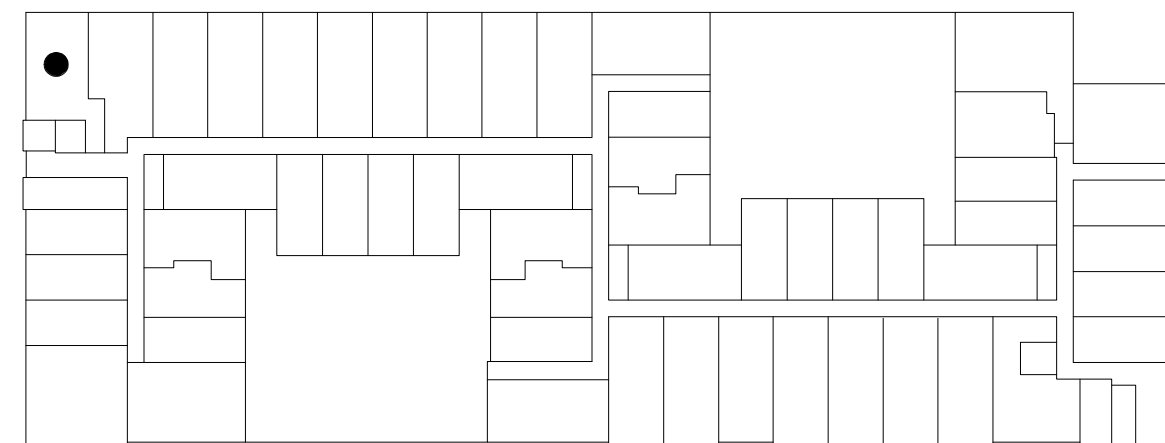
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



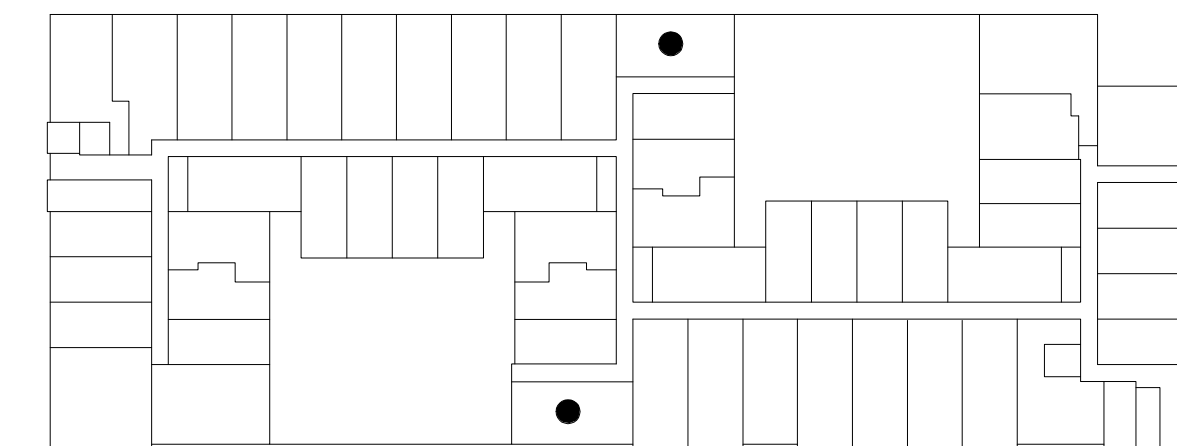
Unit plans are conceptual in nature. Final Unit Plans will be determined during the Permit Process.



UNIT 1B-06
 1 BED/ 1 BA
 AVG. HUD NET RENTABLE AREA: 723 SF
 AVG. MARKET NET AREA: 797 SF
 UNIT COUNT: 5 - 1.8%
 (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

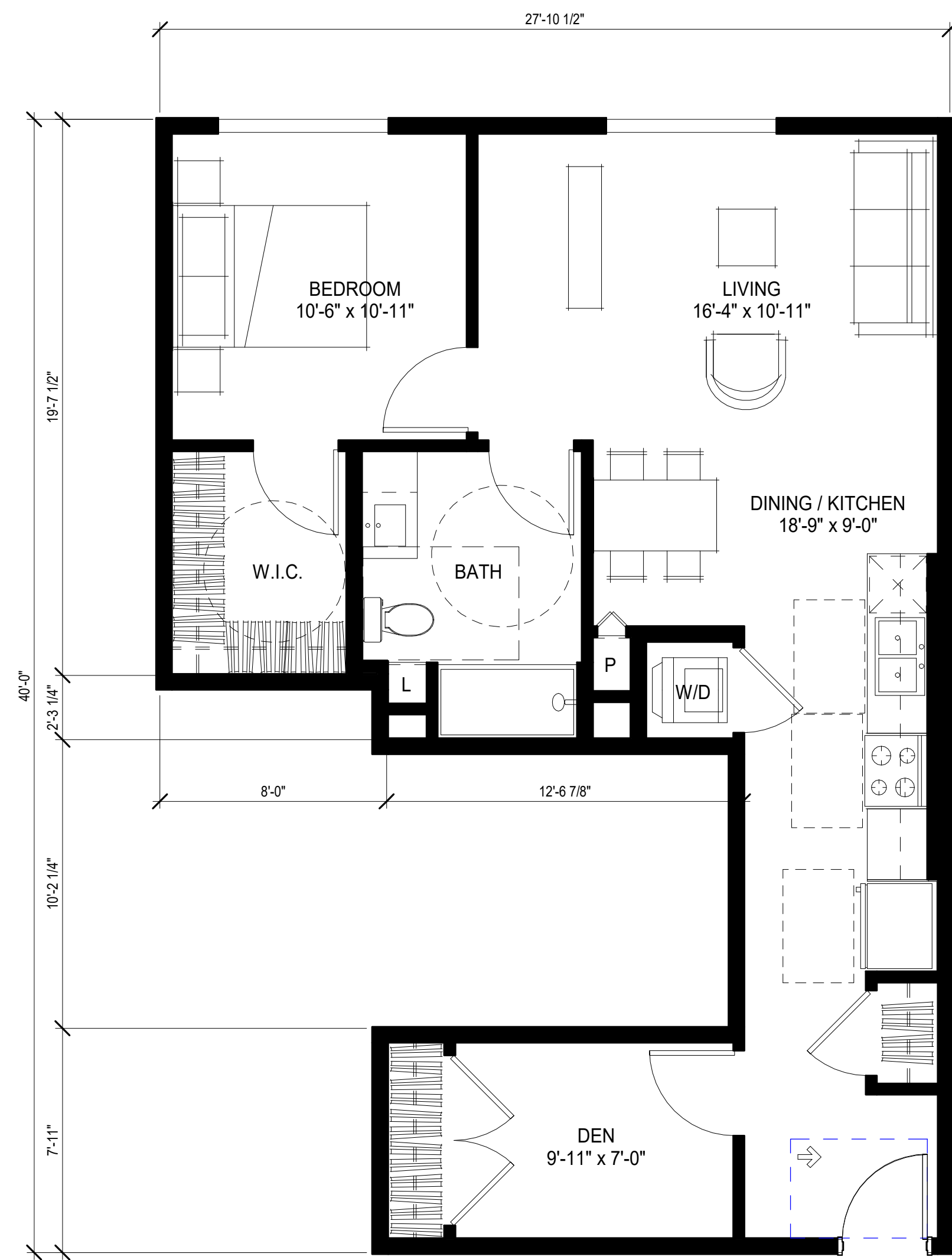


UNIT 1B-07
 1 BED/ 1 BA
 AVG. HUD NET RENTABLE AREA: 696 SF
 AVG. MARKET NET AREA: 752 SF
 UNIT COUNT: 2 - 0.7%
 (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

