SILOS APARTMENTS - BUILDING 2

SALT LAKE CITY, UT

PLANNED DEVELOPMENT DESIGN REVIEW

08/01/2024

PROJECT DATA

CONTACT

OWNERSHIP

ARCHITECT

SILOS SOUTH APARTMENTS, LLC 2170 S MCCLELLAND ST, SUITE 100 Salt Lake City, UT 84106

MOVE+PARTNERS 1900 Main Street, Suite 800

Irvine, CA 92614

CIVIL

LANDSCAPE

CECIL ENGINEERING 8610 Sandy Parkway, Suite 200, Salt Lake City, UT 84070

WENK ASSOCIATES 1130 31st Street, Suite 101

Denver, CO 80205

PROJECT DESCRIPTION

Single-use project conceptual consisting of 5 levels of type III over 3 levels of type IA construction with total unit count of 275 units. This project conceptually features over 197,530 SF of residential, 1,270 SF of retail, 1.260 SF of amenity, and 49,020 SF of above grade parking.

In addition to residential, the following levels provide these uses:

Level 1, housed a retail space.

Level 4, on the concrete podium roof deck, and deck restroom.

ZONE

ADDRESS: 600 South 400 West Salt Lake City, Utah

CG ZONE: **DESIGNATION:**

The purpose of the CG General Commercial District is to provide an environment for a variety of commercial uses, some of which involve the outdoor display/storage of merchandise or materials. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office, residential, heavy commercial and low intensities of manufacturing and warehouse uses. This district is appropriate in locations where supported by applicable master plans and along major arterials. Safe, convenient and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. The standards are intended to create a safe and aesthetically pleasing commercial environment for all users.

LOT INFORMATION

LOT 2 (BLDG 2) LOT AREA: **BUILDING AREA:**

ALLOWABLE FLOOR AREA LIMIT: **UNITS IN LOT: DU PER ACRE:**

*SEE SITE PLAN FOR AP AND LOT CONSOLIDATION

HEIGHT

HEIGHT ALLOWABLE:

No building shall exceed seventy five feet (75') unless the property is within the following boundary: from 400 South to 700 South from 300 West to I-15, where buildings shall not exceed one hundred fifty feet (150'). Additionally, buildings taller than seventy five feet (75') to a maximum of one hundred and five feet (105') outside of the described boundary may be allowed in accordance with the provisions of Subsections G.1 through G.3 of this section. (21A.26.070)

The property is within the boundary: from 400 South to 700 South from 300 West to I-5.

1.828 ACRE

275 DU

150 DU

PROPOSED: 85' - 0"

SETBACKS

REQUIRED: Front Yard:

Five feet (5') **Corner Side Yard:** Ten feet (10') Interior Side Yard: None Required Rear Yard: Ten feet (10')

All lots abutting residential property shall conform to the buffer yard requirements of chapter 21a.48 of this title Buffer Yard:

PROPOSED:

Buffer Yard:

Front Yard: Five feet and three inches (5'-3") Ten feet and six inches (10'-6") Corner Side Yard: Thirty eight feet and two inches (38'-2) Interior Side Yard: Rear Yard: Thirty feet (30')

MIDBLOCK WALKWAY

MIDBLOCK WALKWAY 21A.26.070.H

The midblock walkway must be a minimum of fifteen feet (15') wide and include a minimum six feet (6') wide unobstructed path. Building encroachments into the midblock walkway are permitted if they include one or more of the following

elements: (1) Colonnades

Staircases;

(3) Balconies - All balconies must be located at the third story or above;

(4) Building overhangs and associated cantilever - These coverings may be between nine feet (9') and fourteen feet (14') above the level of the sidewalk. They shall provide a minimum depth of coverage of six feet (6') and project no closer to the curb than three feet (3');

(5) Skybridge - A single skybridge is permitted. All skybridges must be located at the third, fourth, or fifth stories; and

(6) Other architectural element(s) not listed above that offers refuge from weather and/or provide publicly accessible usable space.

PARKING

RESIDENTIAL

(ZONE CG) Per table 21A-44.040-A; studio and 1 bedrooms: (1) space per DU, 2+ bedrooms (1.25) parking spaces per DU.

Per 21A.44.040-A, the maximum parking all contexts: studio & bedroom: (2) spaces per DU 2+ bedrooms:

3 spaces per DU. Per 21A.44.040.D.3, 1 Per 50 parking spaces, ADA stalls required.

Per IBC 1106.5, (1) VAN stall shall be required for every (6) ADA stalls

Per21A.44.040.C, (1) EV shall be required every 25 spaces Tandem stalls to be assigned to a single unit

Per 21A.44.050-A, B Shared parking can be reduced by the provided reduction factor. Per21A.44.070, (1) short loading zone required for the first 80-200 Dwelling units, and (1) additional short

Per table 21A-44.040.-A Two space shall be required per 1,000 SF of usable area.

loading zone for additional units exceeding 200 units of Multi-Family Residential

Per table 21A-44.040.-A the max parking is 4 spaces per 1,000 SF. Per 21A.44.080, (1) short loading zone required for 25,000-40,000 SF of retail.

RESIDENTIAL PARKING REQUIRED

RESIDENTIAL (275 DU) REQUIRED:

(<u>31 2BD= 39</u>) + (<u>144 1BD= 144</u>) + (<u>100 STUDIO = 100</u>) = 283

REQUIRED RES TOTAL = 283 SPACES

RETAIL PARKING

REQUIRED RETAIL (1,110 SF):

REQUIRED RETAIL TOTAL =

2 SPACES / 1,000 SF

2 SPACES

12 SPACES

285 SPACES

STANDARD STALLS REQUIRED: 266 SPACES 6 SPACES ADA STALLS REQUIRED (2% OF TOTAL): ADA VAN STALLS REQUIRED (1 SPACE/ 8 ADA): 1 SPACE

REQUIRED TOTAL (RESIDENTIAL + RETAIL):

EV STALLS REQUIRED (1 SPACE/ 25 SPACES):

CONCEPTUAL PROPOSED TOTAL: 486 SPACES

INDOOR PARKING

LEVEL	PARKING TYPE	DESCRIPTION	STALL DEPTH	STALL WIDTH	COUNT
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	ACCESSIBLE	18' - 0"	8' - 0"	5
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	ACCESSIBLE - EV	18' - 0"	8' - 0"	1
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	ACCESSIBLE - VAN EV	18' - 0"	8' - 0"	1
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	STANDARD	17' - 6"	8' - 9"	90
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	STANDARD - EV	17' - 6"	8' - 9"	14
BLDG 2 - LEVEL 1 (+4232.0)	RESIDENT	TANDEM	17' - 6"	8' - 9"	23
BLDG 2 - LEVEL 1 (+4232.0): 134					134
BLDG 2 - LEVEL 2	RESIDENT	ACCESSIBLE	18' - 0"	8' - 0"	1
BLDG 2 - LEVEL 2	RESIDENT	STANDARD	17' - 6"	8' - 9"	123
BLDG 2 - LEVEL 2	RESIDENT	TANDEM	17' - 6"	8' - 9"	19
BLDG 2 - LEVEL 2: 143					143
BLDG 2 - LEVEL 3	RESIDENT	ACCESSIBLE	18' - 0"	8' - 0"	1
BLDG 2 - LEVEL 3	RESIDENT	STANDARD	17' - 6"	8' - 9"	125
BLDG 2 - LEVEL 3	RESIDENT	TANDEM	17' - 6"	8' - 9"	22
BLDG 2 - LEVEL 3: 148					148
TOTAL					425

OUTDOOR PARKING

LEVEL	PARKING TYPE	DESCRIPTION	STALL DEPTH	STALL WIDTH	COUNT	
BLDG 2 - LEVEL 1 (+4232.0)	STANDARD	STANDARD	17' - 6"	8' - 9"	31	
BLDG 2 - LEVEL 1 (+4232.0)	STANDARD	ACCESSIBLE	18' - 0"	8' - 0"	3	
BLDG 2 - LEVEL 1 (+4232.0)	STANDARD	STANDARD	17' - 6"	8' - 9"	27	
BLDG 2 - LEVEL 1 (+4232.0): 61					61	
TOTAL					61	

CONCEPTUAL PROPOSED TOTAL 486 SPACES

BICYCLE PARKING

BICYCLE PARKING ZONING REQUIREMENT

Per Table 21A.44.040-C, for Residential Uses in all zoning districts not listed in another context area, bicycle parking shall be 1 per 5 units. Public uses in all zoning districts not listed in another context area, bicycle parking shall be 1 per 5 units. Per 21a.44.040.E.4 Secure/Enclosed Bicycle Parking: Each one (1) bicycle parking space that is within a secure/ enclosed bicycle parking facility may be used to satisfy the requirement of two (2)

1. REQUIRED:

BICYCLE REQUIRED RESIDENTIAL: 275 DU/ 5 = 55 TOTAL UN-ENCLOSED

2. CONCEPTUAL PROPOSED:

required bicycle parking spaces.

BICYCLE CONCEPTUAL PROPOSED SECURE/ ENCLOSED BLDG 2: 38

NOTE: REQUIRED ON-SITE BIKE PARKING NOT A PART OF BUILDING 3 PROVIDED THROUGH THE LOCATIONS NOT A PART OF THIS PACKAGE (BUILDING 2) TO BE SUBMITTED SEPARATELY

CONCEPTUAL GROSS BUILDING AREA

Name	Area
BIKE STORAGE	570 SF
CORRIDOR	14,990 SF
DECK	11,830 SF
ELEC. RM	2,690 SF
FIRE RISER	260 SF
GARAGE	141,950 SF
GENERATOR RM	380 SF
LOBBY	5,490 SF
MAIL & PARCEL	670 SF
MECH. RM	230 SF
RESIDENTIAL UNITS	174,060 SF
RESTROOM	140 SF
RETAIL	1,230 SF
RETAIL TRASH	310 SF
STAIR	4,360 SF
SUPPORT	2,130 SF
TRASH	1,020 SF
	362,320 SF

CONCEPTUAL RESIDENTIAL DENSITY

DWELLING UNITS CONCEPTUAL PROPOSED:

STUDIO 100 36% 1BD/1BA 142 52% 1BD/1BA + DEN 1% 2BD/2BA

582 SF CONCEPTUAL AVERAGE HUD NET RENTABLE UNIT SIZE: CONCEPTUAL AVERAGE MARKET UNIT SIZE: 630 SF CONCEPTUAL TOTAL HUD NET RENTABLE: 159,966 SF

TYPE A UNITS = 6 UNITS OUT OF 275 = 2%

CONCEPTUAL TOTAL MARKET NET:

TYPE B UNITS = 269 UNITS OUT OF 275

UNIT COUNT										
UNIT	UNIT TYPE	MARKET RENTABLE AREA (SF)	NET RENTABLE AREA (SF)	UNIT COUNT						
1 BEDROOM	1B-01	700 SF	649 SF	75						
1 BEDROOM	1B-01.1	800 SF	741 SF	5						
1 BEDROOM	1B-02	611 SF	561 SF	20						
1 BEDROOM	1B-03	650 SF	606 SF	5						
1 BEDROOM	1B-04	619 SF	568 SF	15						
1 BEDROOM	1B-05	497 SF	452 SF	15						
1 BEDROOM	1B-06	797 SF	723 SF	5						
1 BEDROOM	1B-07	752 SF	696 SF	2						
1 BEDROOM + DEN	1B-09	903 SF	833 SF	5						
2 BEDROOMS	2B-01	956 SF	898 SF	13						
2 BEDROOMS	2B-01.1	1,071 SF	995 SF	5						
2 BEDROOMS	2B-03	997 SF	936 SF	9						
2 BEDROOMS	2B-04	822 SF	766 SF	1						
STUDIO	ST-01	469 SF	427 SF	90						
STUDIO	ST-02	453 SF	412 SF	10						
				275						

174,300 SF

VICINITY MAP

SHEET INDEX

ARCHITECTURE

COVERSHEET A0-0 A0-1 PROJECT DATA A0-2 SITE CONTEXT A0-3 SITE PLAN A0-5 SHADOW ANALYSIS A0-6 SITE CONTEXT IMAGERY A1-1 BLDG 2 - LEVEL 1 A1-2 BLDG 2 - LEVEL 2 A1-3 BLDG 2 - LEVEL 3 A1-4 BLDG 2 - LEVEL 4 A1-5 BLDG 2 - LEVEL 5 (LEVEL 6-8 SIM) A2-1 **BUILDING ELEVATIONS** A2-2 **BUILDING ELEVATIONS** A3-1 **BUILDING SECTIONS** A3-2 WALL SECTION A4-1 CONCEPTUAL ENLARGED UNIT PLANS **CONCEPTUAL ENLARGED UNIT PLANS** A4-2 A4-3 CONCEPTUAL ENLARGED UNIT PLANS A4-4 CONCEPTUAL ENLARGED UNIT PLANS A4-5 CONCEPTUAL ENLARGED UNIT PLANS A4-6

CONCEPTUAL ENLARGED UNIT PLANS CONCEPTUAL ENLARGED UNIT PLANS CONCEPTUAL BUILDING PERSPECTIVE LIGHTING AND SIGNAGE PLAN LIGHTING AND SIGNAGE PLAN