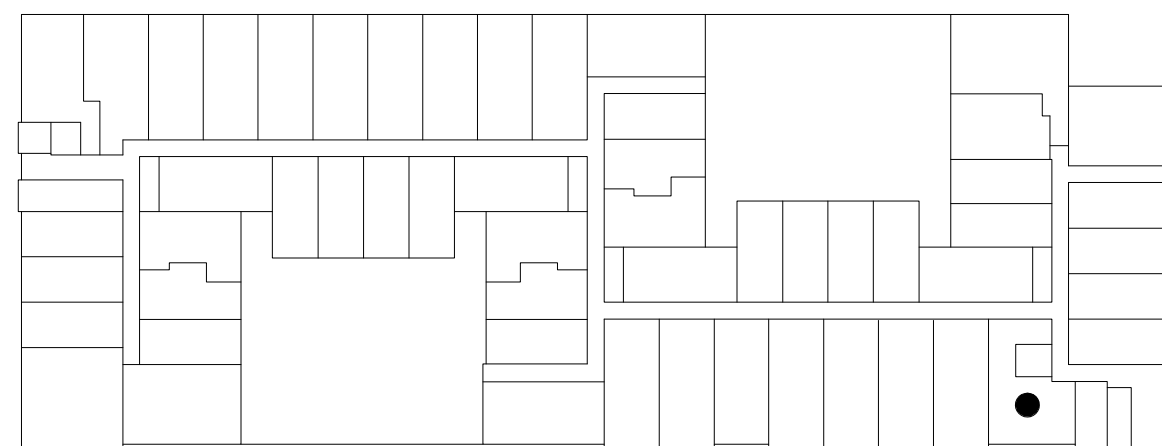


LEVEL 4 ONLY

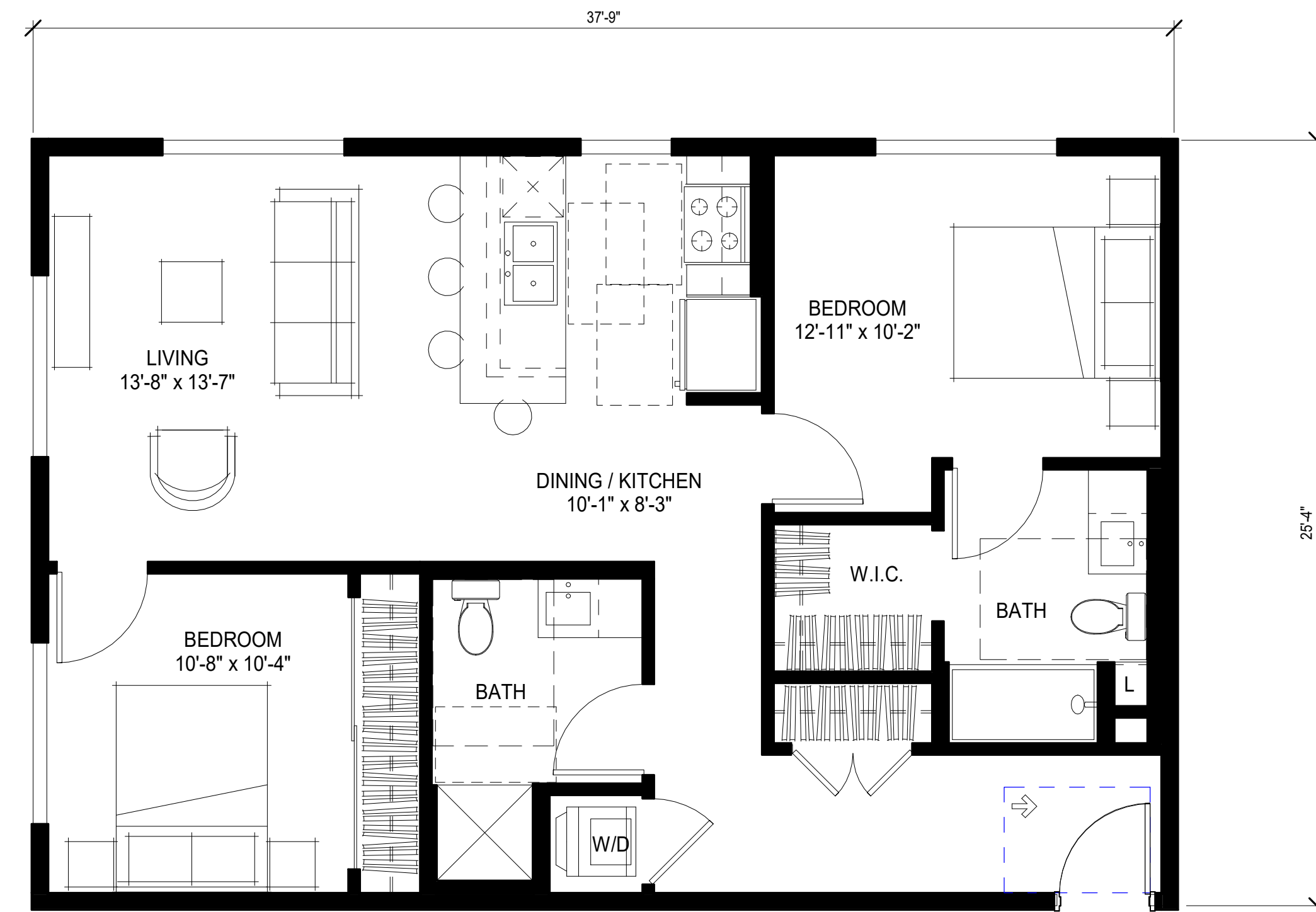
Unit plans are conceptual in nature. Final Unit Plans will be determined during the Permit Process.



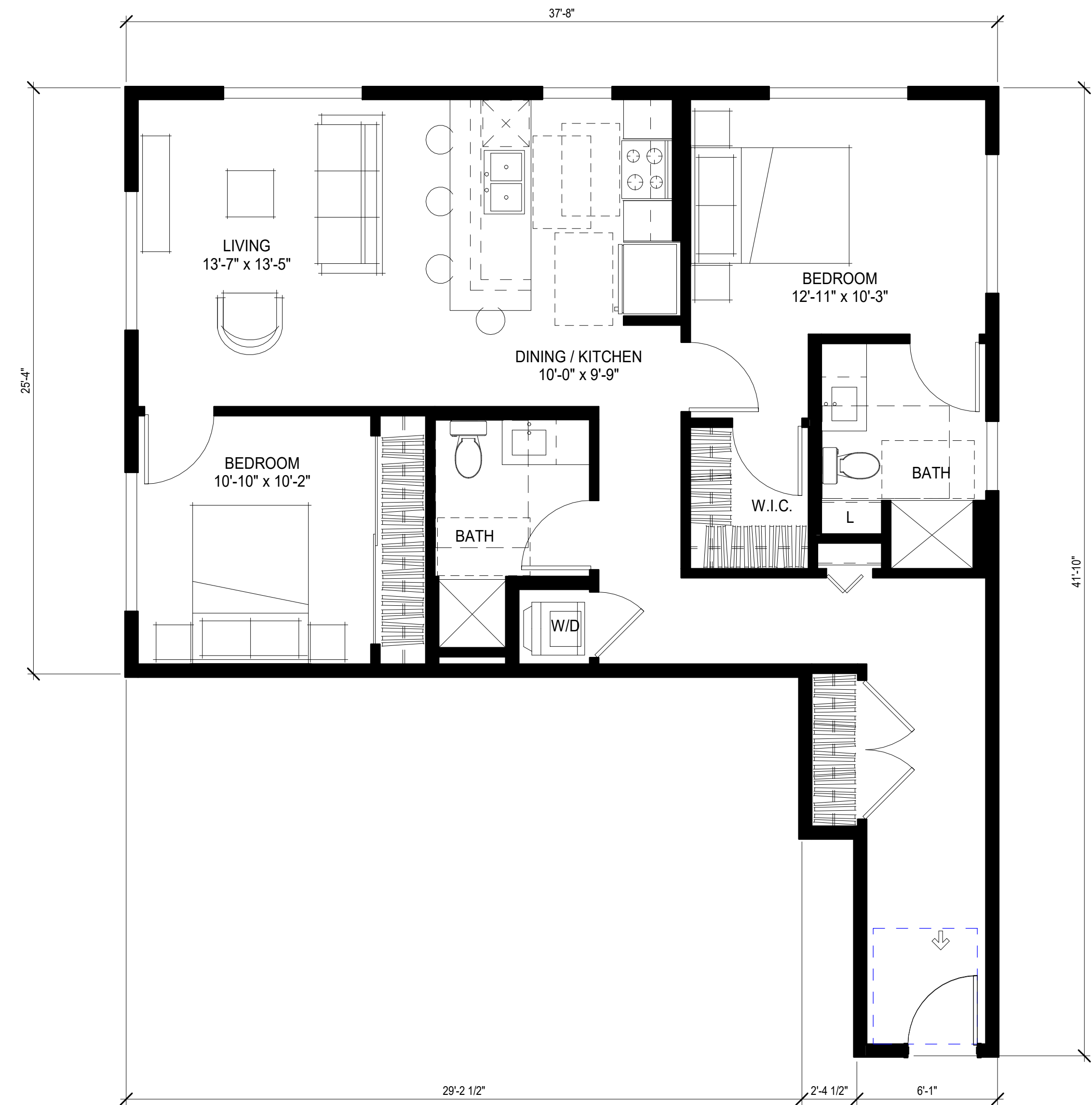
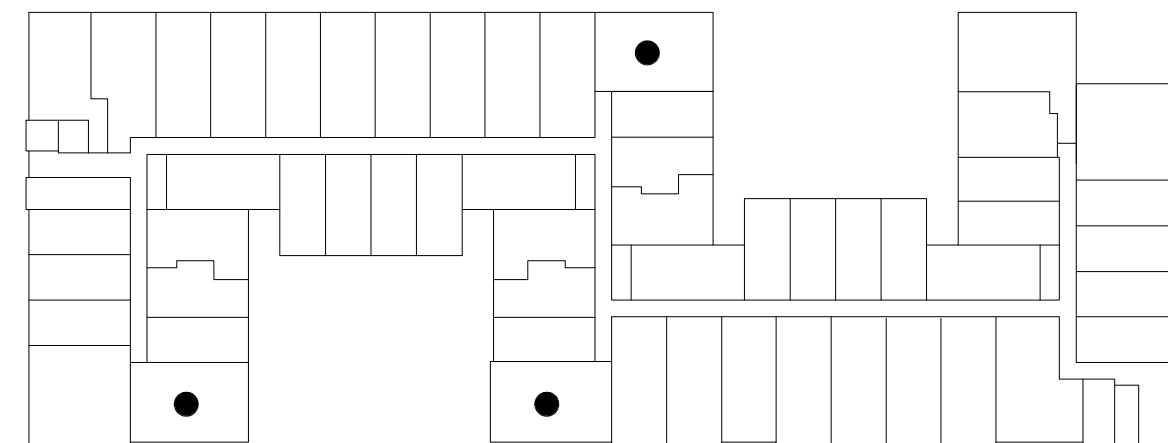
UNIT 1B-09
 1 BED + DEN/ 1 BA
 AVG. HUD NET RENTABLE AREA: 842 SF
 AVG. MARKET NET AREA: 766 SF
 TYPE A UNIT ONLY ON LEVEL 5
 UNIT COUNT: 1 - 0.4%
 TYPE B UNIT ON LEVEL 4, 6, 7 & 8
 UNIT COUNT: 4 - 1.5%
 (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



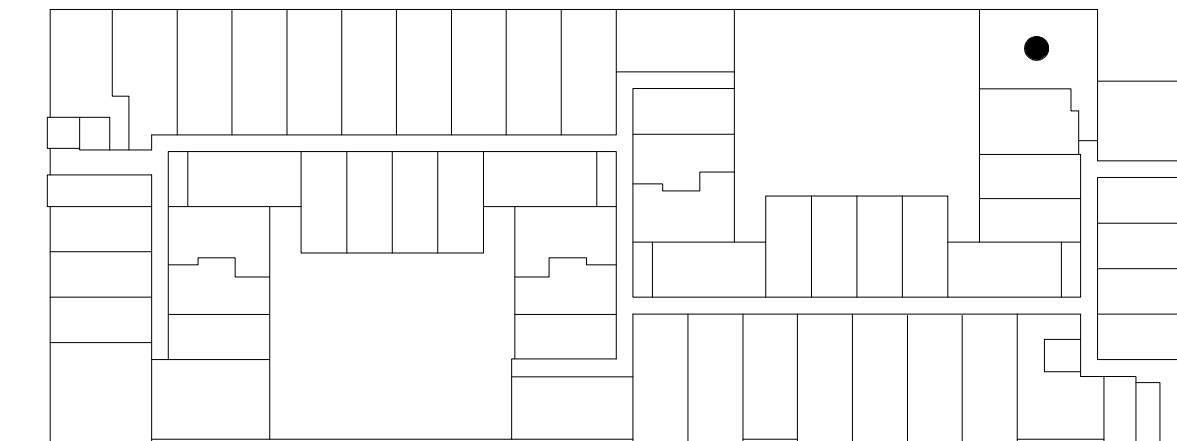
Unit plan is conceptual in nature. Final Unit Plan will be determined during the Permit Process.