A6-3 LIGHTING AND SIGNAGE PLAN

CIVIL

A4-7

A5-1

A5-2

A5-3

A5-4

A5-5

A5-6

A6-1

A6-2

CSP-1 CONCEPTUAL SITE PLAN CUP-1 CONCEPTUAL UTILITY PLAN CDP-1 CONCEPTUAL DRAINAGE PLAN

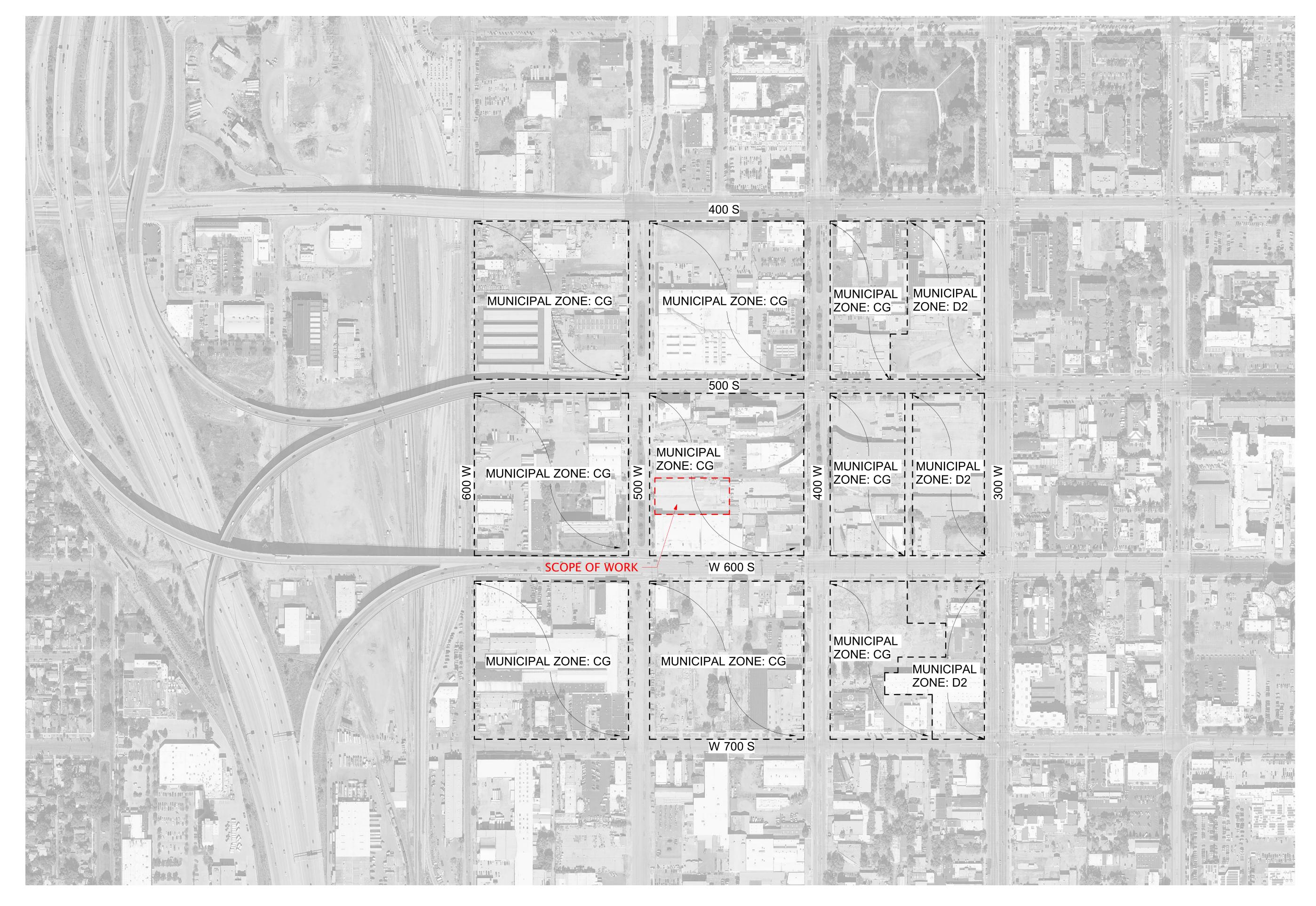
LANDSCAPE

L-400

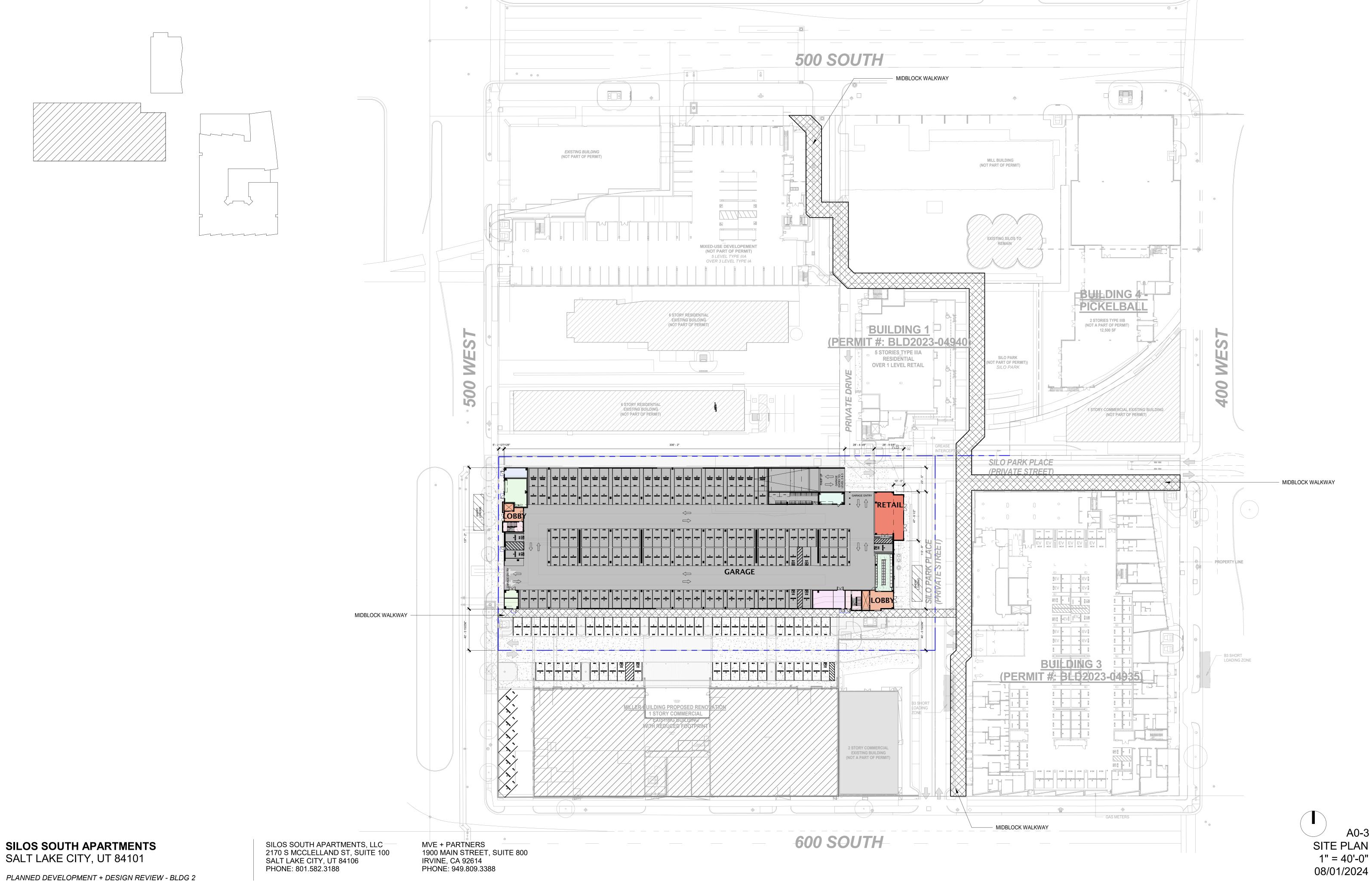
L-100 LANDSCAPE COVER, NOTES, AND SHEET INDEX L-101 LANDSCAPE LAYOUT AND MATERIALS PLAN L-200 SITE DETAILS L-300

PLANTING PLAN PLANTING DETAILS

SILOS SOUTH APARTMENTS SALT LAKE CITY, UT 84101





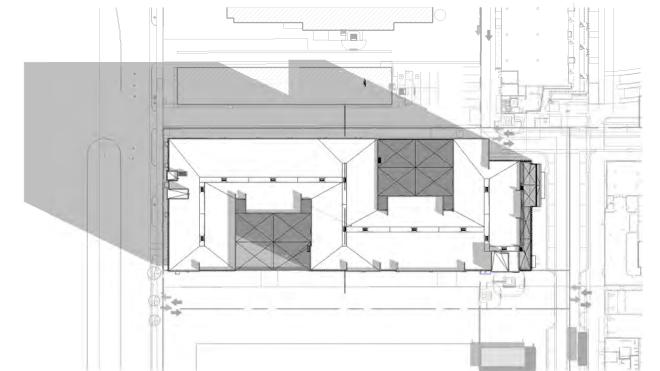


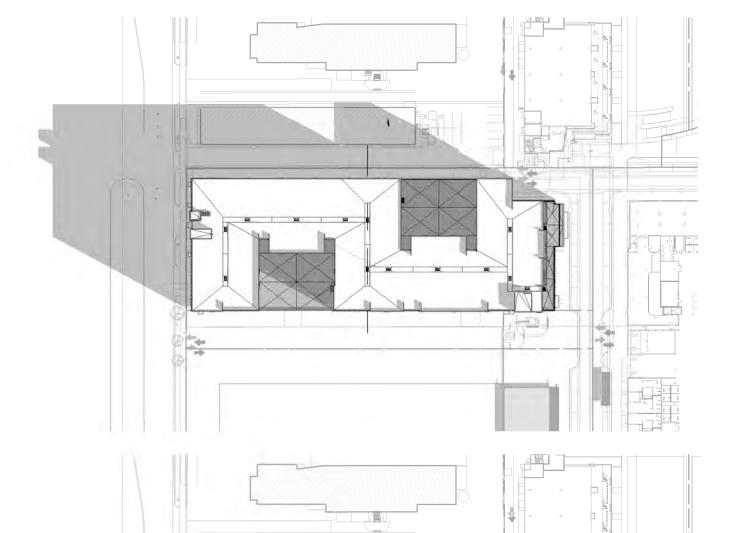
SITE PLAN 1" = 40'-0"

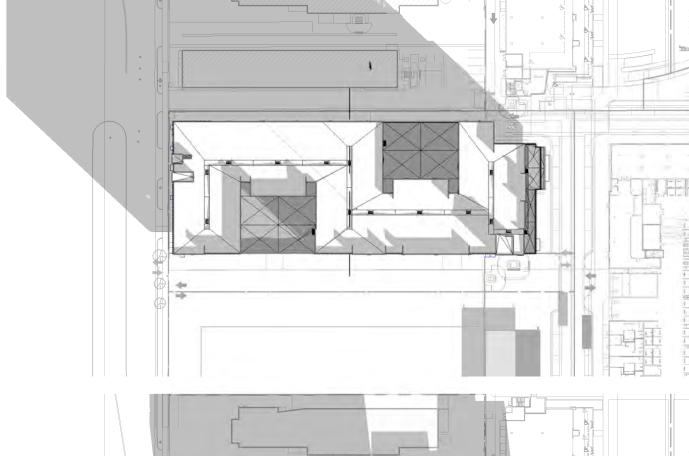
SPRING EQUINOX MARCH 20

SUMMER SOLSTICE JUNE 21 FALL EQUINOX SEPTEMBER 22

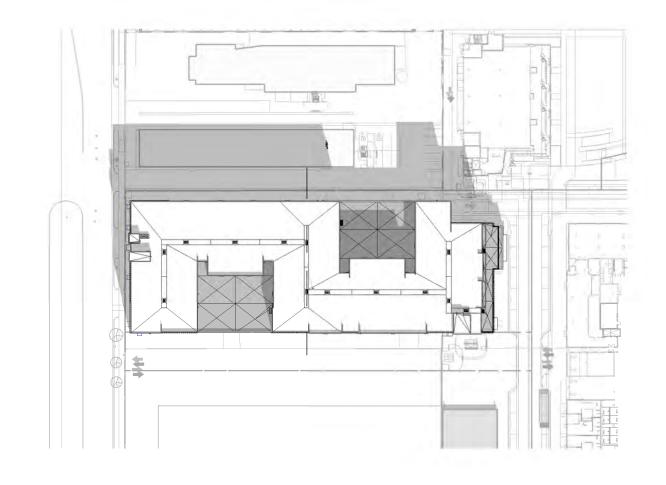
WINTER SOLSTICE DECEMBER 21

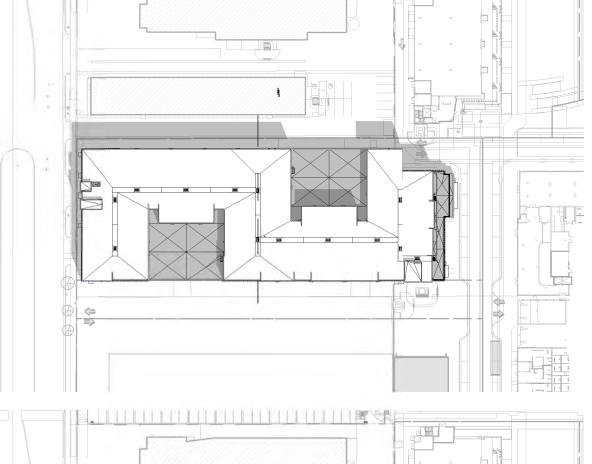


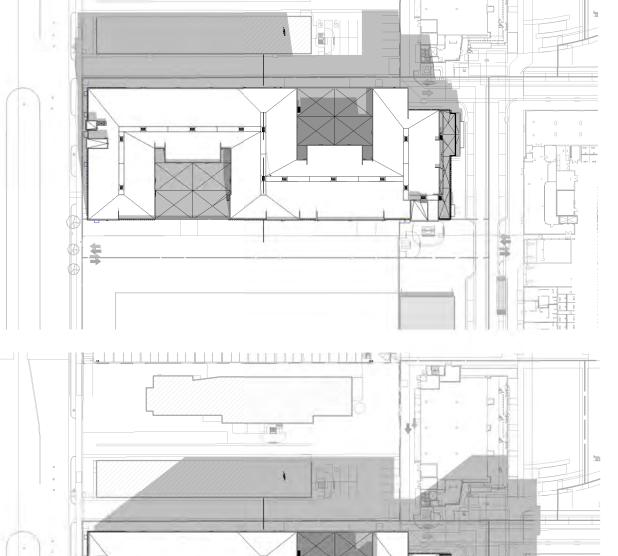


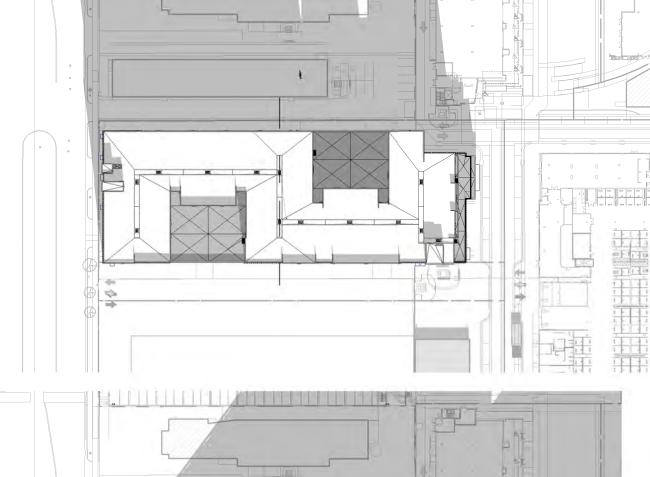


12:00 PM



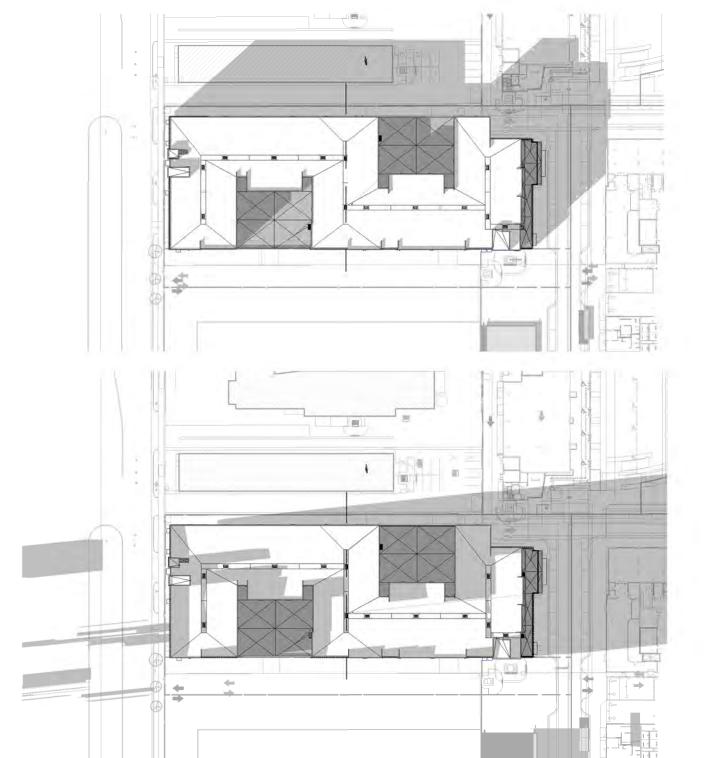


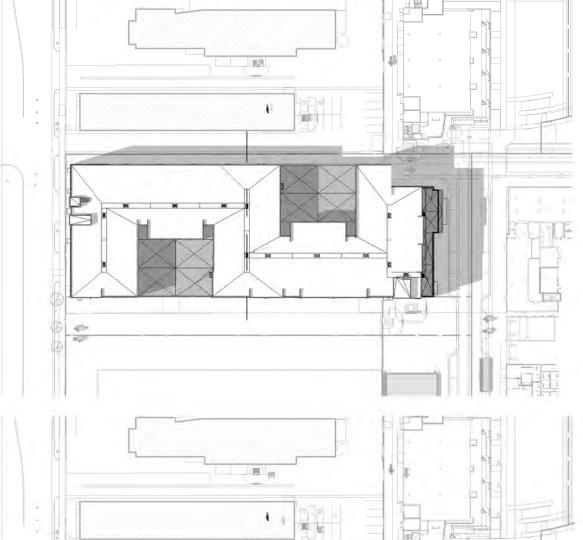


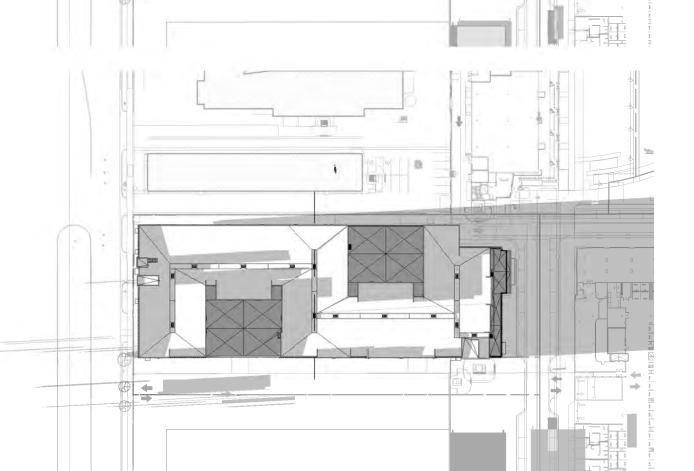


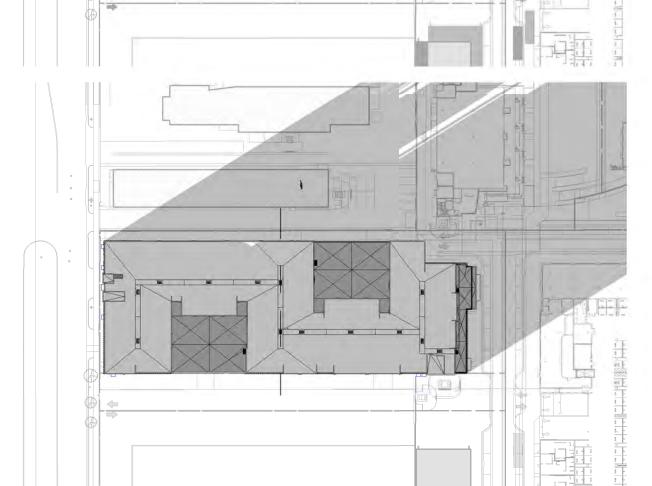
03:00 PM

06:00 PM







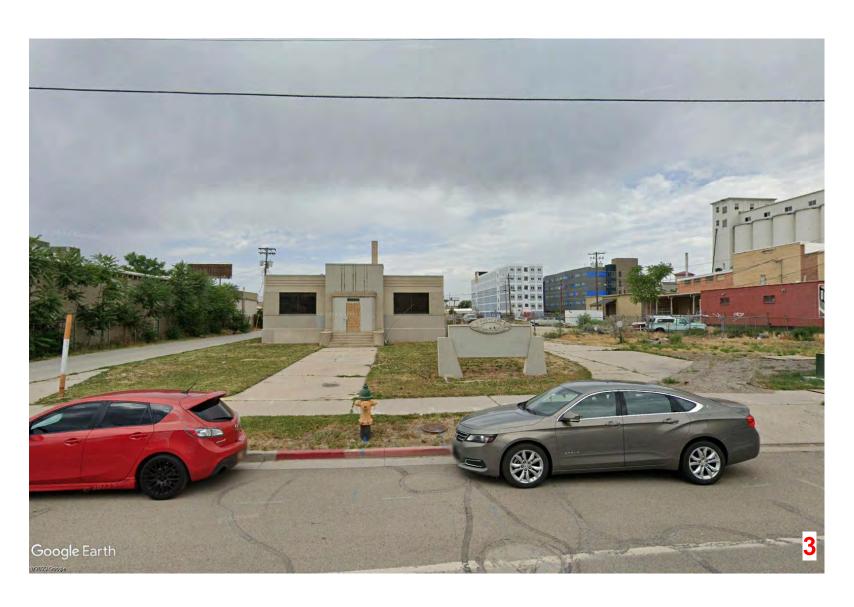


SILOS SOUTH APARTMENTS, LLC 2170 S MCCLELLAND ST, SUITE 100 SALT LAKE CITY, UT 84106 PHONE: 801.582.3188

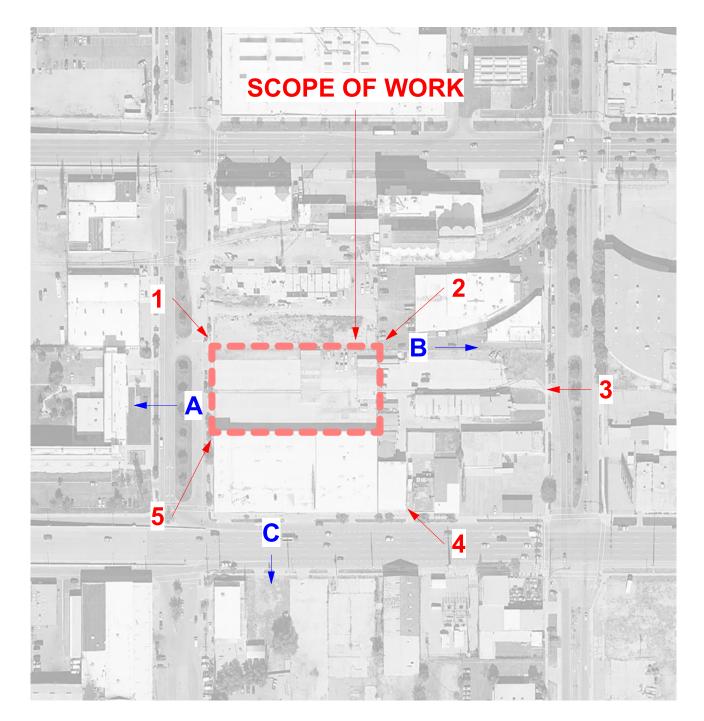
MVE + PARTNERS 1900 MAIN STREET, SUITE 800 IRVINE, CA 92614 PHONE: 949.809.3388





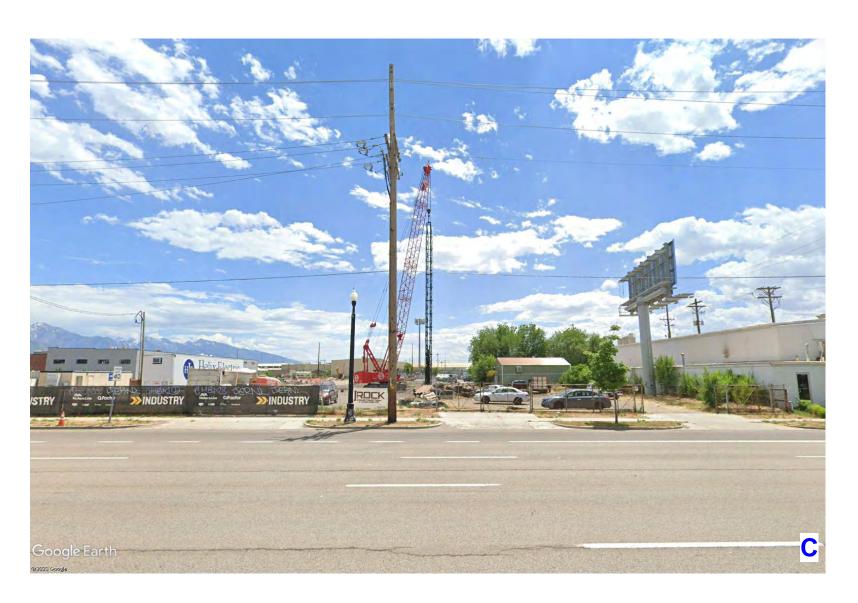




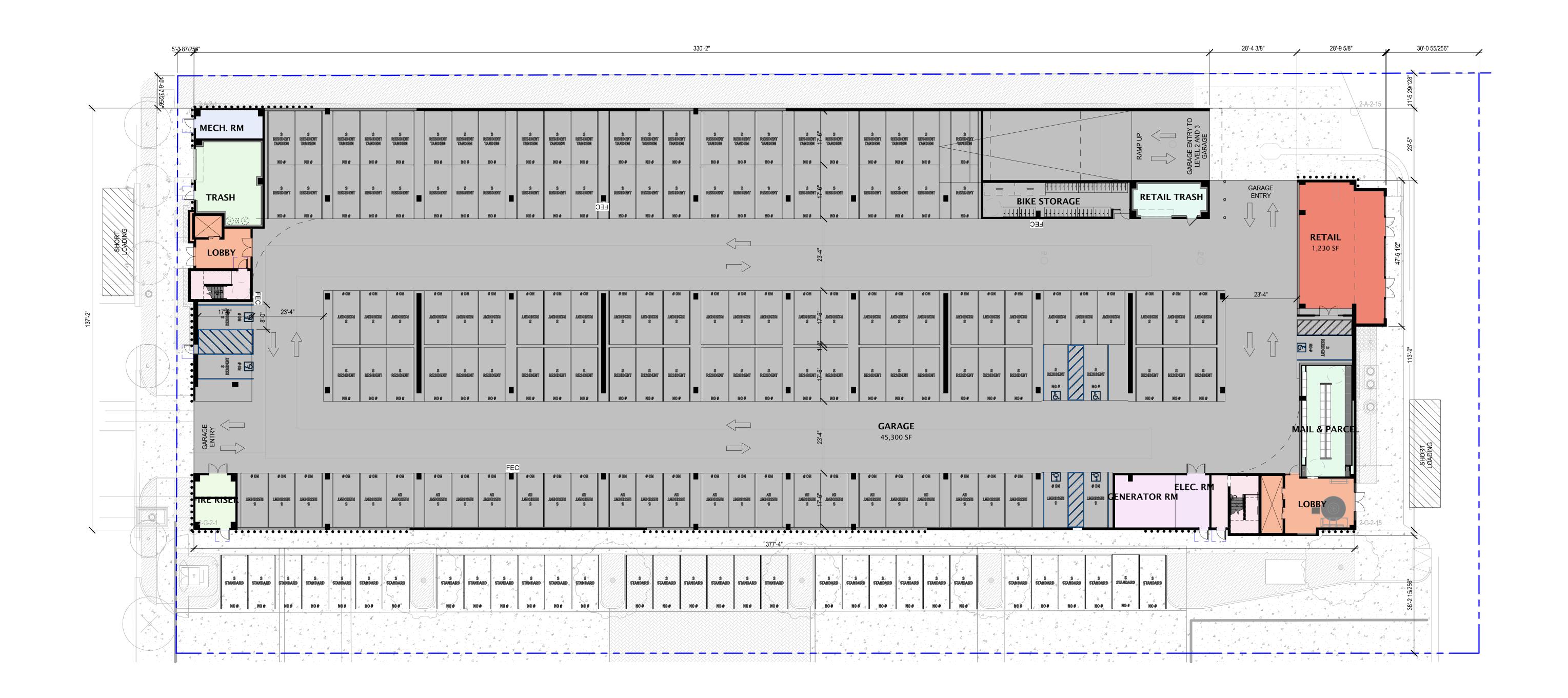


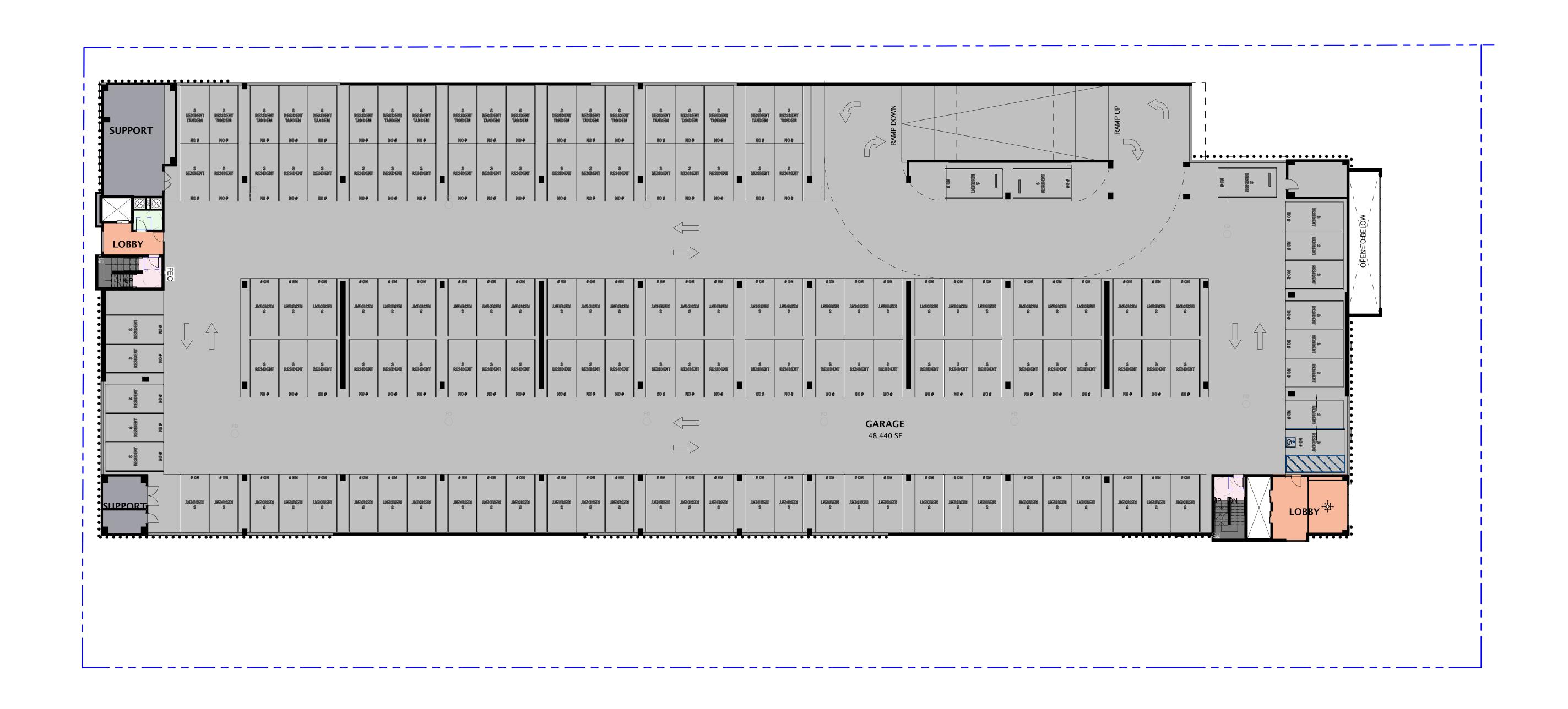