UNIT 2B-01
 2 BED/ 2 BA
 AVG. HUD NET RENTABLE AREA: 898 SF
 AVG. MARKET NET AREA: 956 SF
 UNIT COUNT: 13 - 4.7%
 (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



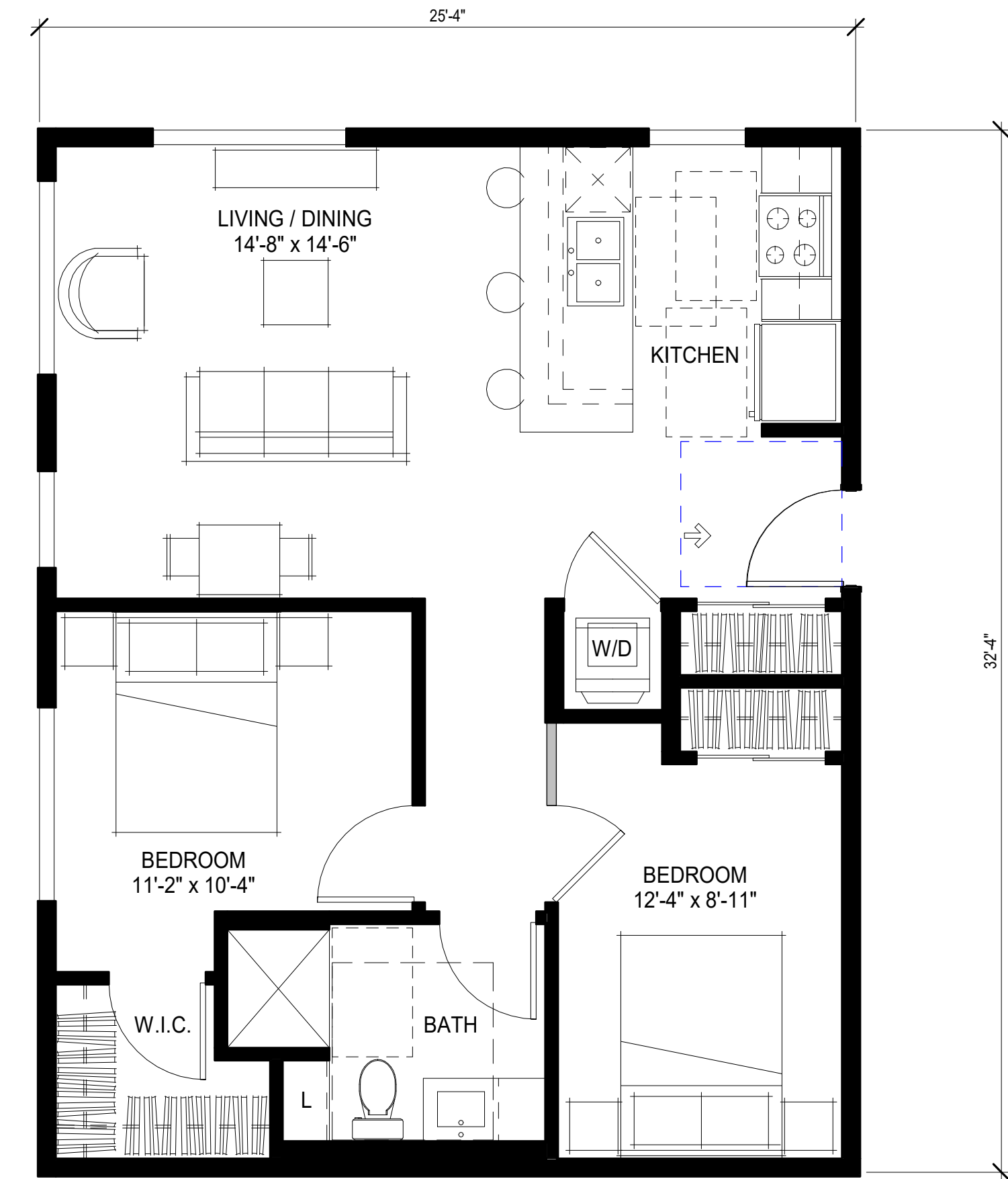
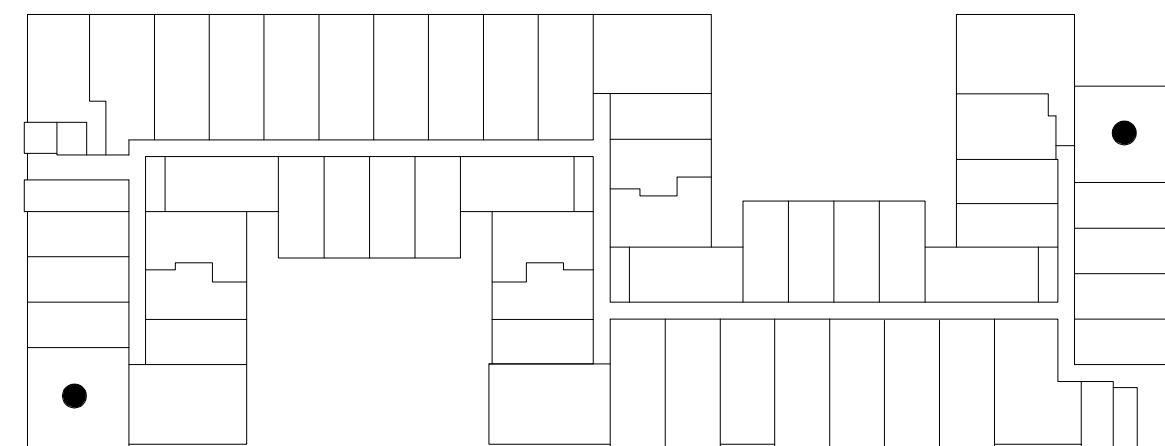
UNIT 2B-01.1
 2 BED/ 2 BA
 AVG. HUD NET RENTABLE AREA: 995 SF
 AVG. MARKET NET AREA: 1,071 SF
 UNIT COUNT: 5 - 1.8%
 (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



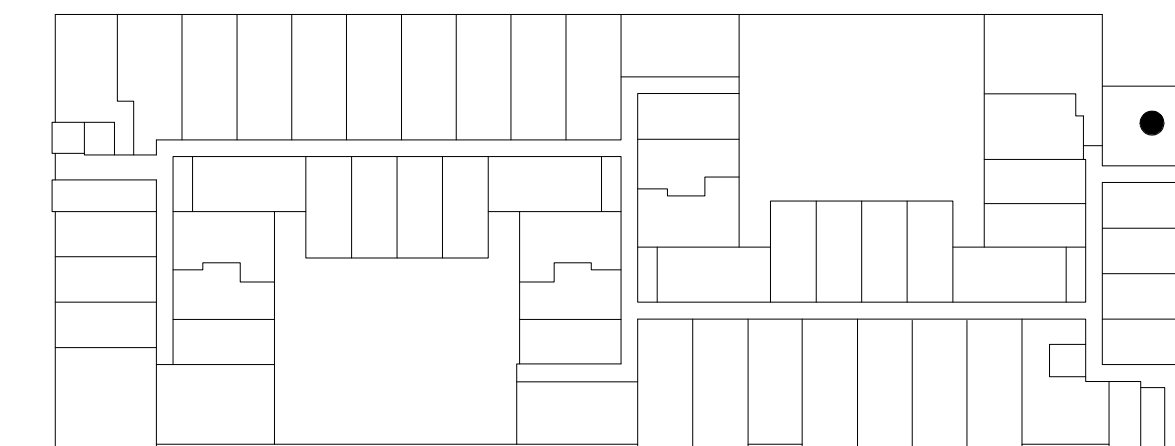
Unit plans are conceptual in nature. Final Unit Plans will be determined during the Permit Process.



UNIT 2B-03
 2 BED/ 2 BA
 AVG. HUD NET RENTABLE AREA: 936 SF
 AVG. MARKET NET AREA: 997 SF
 TYPE A UNIT ONLY ON LEVEL 5
 UNIT COUNT: 1 - 0.4%
 TYPE B UNIT ON LEVEL 4 - 8
 UNIT COUNT: 8 - 2.9%
 (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



UNIT 2B-04
 2 BED/ 1 BA
 AVG. HUD NET RENTABLE AREA: 766 SF
 AVG. MARKET NET AREA: 822 SF
 UNIT COUNT: 1 - 0.4%
 (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



LEVEL 4 ONLY

Unit plans are conceptual in nature. Final Unit Plans will be determined during the Permit Process.



Building Perspective is conceptual in nature. Final Building Design will be determined during the Permit Process.

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PHONE: 949.809.3388

PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

A5-1
CONCEPTUAL BUILDING PERSPECTIVE

08/01/2024



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PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

A5-2
CONCEPTUAL BUILDING PERSPECTIVE

08/01/2024



Building Perspective is conceptual in nature. Final Building Design will be determined during the Permit Process.

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A5-3
CONCEPTUAL BUILDING PERSPECTIVE

PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

08/01/2024



Building Perspective is conceptual in nature. Final Building Design will be determined during the Permit Process.

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A5-4
CONCEPTUAL BUILDING PERSPECTIVE

08/01/2024



Building Perspective is conceptual in nature. Final Building Design will be determined during the Permit Process.

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PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

A5-5
CONCEPTUAL BUILDING PERSPECTIVE

08/01/2024



Building Perspective is conceptual in nature. Final Building Design will be determined during the Permit Process.

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PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

A5-6
CONCEPTUAL BUILDING PERSPECTIVE

08/01/2024



Lighting is conceptual in nature. Final Lighting Design will be determined during the Permit Process. All lighting is intended to comply with Standard K of SLC Design Review.