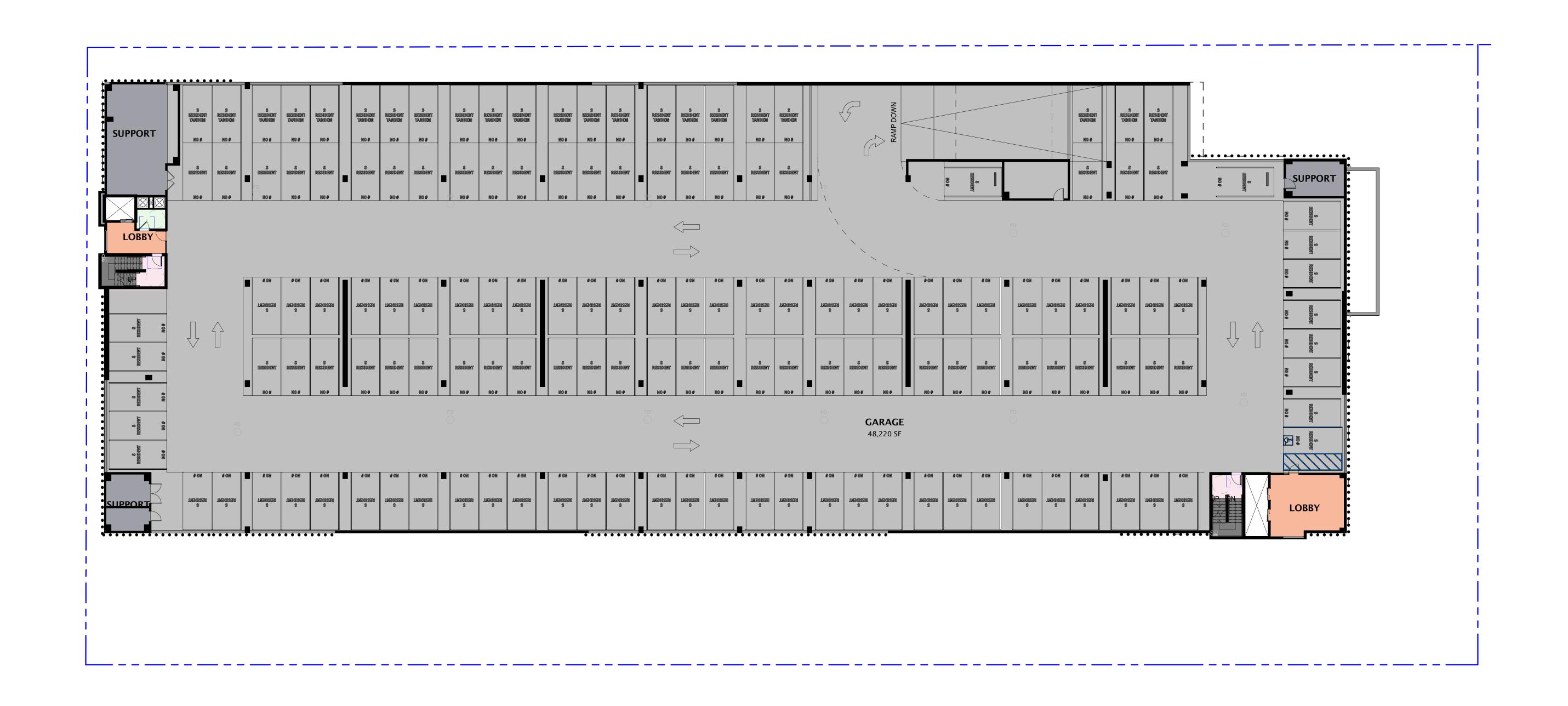


















BUILDING 2 - EAST ELEVATION 1/16" = 1'-0" 2



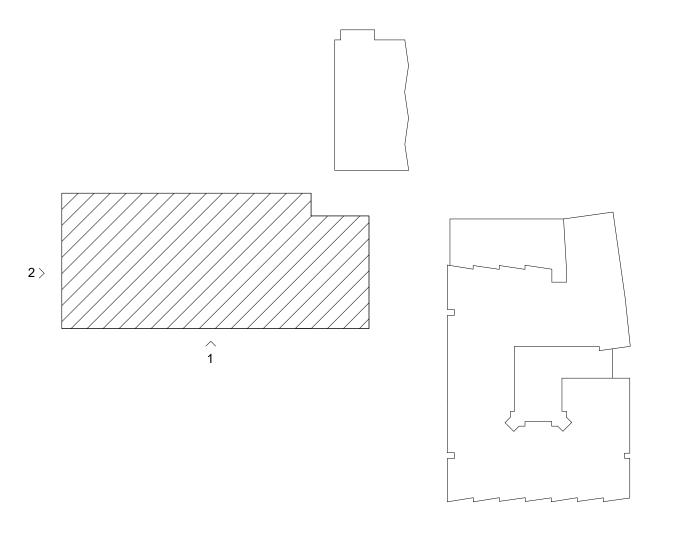
BUILDING 2 - NORTH ELEVATION 1/16" = 1'-0" 1

Building Elevations are conceptual in nature. Final Building Elevations will be determined during the Permit Process.

VINYL DOOR

METAL RAILING

GLASS RAILING



- CONCRETE
- 02 STUCCO
- VINYL WINDOW
- METAL WALL PANELS BLACK
- GLASS STOREFRONT
- WOOD POLE SCREEN
- VINYL DOOR
- METAL RAILING
- **GLASS RAILING**

Note: Final material color, opening locations, and specification to be issued upon Building Permit Submittal

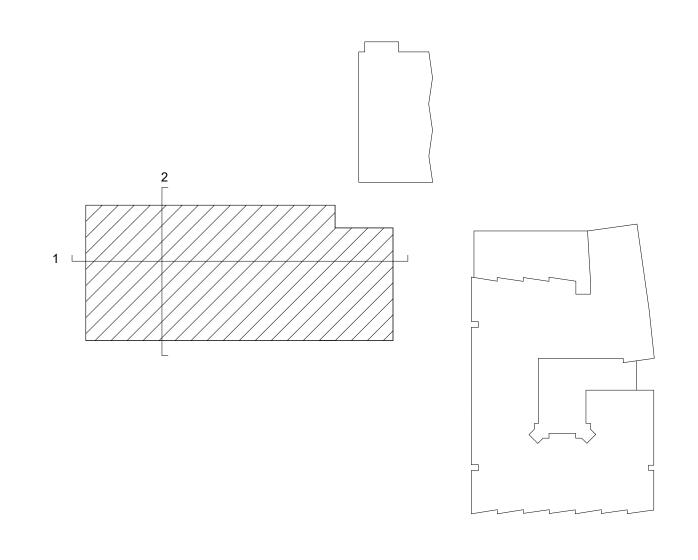


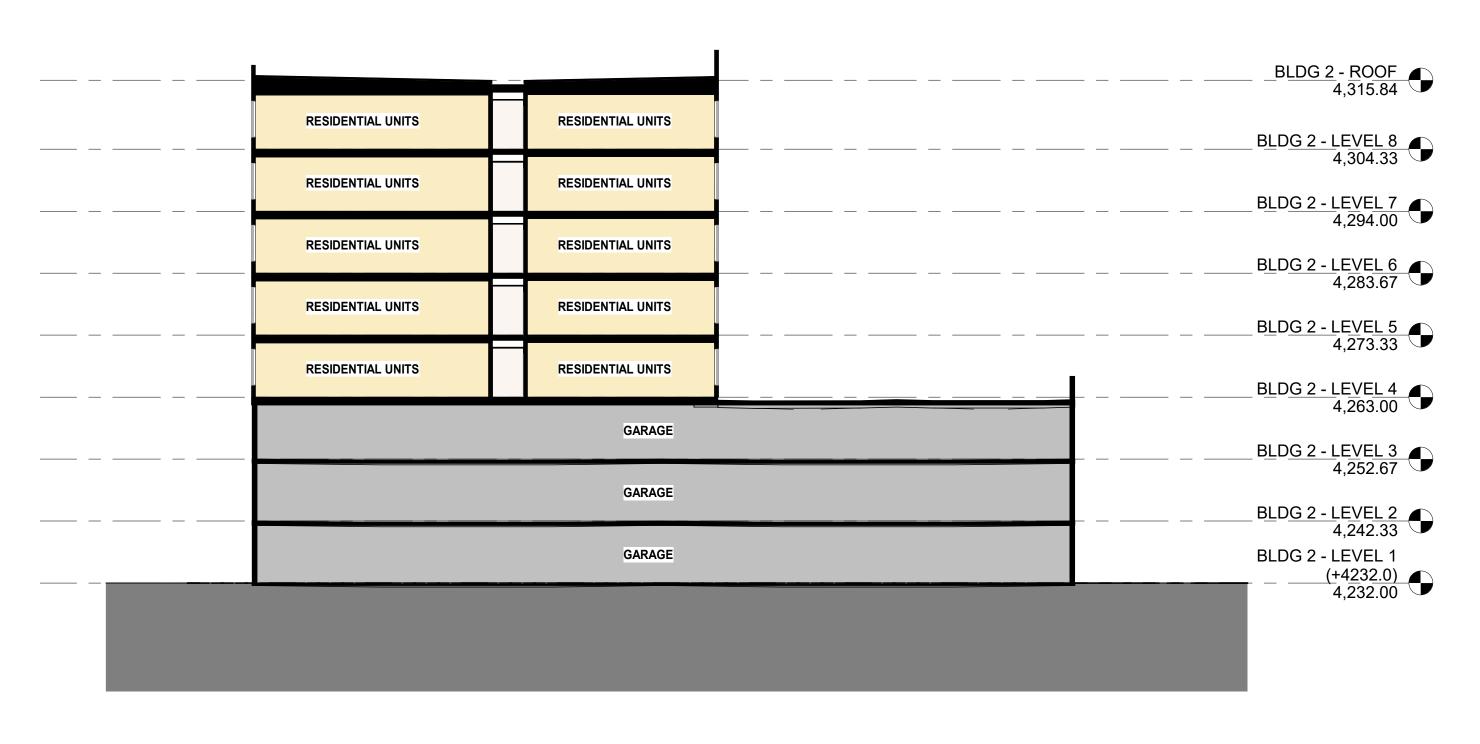
BUILDING 2 - WEST ELEVATION 1/16" = 1'-0" 2



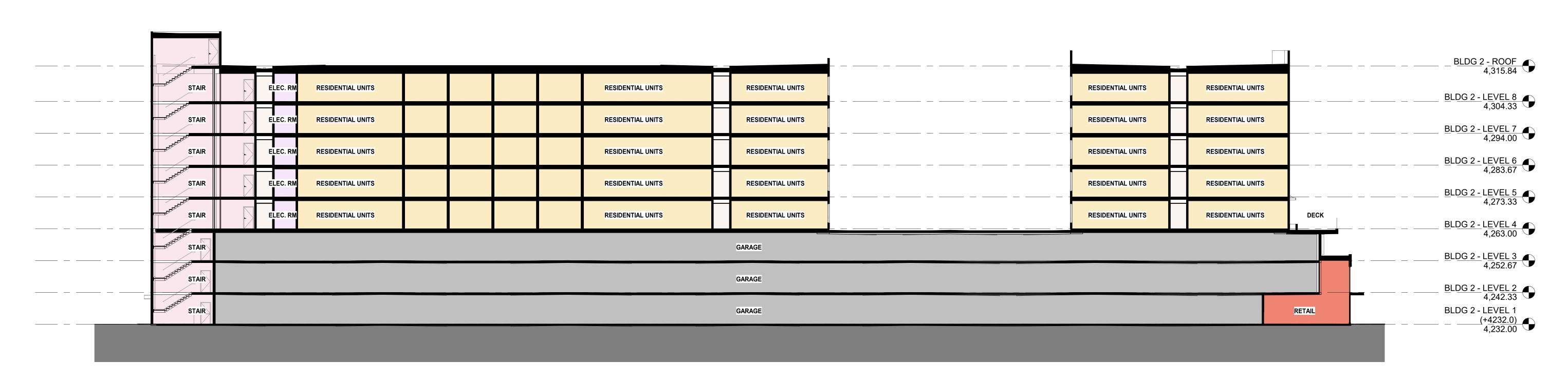
BUILDING 2 - SOUTH ELEVATION 1/16" = 1'-0" 1

Building Elevations are conceptual in nature. Final Building Elevations will be determined during the Permit Process.