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IRVINE, CA 92614
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PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

A6-1
LIGHTING AND SIGNAGE PLAN

08/01/2024



Lighting is conceptual in nature. Final Lighting Design will be determined during the Permit Process. All lighting is intended to comply with Standard K of SLC Design Review.

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PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

A6-2
LIGHTING AND SIGNAGE PLAN

08/01/2024



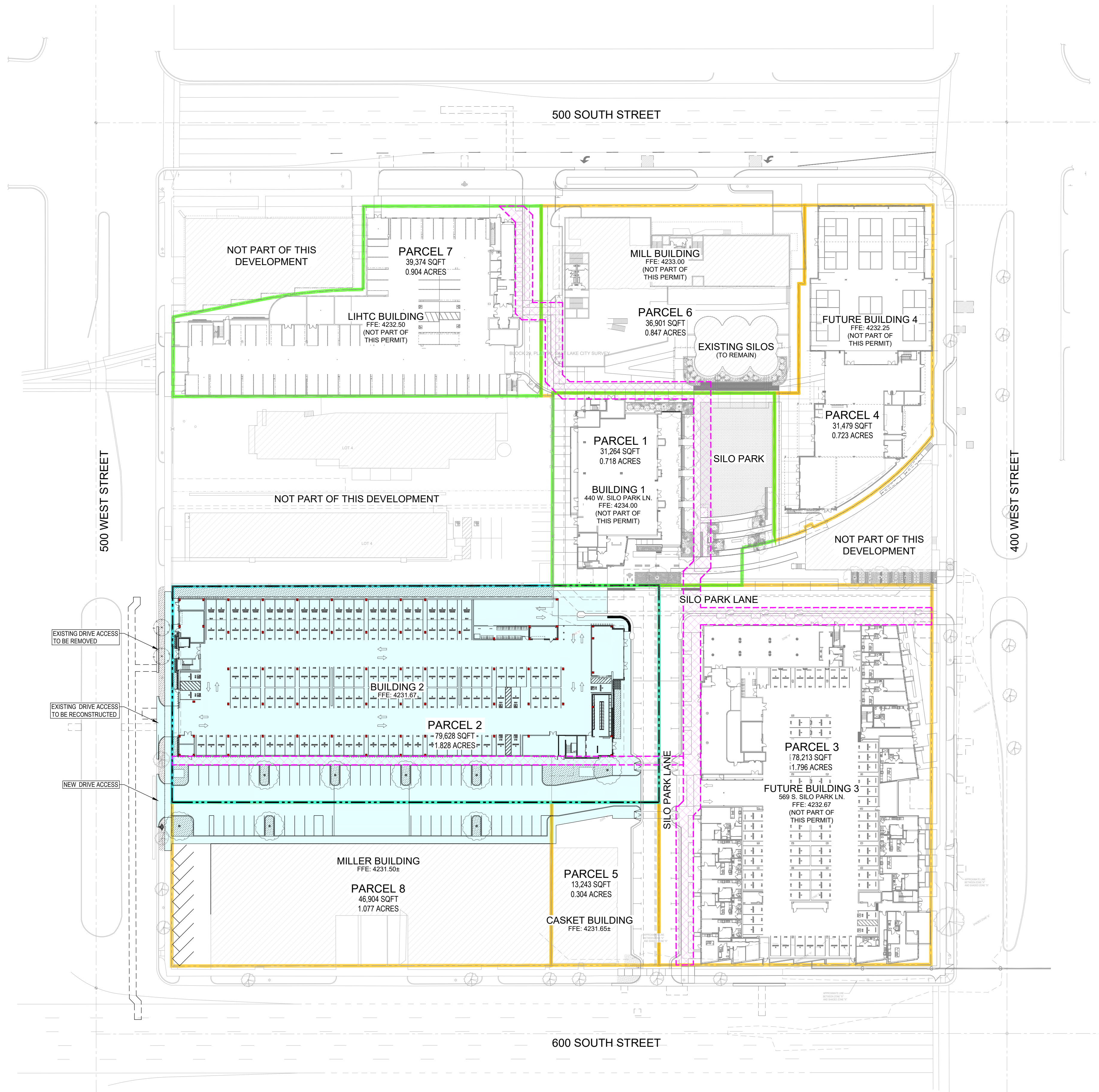
Lighting is conceptual in nature. Final Lighting Design will be determined during the Permit Process. All lighting is intended to comply with Standard K of SLC Design Review.

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PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2



LEGEND

- SUBJECT PARCEL
- AREA OF PROPOSED DEVELOPMENT WITH THIS PERMIT
- PARCEL CURRENTLY UNDER DEVELOPMENT
- PARCEL OF FUTURE DEVELOPMENT
- PROPOSED MID-BLOCK WALKWAY EASEMENT