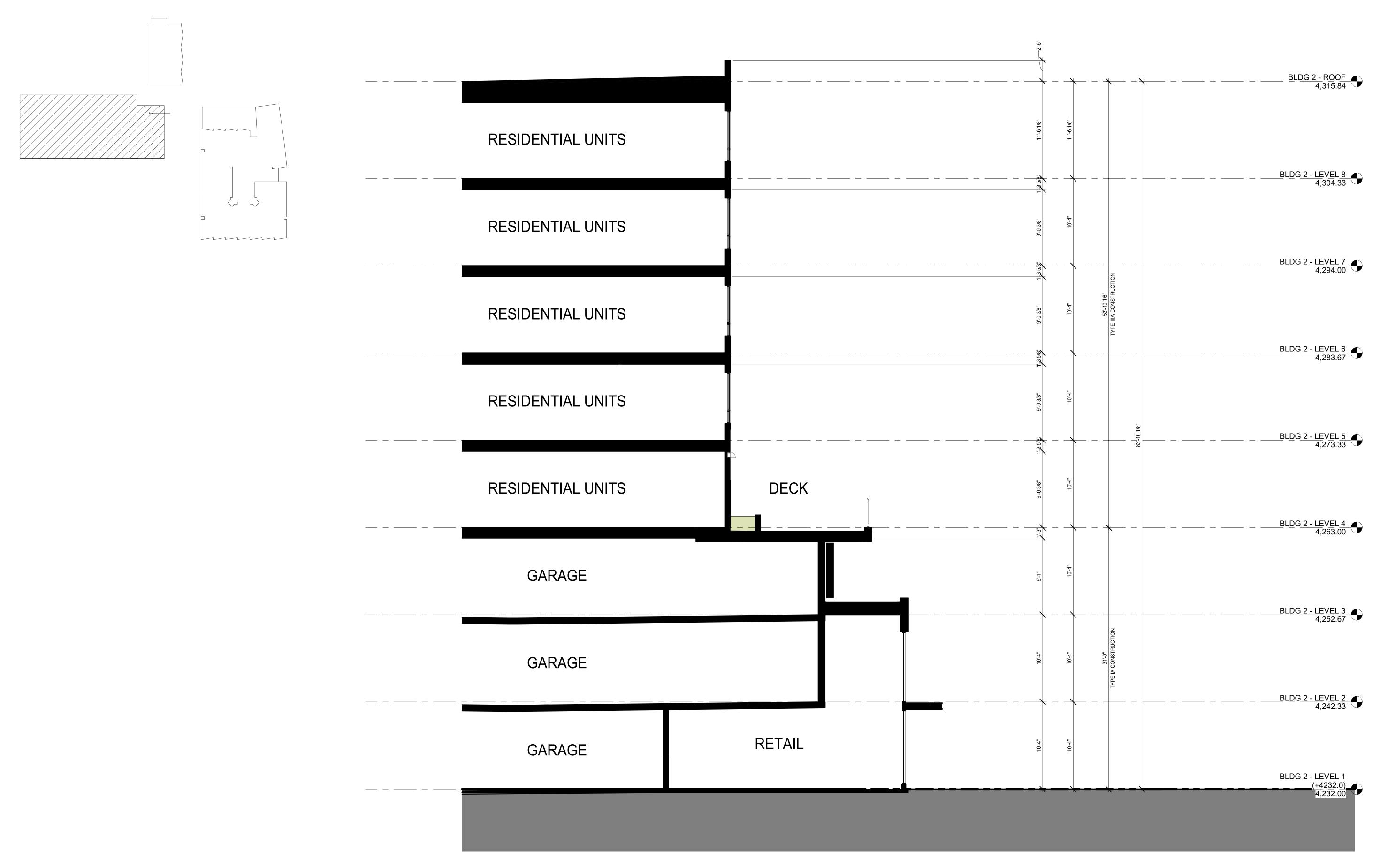


BUILDING 2 - SECTION 2 1/16" = 1'-0" 2

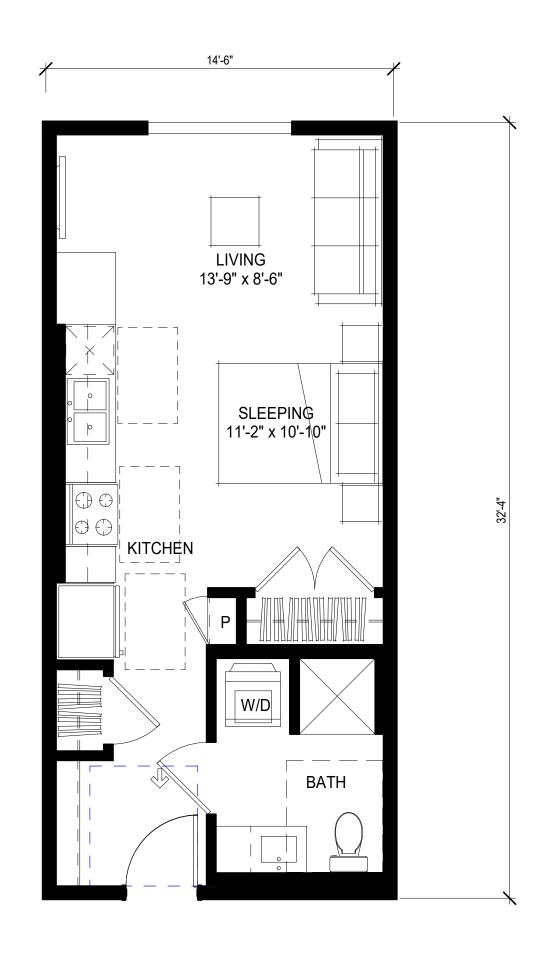


BUILDING 2 - SECTION 1 1/16" = 1'-0" 1

Building Sections are conceptual in nature. Final Building Sections will be determined during the Permit Process.

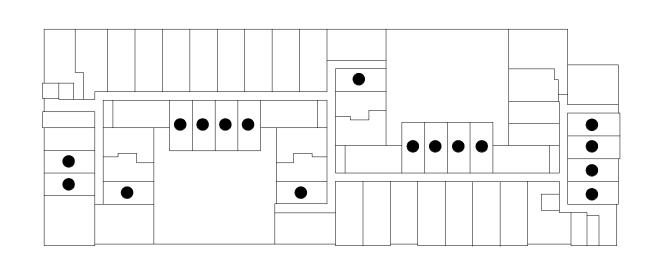


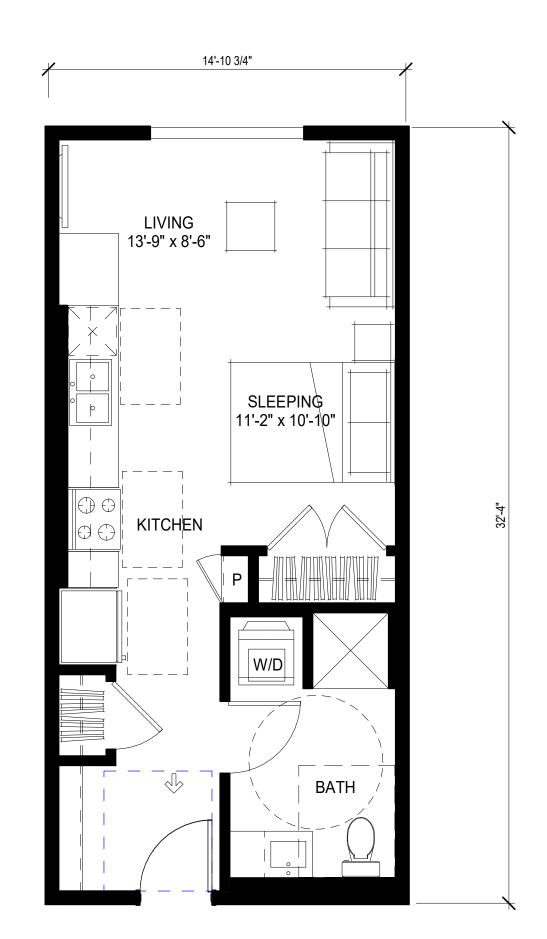
Wall section is conceptual in nature. Final Wall Section will be determined during the Permit Process.



UNIT ST-01

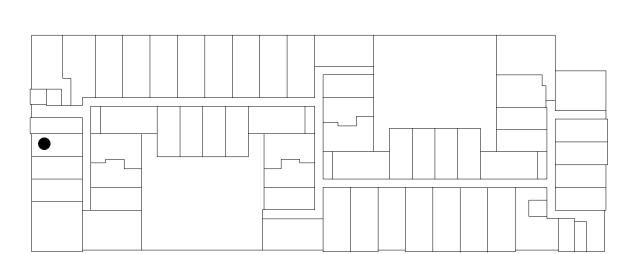
STUDIO
AVG. HUD NET RENTABLE AREA: 427 SF
AVG. MARKET NET AREA: 469 SF
UNIT COUNT: 88 - 32%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

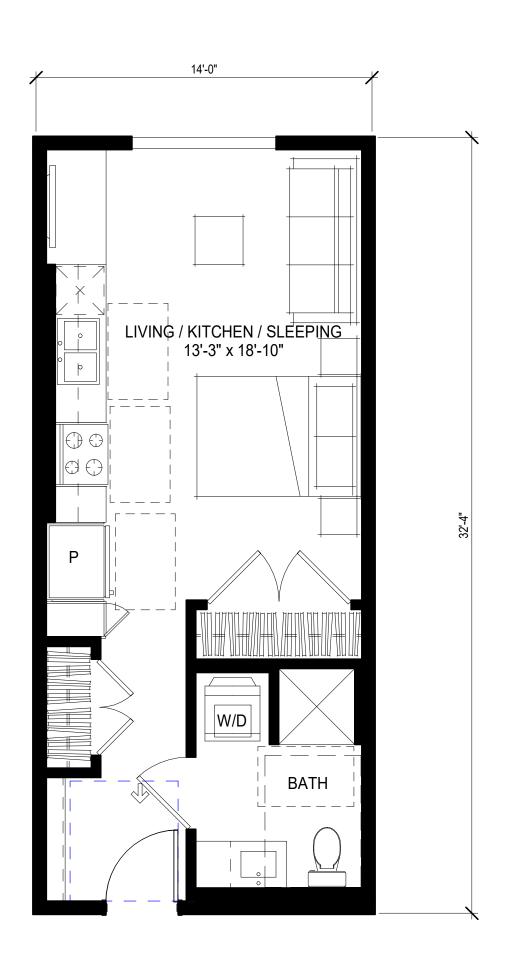




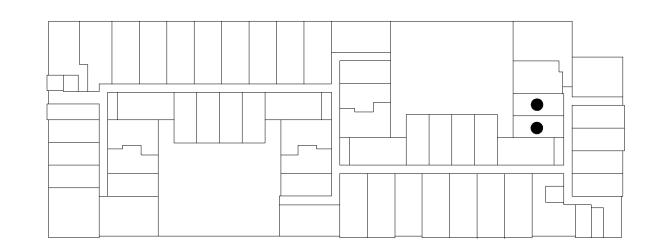
UNIT ST-01 TYPE A

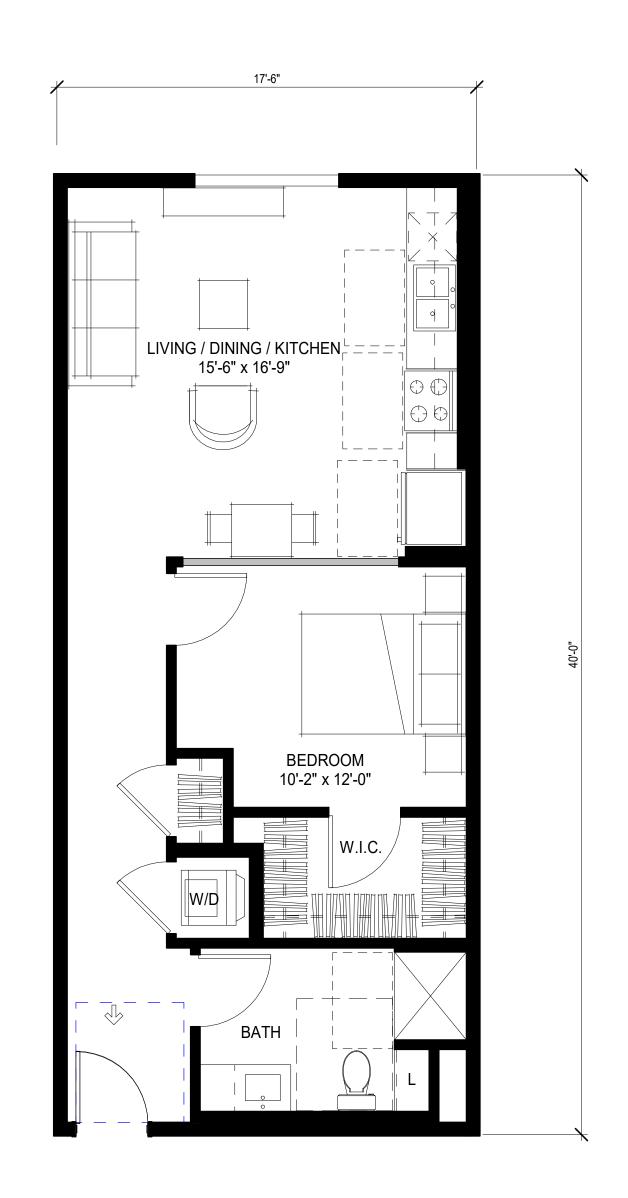
STUDIO
AVG. HUD NET RENTABLE AREA: 427 SF
AVG. MARKET NET AREA: 469 SF
TYPE A UNIT ONLY ON LEVEL 5 & 6
UNIT COUNT: 2 - 0.7%
TYPE B UNIT ON LEVEL 4, 7 & 8
UNIT COUNT: 3 - 1.1%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