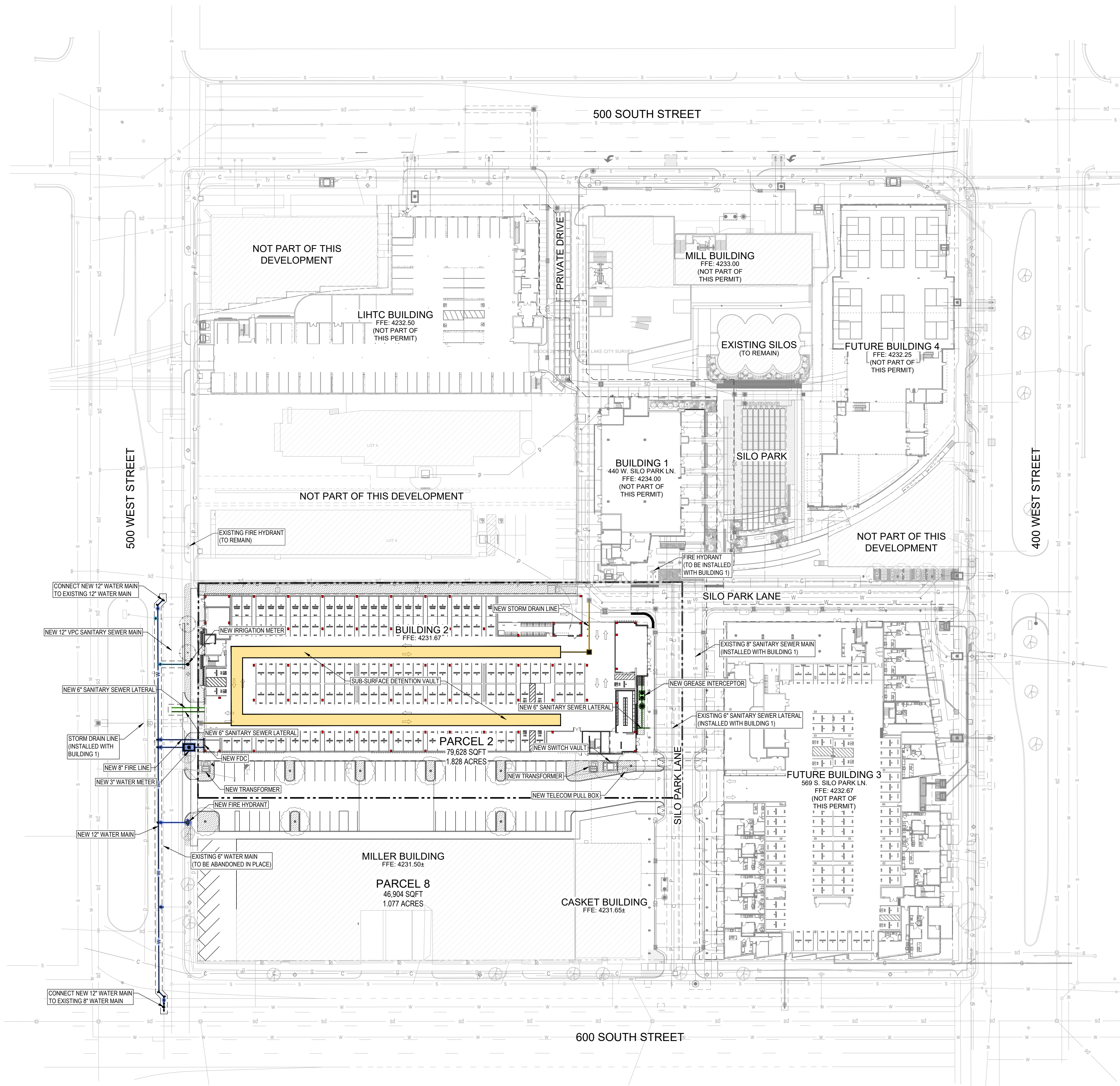
SILOS SOUTH APARTMENTS
SALT LAKE CITY, UT 84101

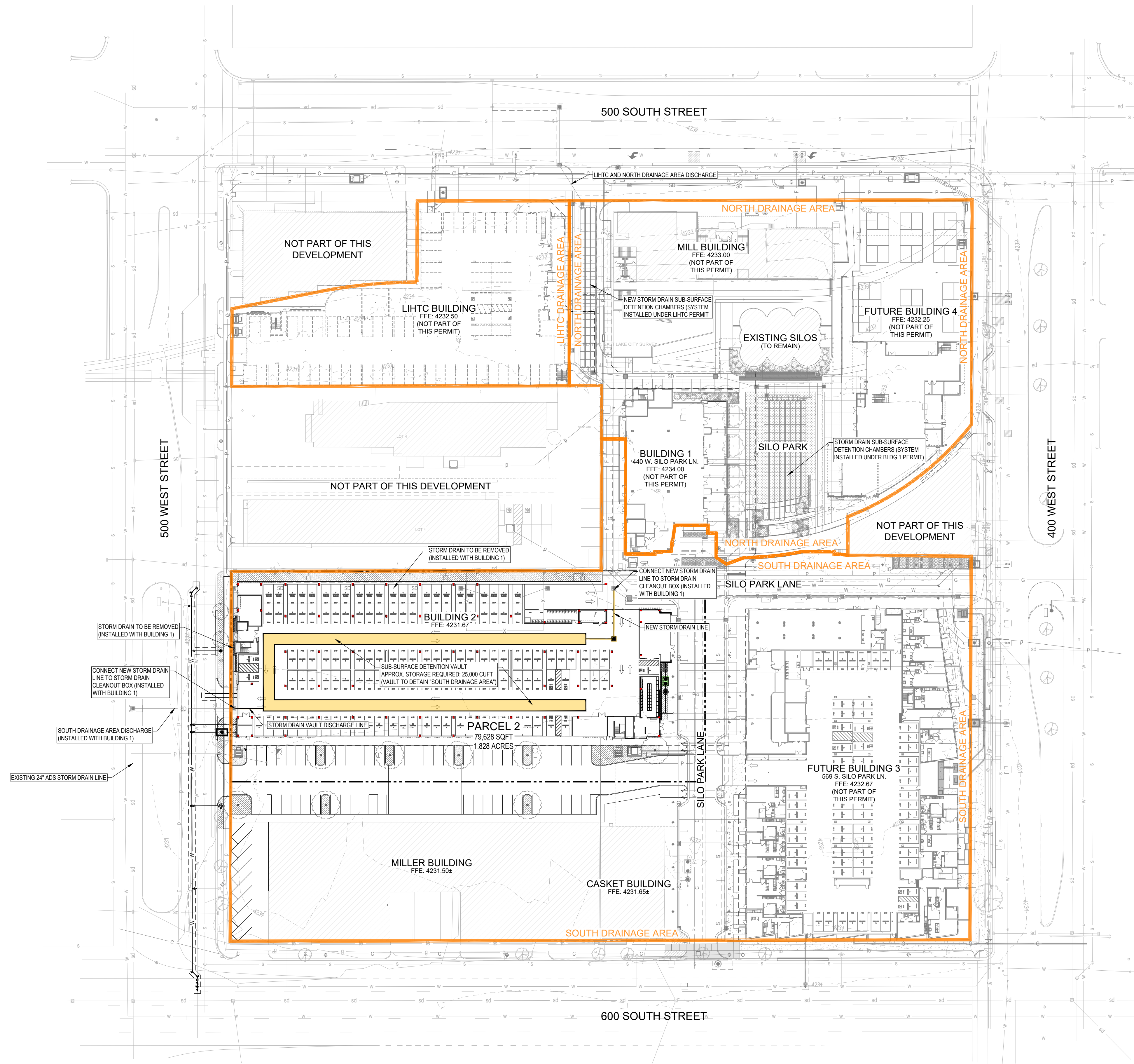
PLANNED DEVELOPMENT + DESIGN REVIEW - BLDG 2

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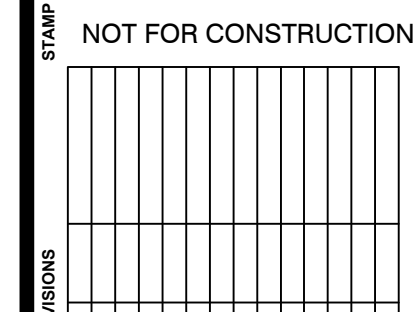
CSP-1
CONCEPTUAL SITE PLAN
 1" = 50'-0"
 07/22/2024





SOUTH DRAINAGE AREA SUMMARY

BUILDING AREA:	141,855 SQFT OR 3.257 ACRES
HARDSCAPE AREA:	63,304 SQFT OR 1.453 ACRES
LANDSCAPE AREA:	20,431 SQFT OR 0.469
TOTAL AREA:	225,590 SQFT OR 5.179 ACRES



GENERAL NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL ITEMS REQUIRING REMOVAL AND PROTECTION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE REMOVED OR RELOCATED WITH OWNER'S REPRESENTATIVE PRIOR TO START OF CONSTRUCTION...

DEMOLITION & PROTECTION NOTES

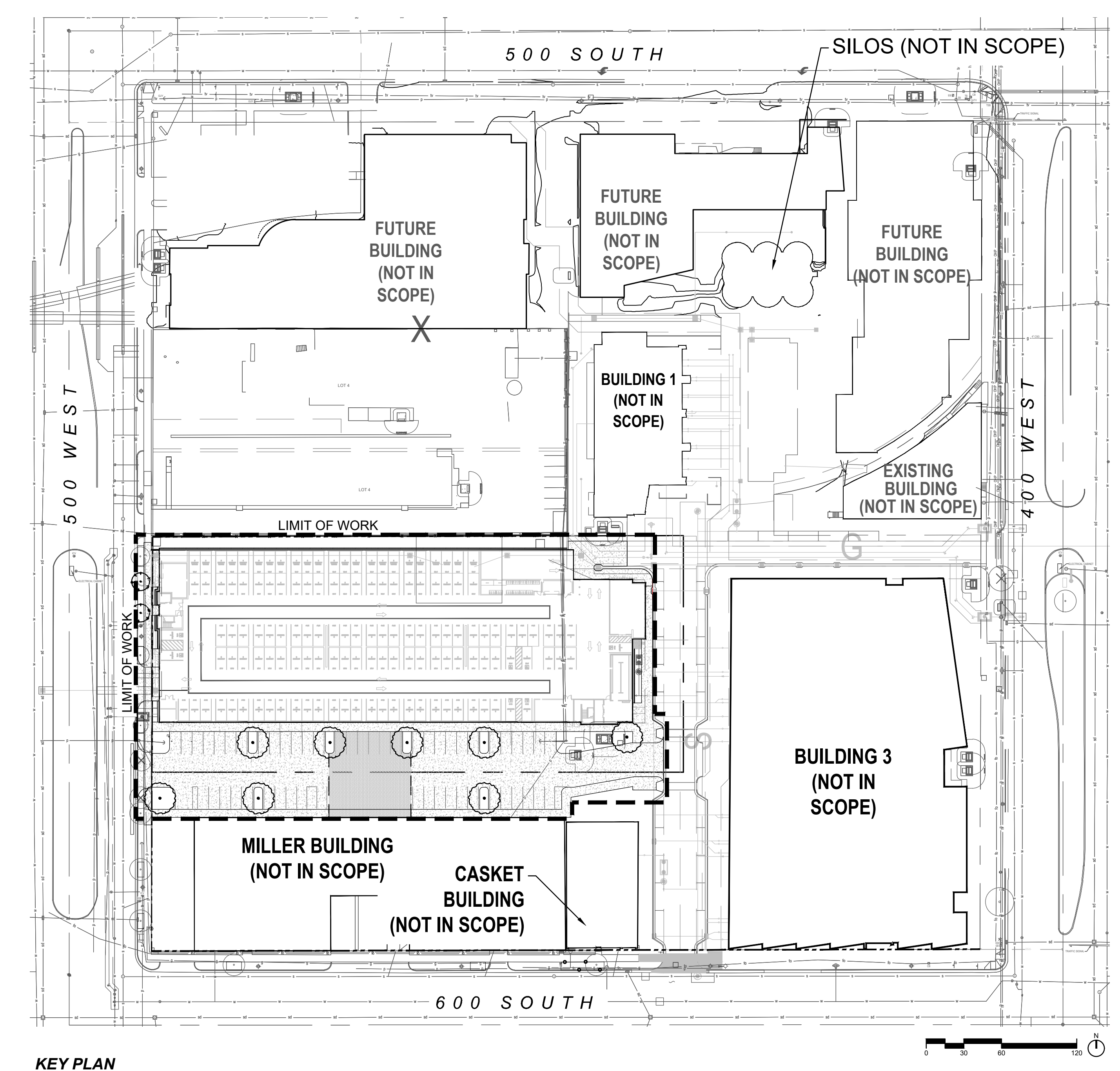
- 1. CONTRACTOR SHALL FIELD VERIFY ALL DEMOLITION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES THAT ARE WITHIN 5' OF ALL PLANNED FOR UTILITIES AND TO POTHOLE ALL UTILITIES THAT REQUIRE UTILITY CROSSING OR COORDINATION.

LANDSCAPE NOTES

- 1. ALL SITE IMPROVEMENTS MUST BE FIELD SURVEYED AND STAKED BY CONTRACTOR. OWNER'S REPRESENTATIVE SHALL APPROVE STAKED LOCATION OF IMPROVEMENTS PRIOR TO INSTALLATION.
2. OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL APPROVE FINAL STAKING BY CONTRACTOR OF ALL CONCRETE FLATWORK PRIOR TO CONSTRUCTION AND ALL FORM WORK PRIOR TO POURING.

PLANTING NOTES

- 1. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE PLAN. SHOULD ANY DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE SHOWN IN THE DRAWINGS, THE DRAWINGS SHALL TAKE PRECEDENCE.
2. ALL PLANT MATERIAL SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



KEY PLAN

LANDSCAPE SHEET INDEX

Table with 2 columns: Sheet Number and Description. Includes L-100 (Landscape Cover, Notes, and Sheet Index), L-101 (Landscape Layout and Materials Plan), L-200 (Site Details), L-300 (Planting Plan), L-400 (Planting Details).

LANDSCAPE DRAWINGS ARE IN PROGRESS AND NOT TO A 100%DD LEVEL. SUBMITTING DRAWINGS FOR REFERENCE ONLY.

GRADING AND DRAINAGE NOTES

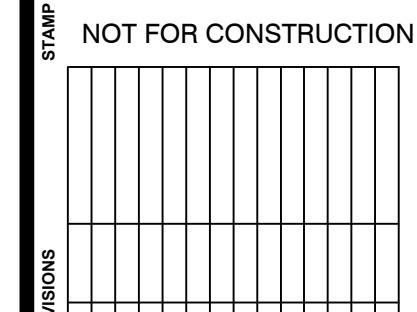
- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PLANS FOR BACK OF CURB ELEVATIONS, BUILDING FIRST FLOOR ELEVATIONS, ETC.
2. PAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 4.99% ON THE SURFACE IN DIRECTION OF TRAVEL AND MAXIMUM OF 1.99% CROSS SLOPE UNLESS OTHERWISE SPECIFIED.

LIST OF ABBREVIATIONS

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Lists various construction and landscape terms like ABC (Aggregate Base Course), EQ (Equip), MISC (Miscellaneous), etc.

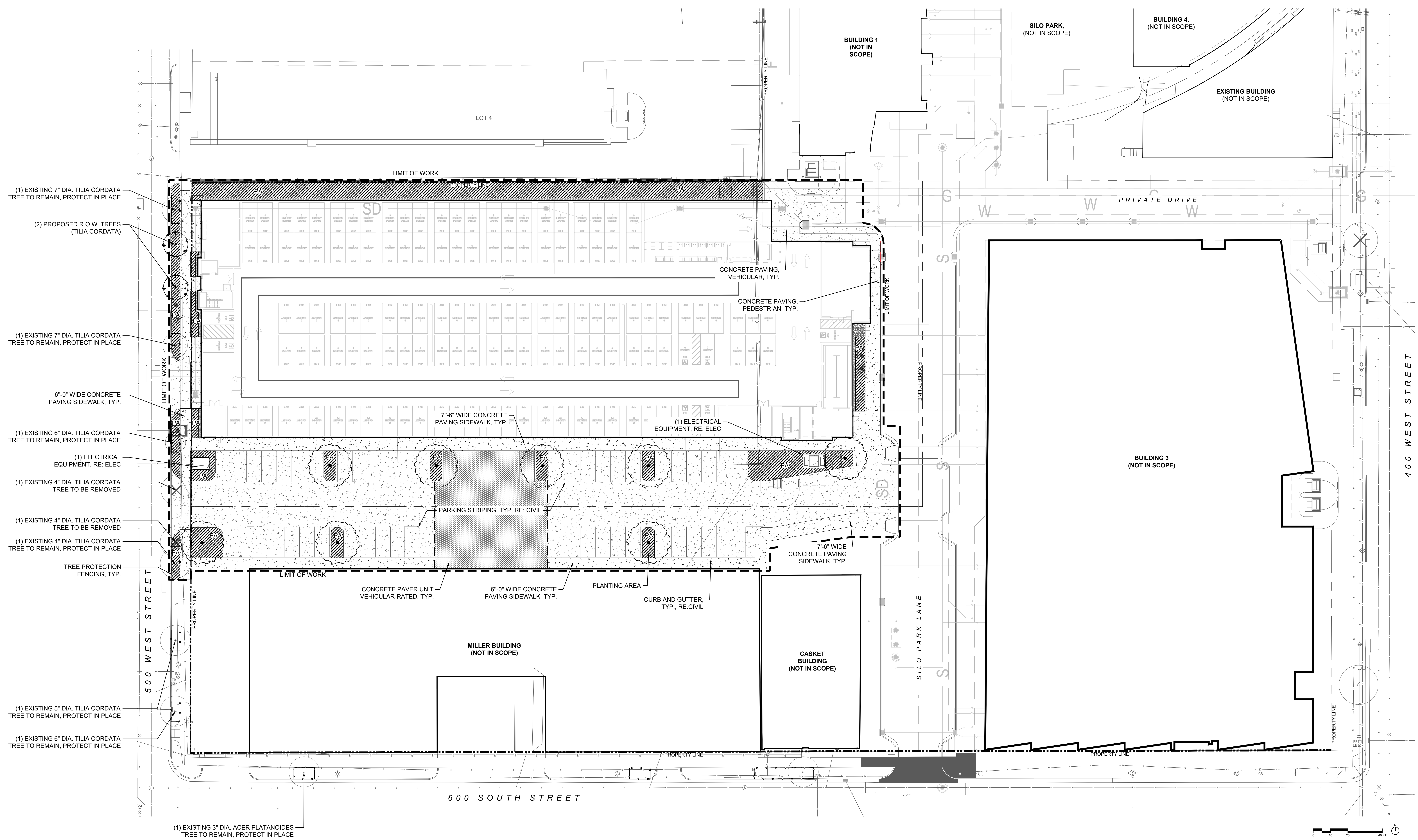
SILOS BUILDING 2 LANDSCAPE COVER, NOTES, & SHEET INDEX SALT LAKE CITY, UTAH 84101

Project information including sheet number L-100, date 2015-10-16, and company name w e n k ASSOCIATES PLANNERS & LANDSCAPE ARCHITECTS.



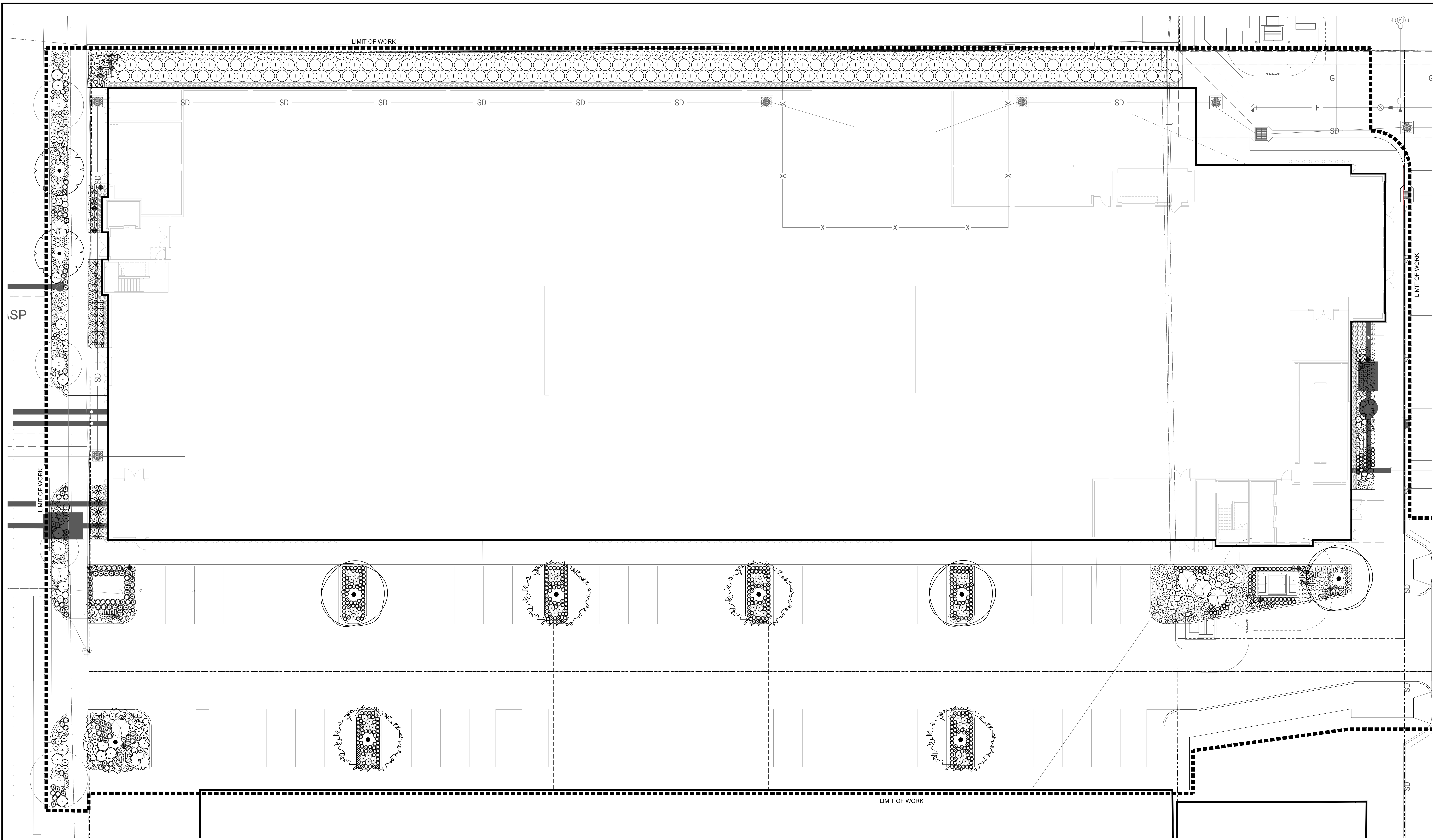
LANDSCAPE LEGEND	DTL/SHT	
	LIMIT OF WORK	
	LOT LINE	
	BUILDING EDGE	
	CONCRETE PAVING, PEDESTRIAN	RE: CIVIL
	CONCRETE PAVING, VEHICULAR	RE: CIVIL
	CONCRETE UNIT PAVER, VEHICULAR	RE: 05/L-200
	PLANTING AREA	RE: PLANTING
	18" ROCK MULCH SETBACK WITH STEEL EDGER	RE: 03/L-400
	TRUNCATED DOMES	RE: 02/L-200
	TRASH/RECYCLE RECEPTACLE	RE: 0X/L-200
	PROPOSED TREE	RE: PLANTING
	EXISTING TREE TO REMAIN, PROTECT IN PLACE	
	EXISTING TREE TO BE REMOVED	

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SILOS BUILDING 2
SALT LAKE CITY, UTAH 84101

LANDSCAPE LAYOUT & MATERIALS PLAN
L-101
2015-10516
w e n k
ASSOCIATES
PLANNERS & LANDSCAPE ARCHITECTS
07/24/2024 - 100% DESIGN DEVELOPMENT



PLANTING PLAN
SCALE: 1"=10'-0"

PLANTING LEGEND

- LIMIT OF WORK
- LOT LINE
- 18" ROCK MULCH SETBACK WITH STEEL EDGER
- PROPOSED SHRUB
- PROPOSED TREE
- EXISTING TREE TO REMAIN, PROTECT IN PLACE

NOTES:
1. ALL PLANTING AREAS TO RECEIVE 3" DEPTH WOOD MULCH PER SPECIFICATIONS AND DETAILS.