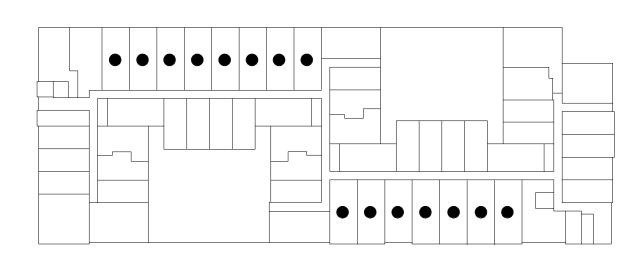


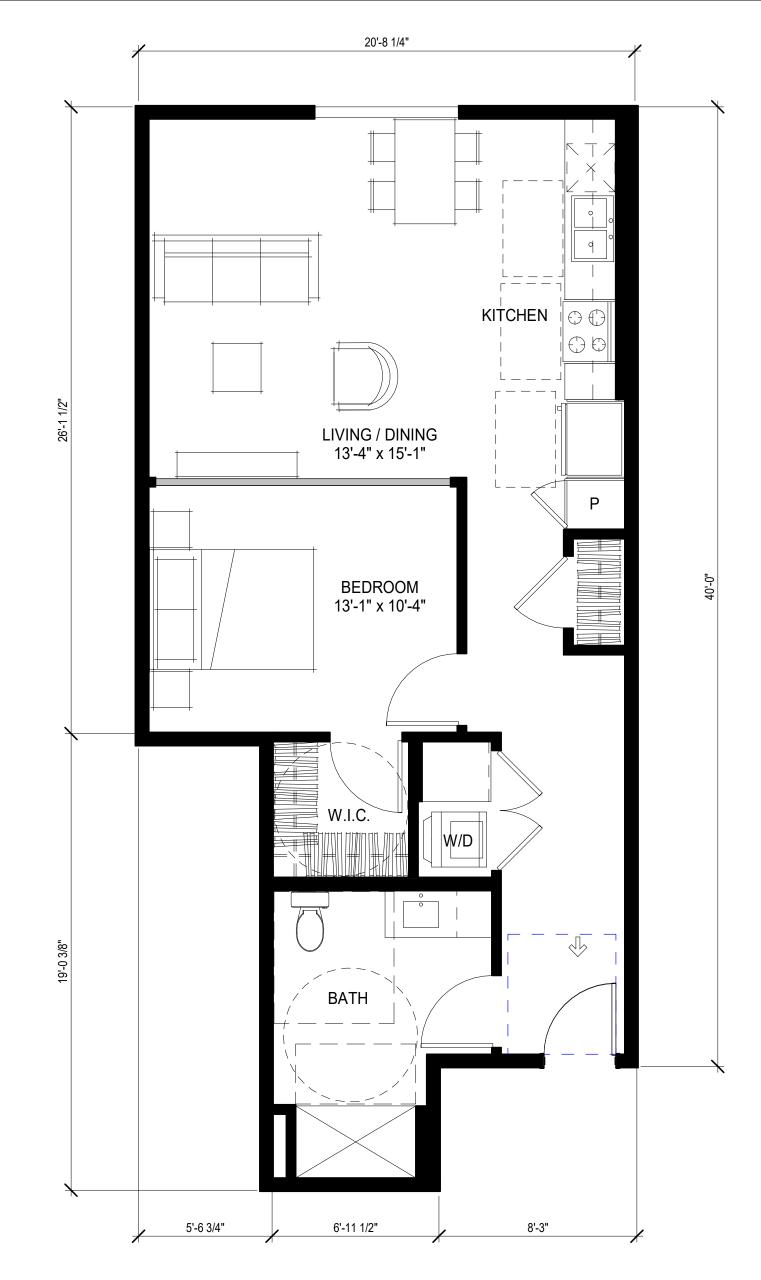
UNIT ST-02 STUDIO AVG. HUD NET RENTABLE AREA: 412 SF AVG. MARKET NET AREA: 453 SF UNIT COUNT: 10 - 3.6% (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)





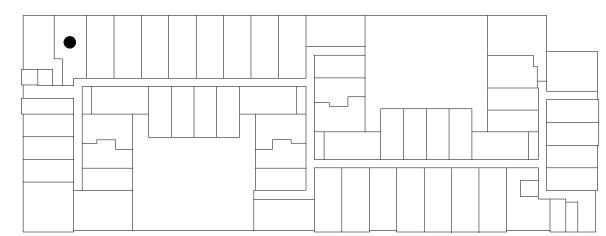
UNIT 1B-01 1 BED/ 1 BA AVG. HUD NET RENTABLE AREA: 649 SF AVG. MARKET NET AREA: 700 SF UNIT COUNT: 75 - 27.3% (WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

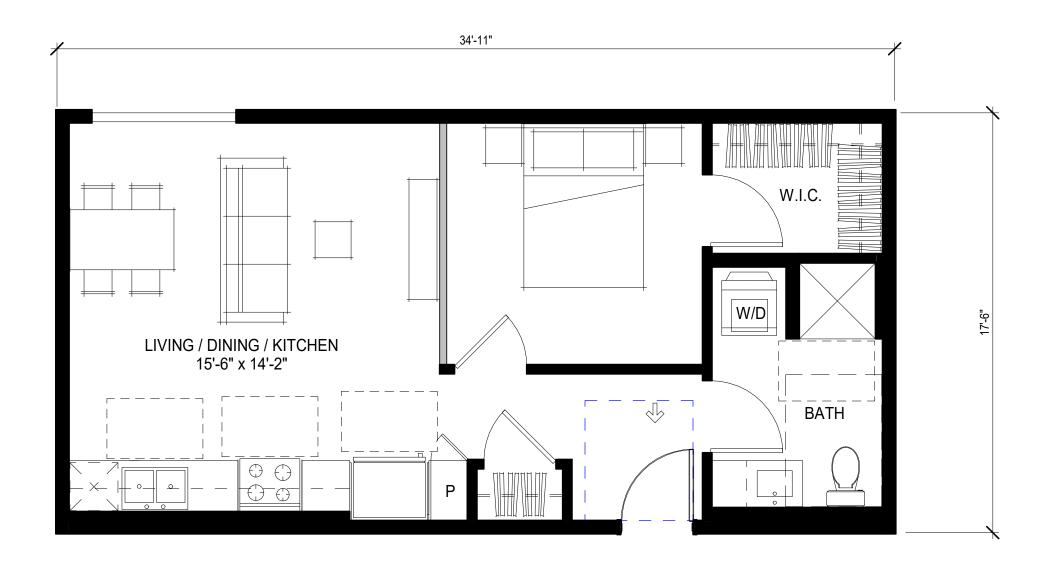




UNIT 1B-01.1 TYPE A

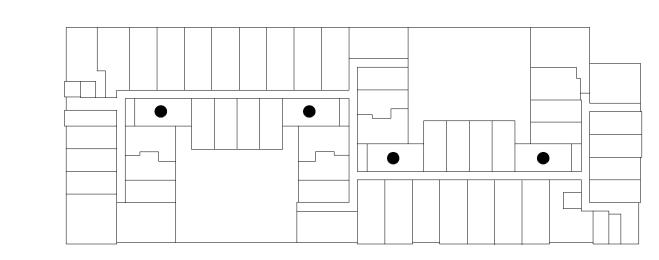
1 BED/ 1 BA
AVG. HUD NET RENTABLE AREA: 800 SF
AVG. MARKET NET AREA: 741 SF
TYPE A UNIT ONLY ON LEVEL 5 & 6
UNIT COUNT: 2 - 0.7%
TYPE B UNIT ON LEVEL 4, 7 & 8
UNIT COUNT: 3 - 1.1%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

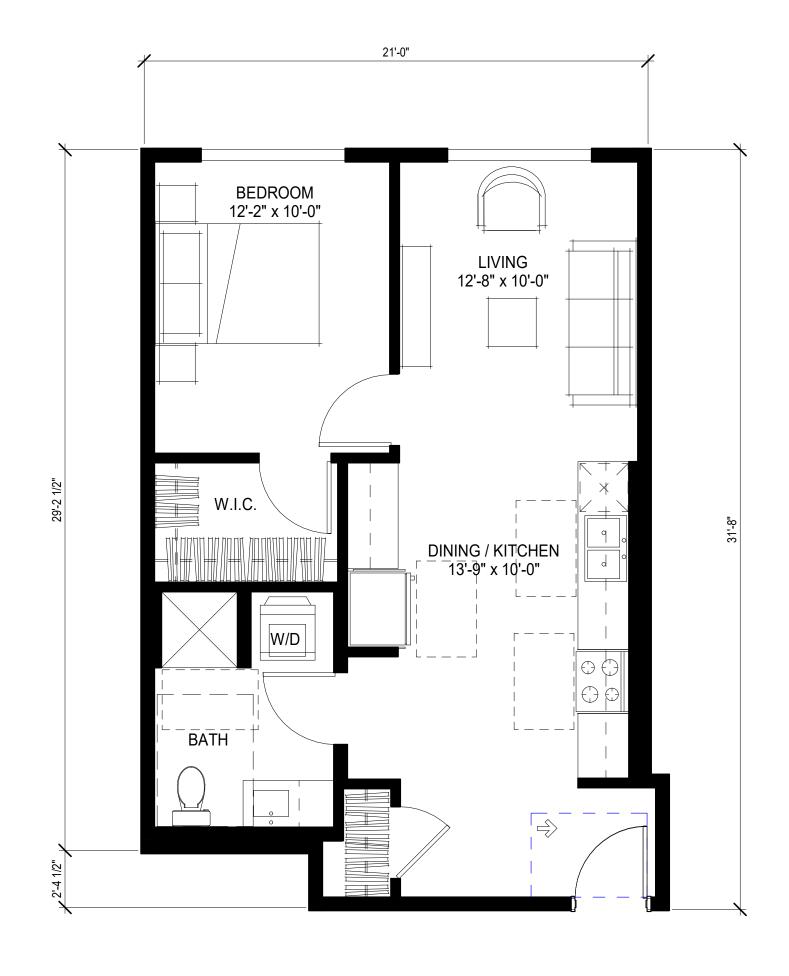




UNIT 1B-02

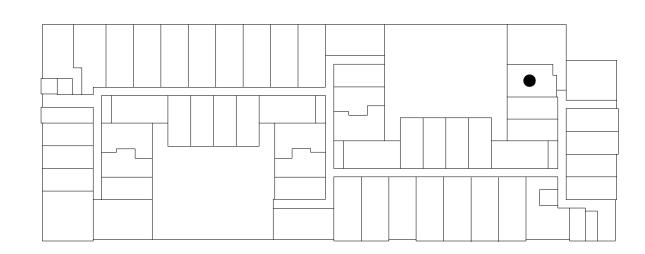
1 BED/ 1 BA
AVG. HUD NET RENTABLE AREA: 561 SF
AVG. MARKET NET AREA: 611 SF
UNIT COUNT: 20 - 7.3%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

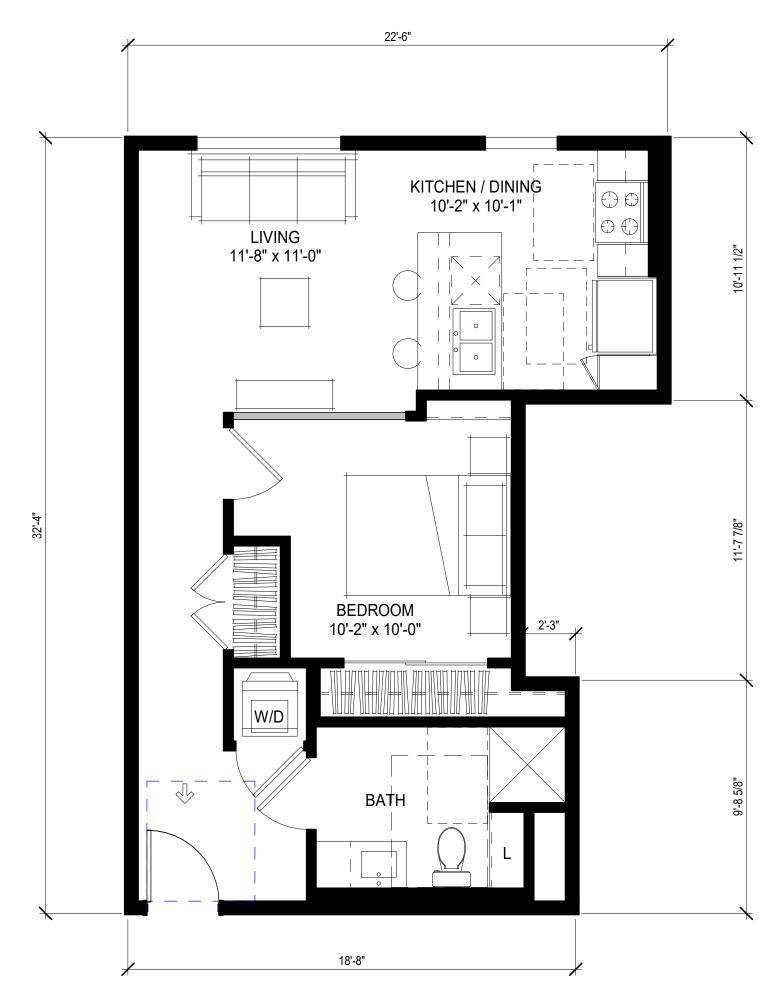




UNIT 1B-03

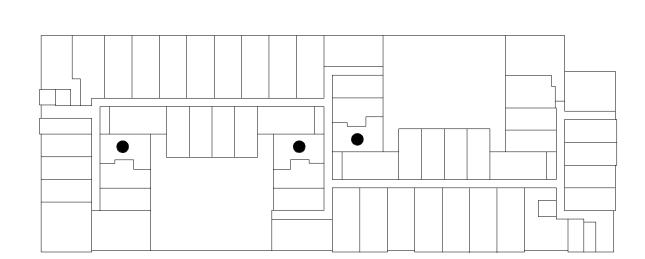
1 BED/ 1 BA
AVG. HUD NET RENTABLE AREA: 606 SF
AVG. MARKET NET AREA: 650 SF
UNIT COUNT: 5 - 1.8%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