PLANTING SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	GAL	HYDROZONE	DROUGHT TOLERANT
TREES							
	AH	1	ACER GRANDIDENTATUM X SACCHARUM 'HIPZAM' / HIGHLAND PARK® MAPLE	B & B	2.5' CAL	TD3	X
	CJ	4	CERCIDIPHYLLUM JAPONICUM / KATSURA TREE	B & B	2.5' CAL		
	TC	2	TILIA CORDATA / LITTLELEAF LINDEN	B & B	2.5' CAL		
	UL	3	ULMUS JAPONICA X WILSONIANA 'MORTON' TM / ACCOLADE ELM	B & B	2.5' CAL		X
SHRUBS							
	APM	85	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO' / PANCHITO MANZANITA	5 GAL	SE1	X	
	CCF	23	CARYOPTERIS X CLANDONENSIS 'FIRST CHOICE' / FIRST CHOICE BLUEBEARD	5 GAL	SD1	X	
	ENS	14	ERICAMERIA NAUSEOSA / RUBBER RABBITBRUSH	1 GAL			
	MCR	163	MAHONIA REPENS / CREEPING MAHONIA	1 GAL			

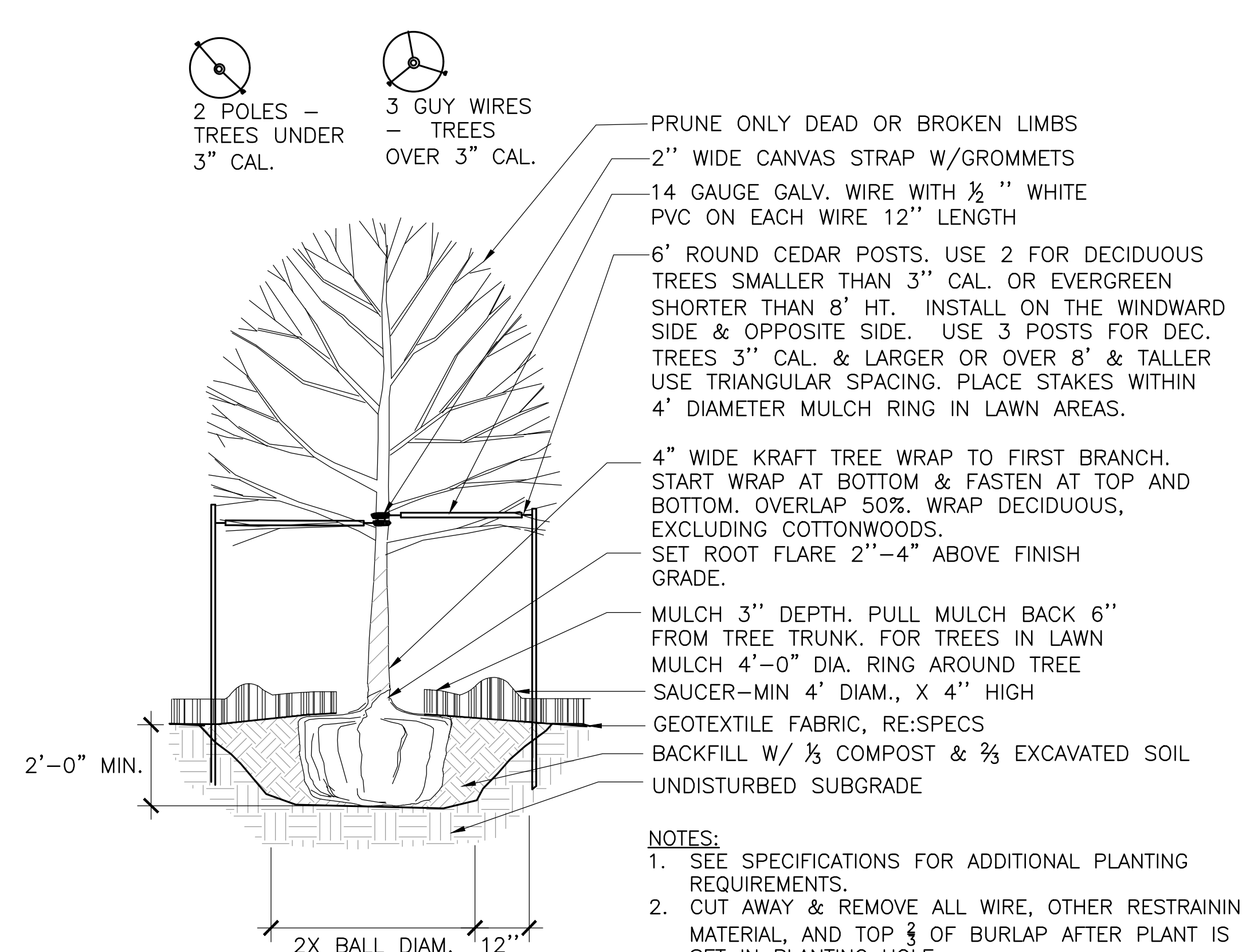
ORNAMENTAL GRASSES

	AHG	55	ACHNATHERUM HYMENOIDES / INDIAN RICEGRASS	1 GAL			
	BBG	109	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA GRASS	1 GAL			
	HSG	103	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE' / SAPPHIRE BLUE OAT GRASS	1 GAL			
	MPG	49	MUHLENBERGIA REVERCHONII UNDAUNTED / UNDAUNTED RUBY MUHLY GRASS	1 GAL			
	NTG	460	NASSELLA TENUISSIMA / MEXICAN FEATHERGRASS	1 GAL			
	SHG	138	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL			

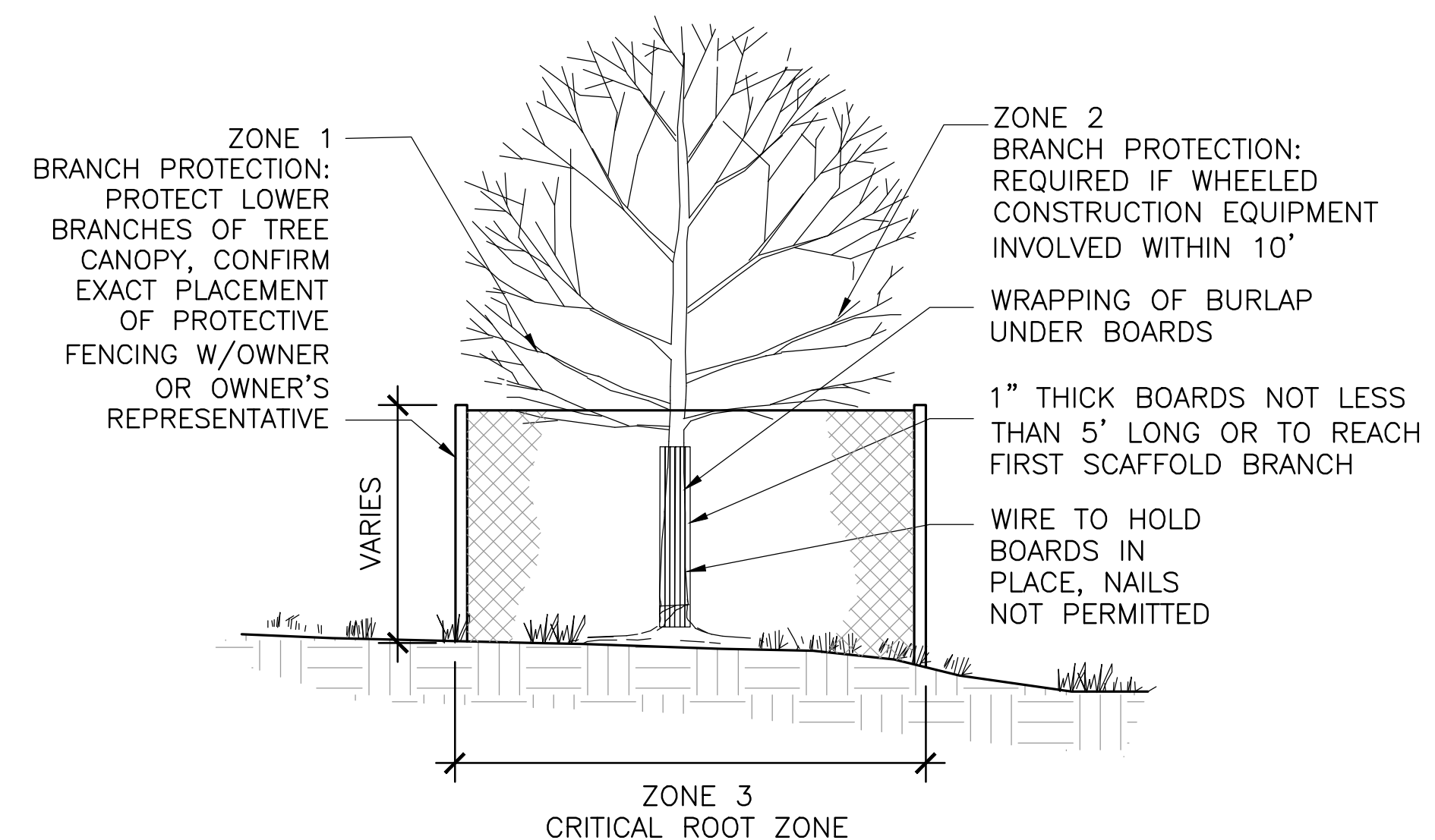
PERENNIALS

	AMY	14	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL			
	ACT	38	AGASTACHE CANA / TEXAS HUMMINGBIRD MINT	1 GAL			
	BSA	103	BALSAMORHIZA SAGITTATA / ARROWLEAF BALSAMROOT	1 GAL			
	EPC	128	ECHINACEA PURPUREA / PURPLE CONEFLOWER	1 GAL			
	HUS	28	HYLOTELEPHUM TELEPHIUM / AUTUMN JOY STONECROP	1 GAL			
	LSB	8	LIATRIS SPICATA / BLAZING STAR	1 GAL			
	MMF	7	MIRABILIS MULTIFLORA / COLORADO FOUR O'CLOCK	5 GAL			
	NLT	13	NEPETA X 'PSFIKE' TM / LITTLE TRUDY CATMINT	1 GAL			
	RFD	43	RUDBECKIA FULGIDA DEAMII / BLACK EYED SUSAN	1 GAL			
	SMG	7	SPHAERALCEA MUNROANA / MUNRO'S GLOBEMALLOW	1 GAL			
	SBL	13	STACHYS BYZANTINA / LAMB'S EAR	1 GAL			
	TDP	15	TANACETUM DENSUM AMANI / PARTRIDGE FEATHER	1 GAL			

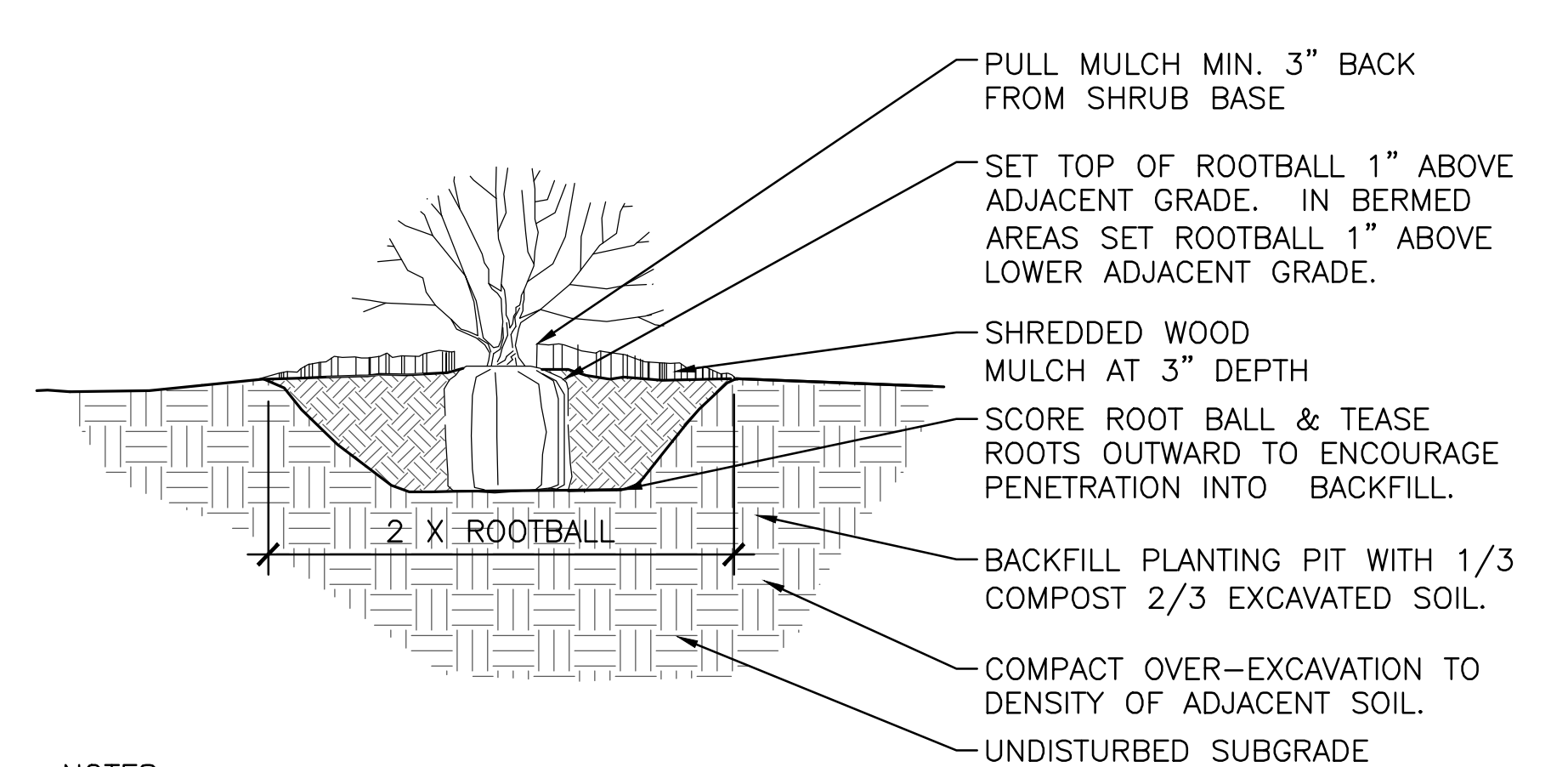
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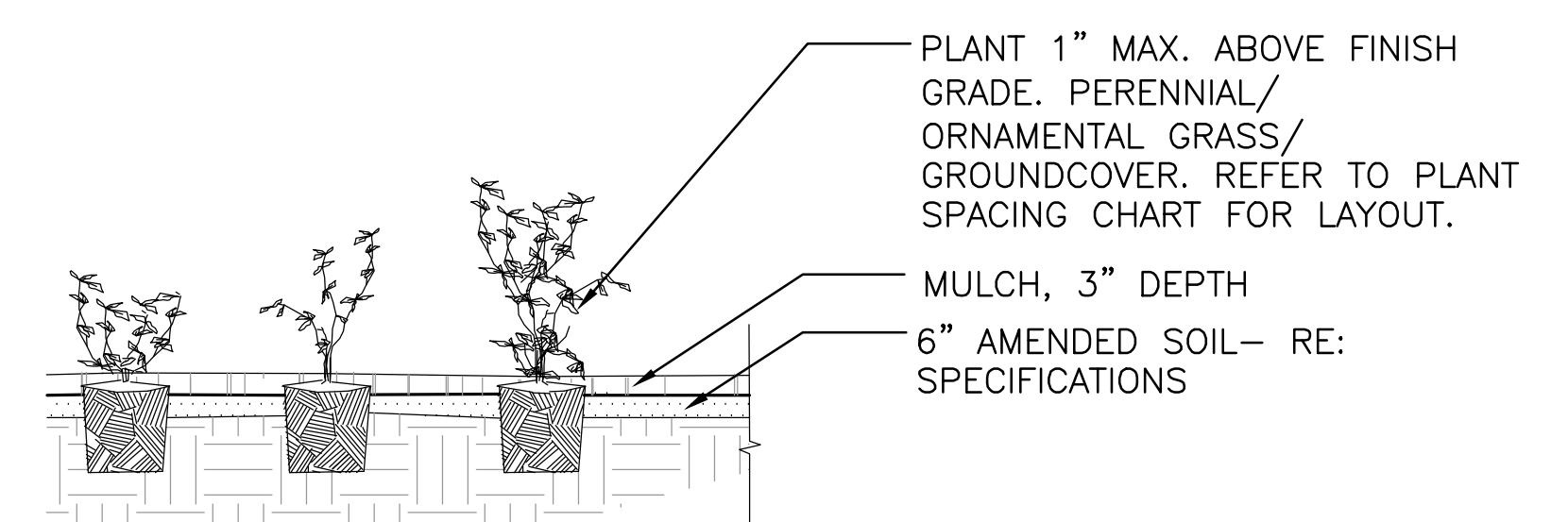
01 DECIDUOUS TREE PLANTING
1/2" = 1'-0"



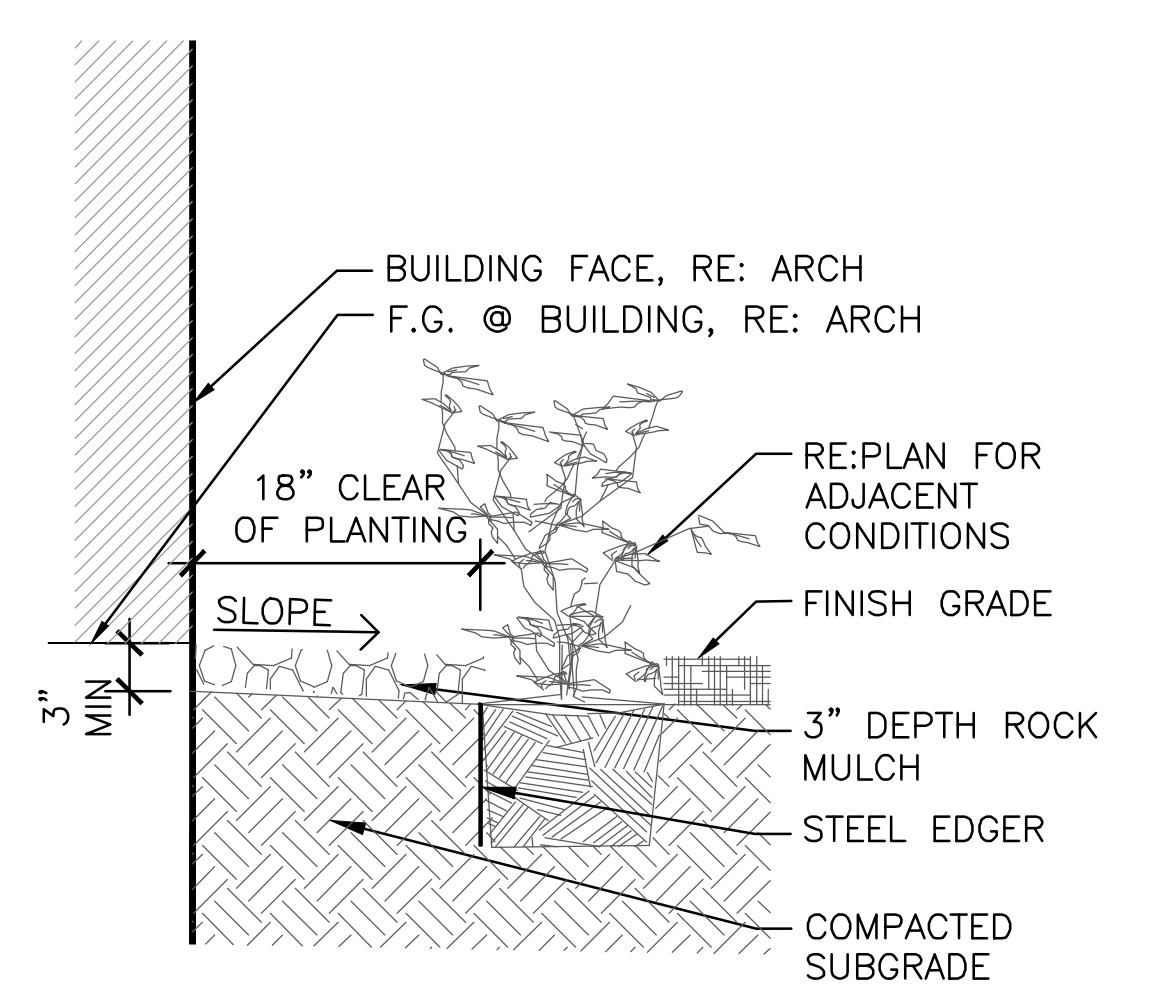
04 TREE PROTECTION
1/2" = 1'-0"



02 SHRUB PLANTING
1" = 1'-0"



05 GRASS + PERENNIAL PLANTING
1" = 1'-0"



03 18" ROCK MULCH SETBACK WITH STEEL EDGER
1/2" = 1'-0"

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SILOS BUILDING 2
SALT LAKE CITY, UTAH 84101

PLANTING DETAILS
SHEET NUMBER
L-400

PROJECT NUMBER
2015-10516

w e n k
ASSOCIATES
PLANNERS &
LANDSCAPE
ARCHITECTS

07/24/2024 - 100% DESIGN DEVELOPMENT