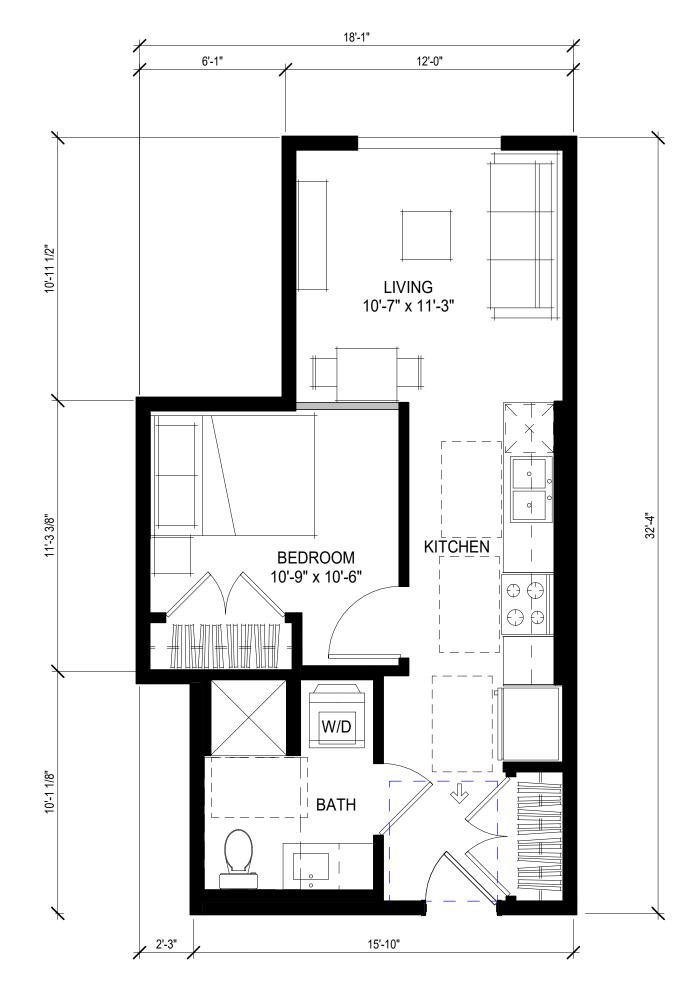




UNIT 1B-04

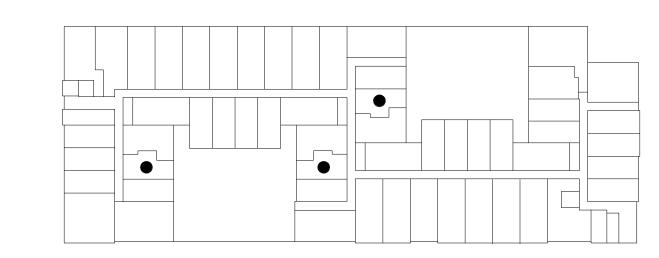
1 BED/ 1 BA
AVG. HUD NET RENTABLE AREA: 568 SF
AVG. MARKET NET AREA: 619 SF
UNIT COUNT: 15 - 5.5%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

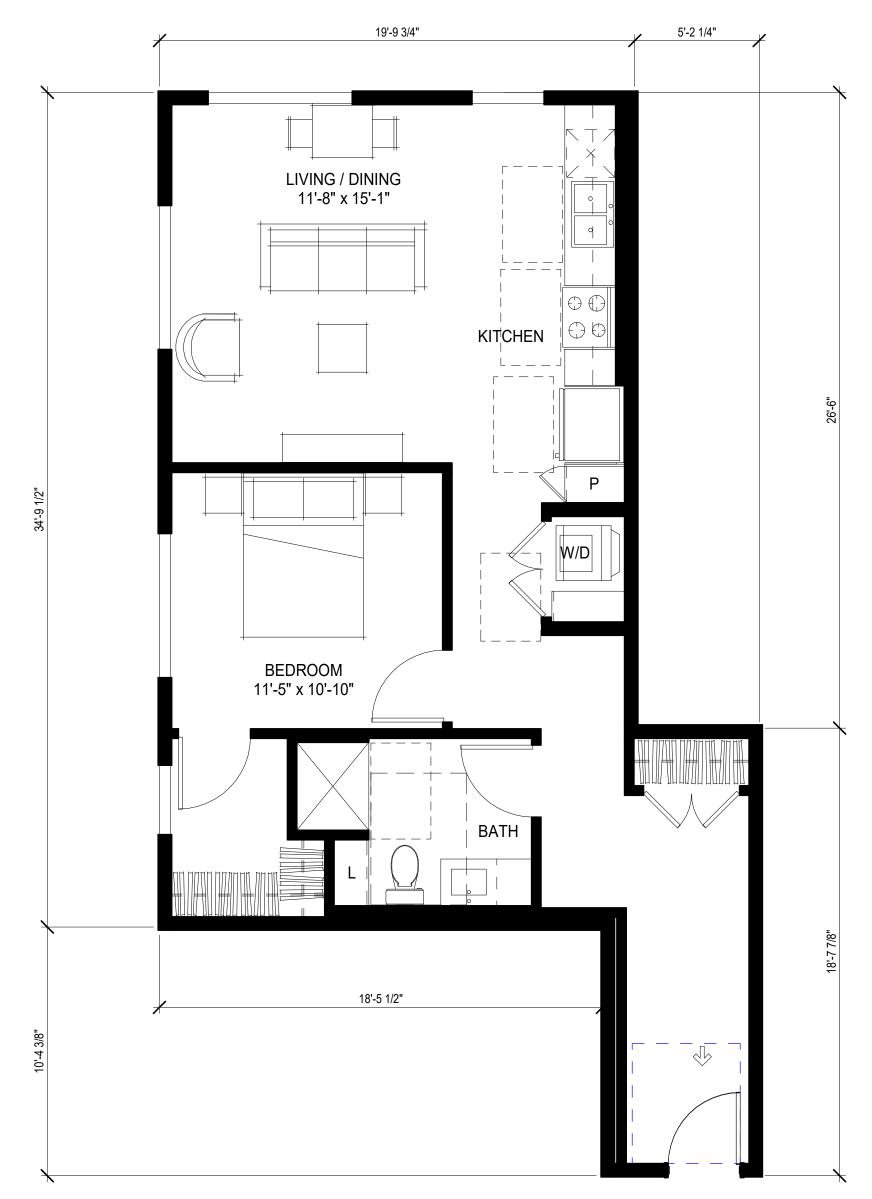




UNIT 1B-05

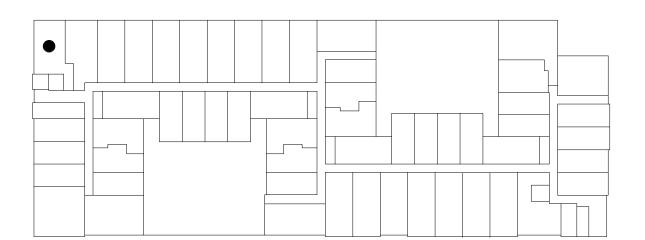
1 BED/ 1 BA
AVG. HUD NET RENTABLE AREA: 452 SF
AVG. MARKET NET AREA: 496 SF
UNIT COUNT: 15 - 5.5%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

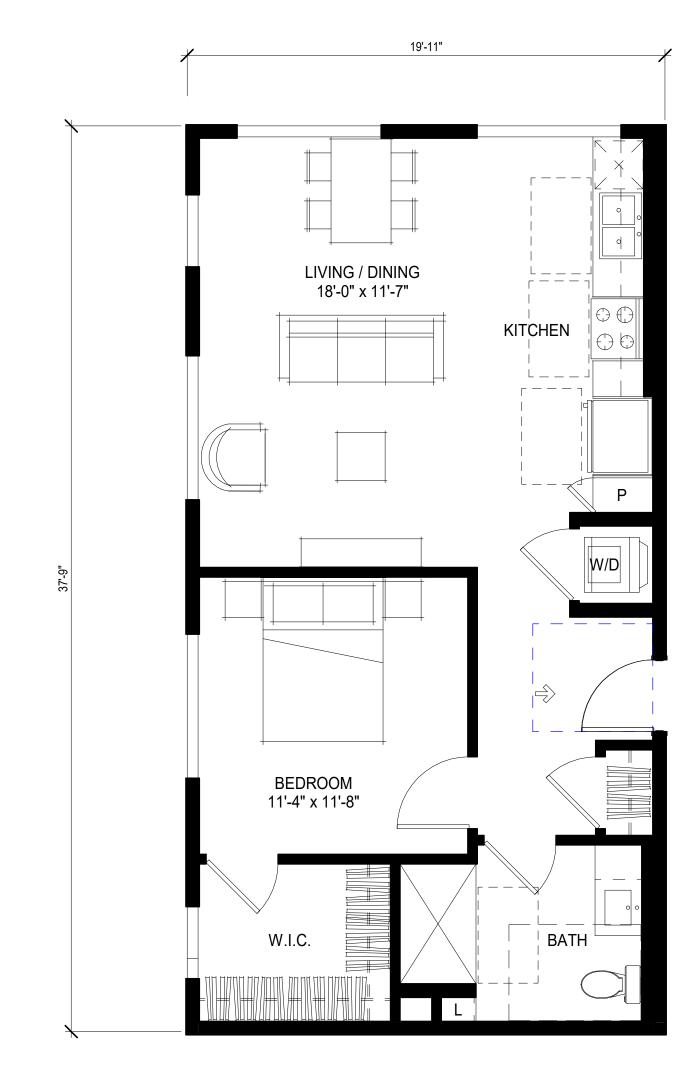




UNIT 1B-06

1 BED/ 1 BA
AVG. HUD NET RENTABLE AREA: 723 SF
AVG. MARKET NET AREA: 797 SF
UNIT COUNT: 5 - 1.8%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)





UNIT 1B-07

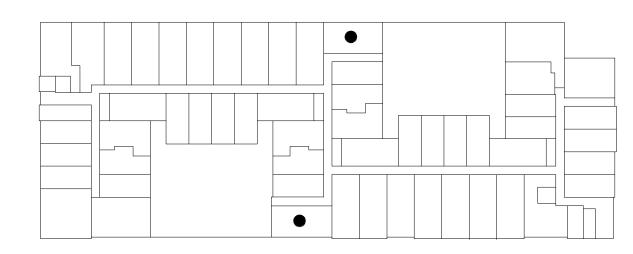
1 BED/ 1 BA

AVG. HUD NET RENTABLE AREA: 696 SF

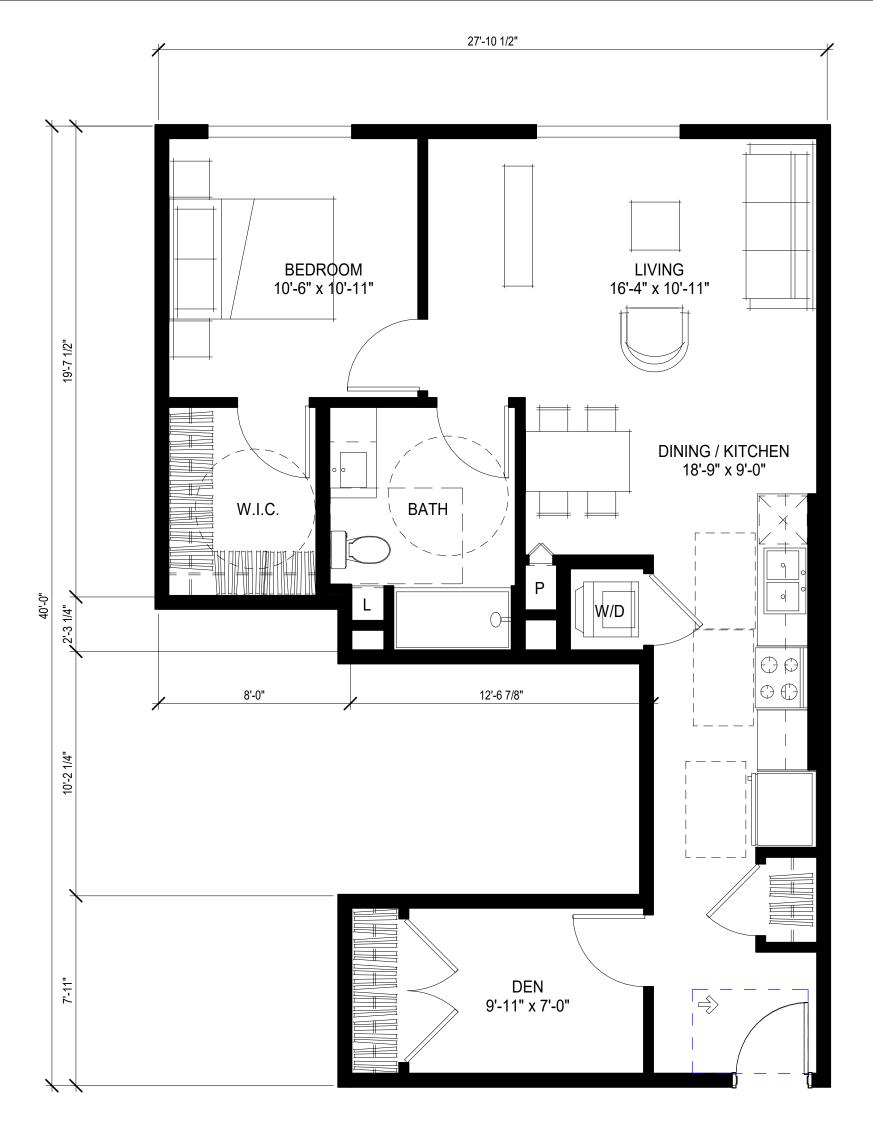
AVG. MARKET NET AREA: 752 SF

UNIT COUNT: 2 - 0.7%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

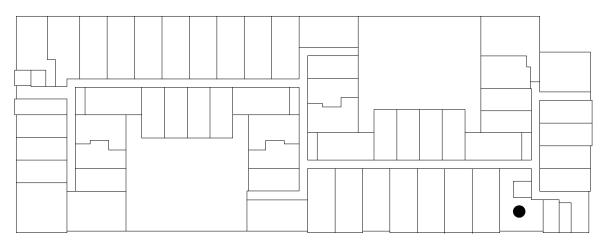


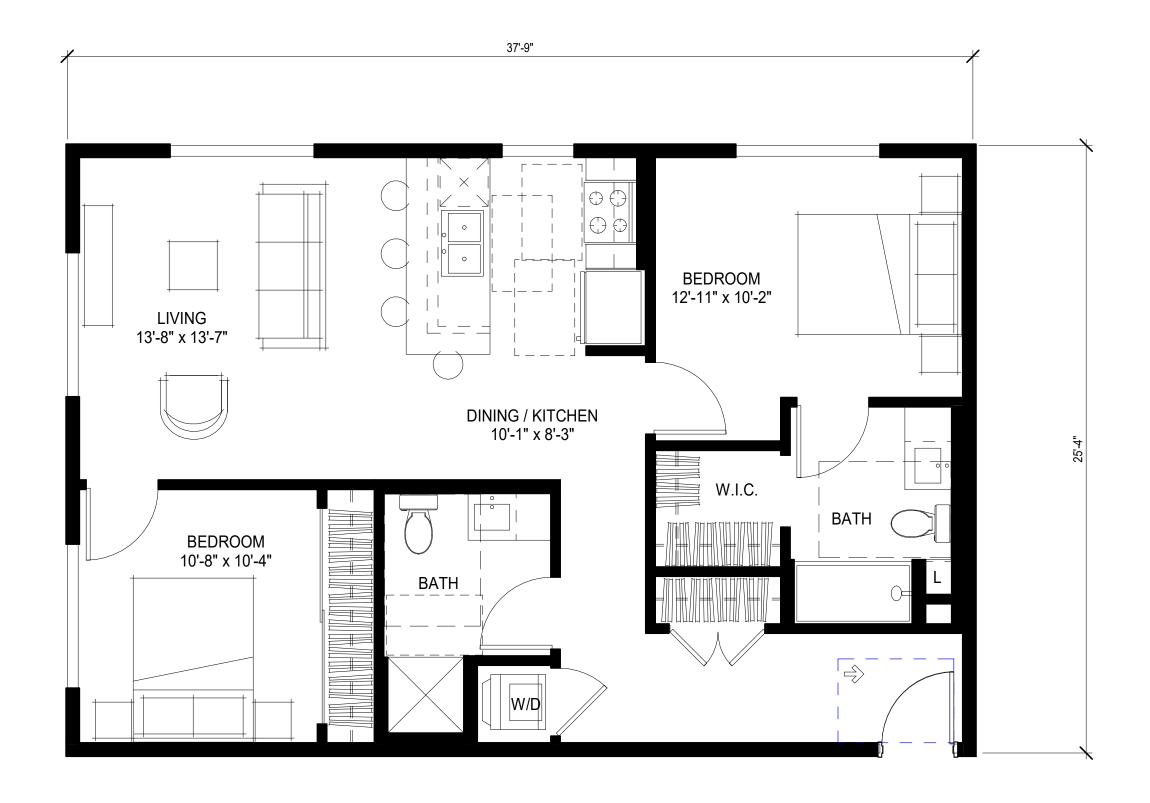
LEVEL 4 ONLY



UNIT 1B-09

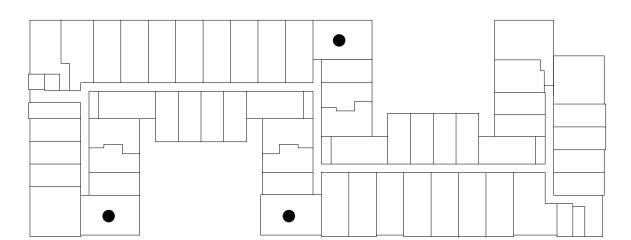
1 BED + DEN/ 1 BA
AVG. HUD NET RENTABLE AREA: 842 SF
AVG. MARKET NET AREA: 766 SF
TYPE A UNIT ONLY ON LEVEL 5
UNIT COUNT: 1 - 0.4%
TYPE B UNIT ON LEVEL 4, 6, 7 & 8
UNIT COUNT: 4 - 1.5%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

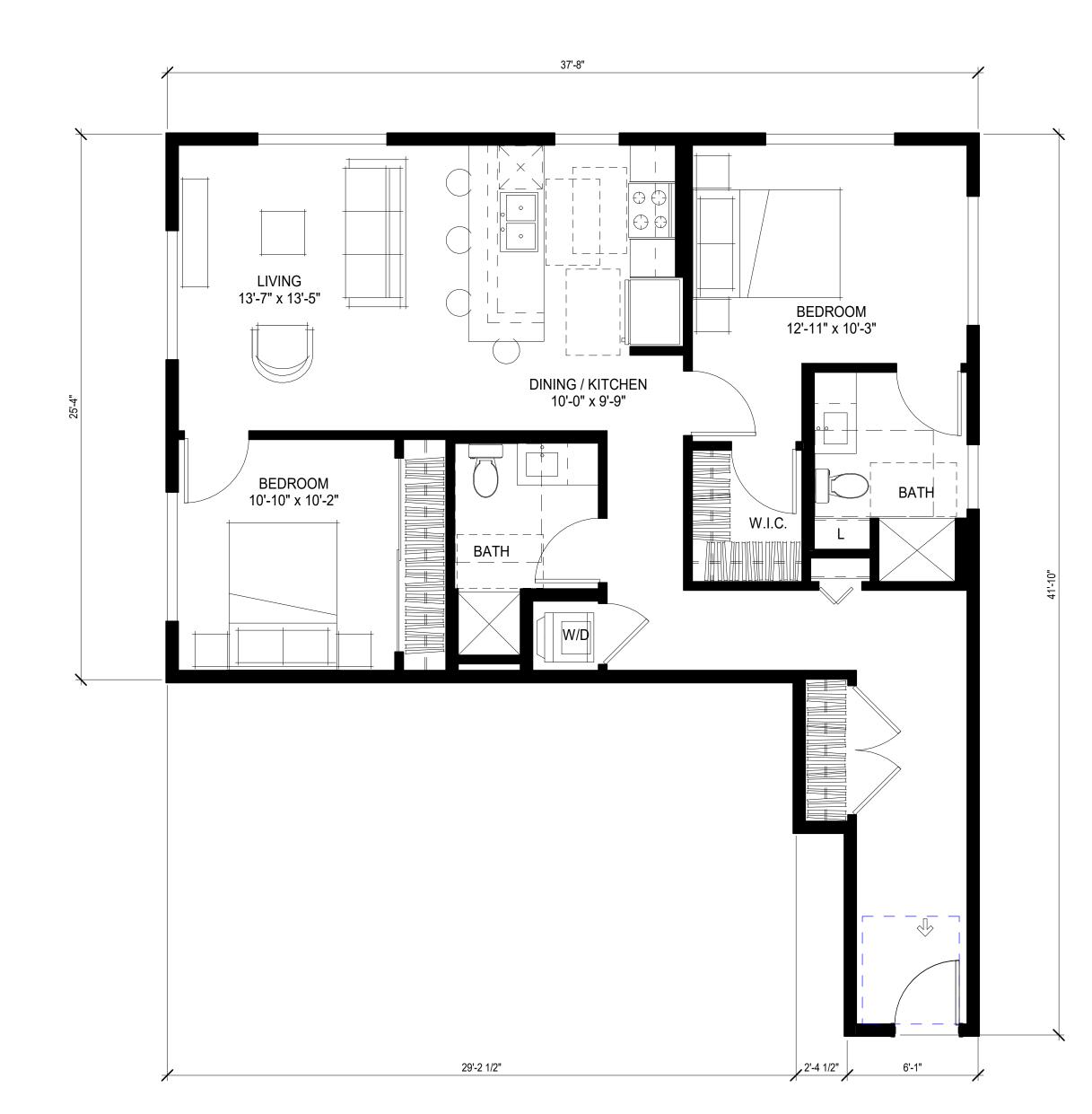




UNIT 2B-01

2 BED/ 2 BA
AVG. HUD NET RENTABLE AREA: 898 SF
AVG. MARKET NET AREA: 956 SF
UNIT COUNT: 13 - 4.7%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)





UNIT 2B-01.1

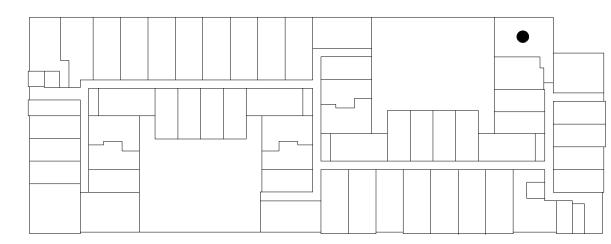
2 BED/ 2 BA

AVG. HUD NET RENTABLE AREA: 995 SF

AVG. MARKET NET AREA: 1,071 SF

UNIT COUNT: 5 - 1.8%

(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)

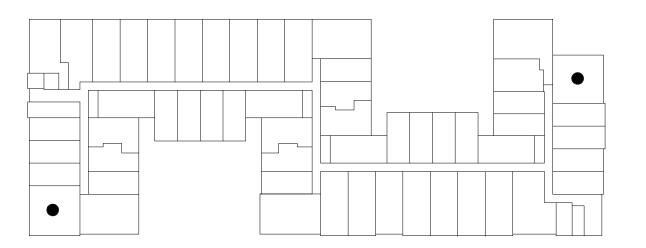


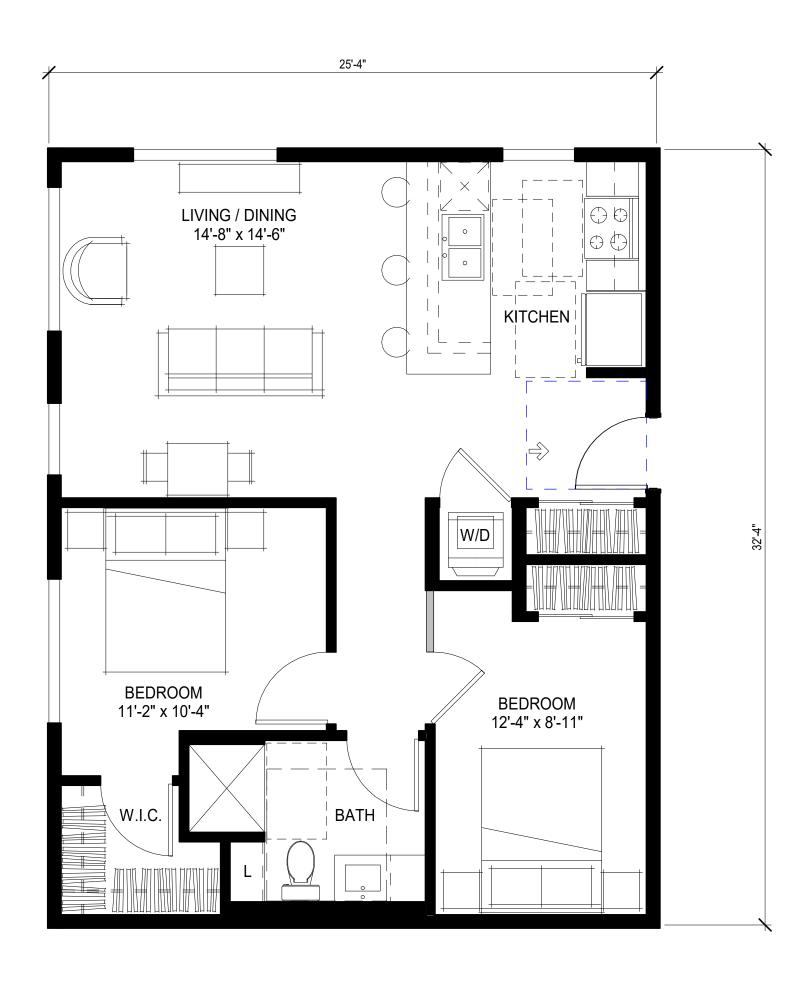


UNIT 2B-03

2 BED/ 2 BA
AVG. HUD NET RENTABLE AREA: 936 SF
AVG. MARKET NET AREA: 997 SF
TYPE A UNIT ONLY ON LEVEL 5
UNIT COUNT: 1 - 0.4%
TYPE B UNIT ON LEVEL 4 - 8
UNIT COUNT: 8 - 2.9%

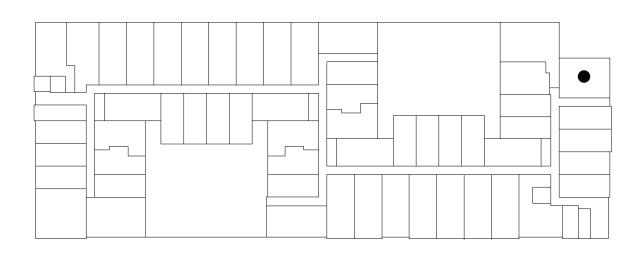
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)





UNIT 2B-04

2 BED/ 1 BA
AVG. HUD NET RENTABLE AREA: 766 SF
AVG. MARKET NET AREA: 822 SF
UNIT COUNT: 1 - 0.4%
(WINDOW LOCATION SEE FLOOR PLAN AND EXTERIOR ELEVATION)



LEVEL 4 ONLY















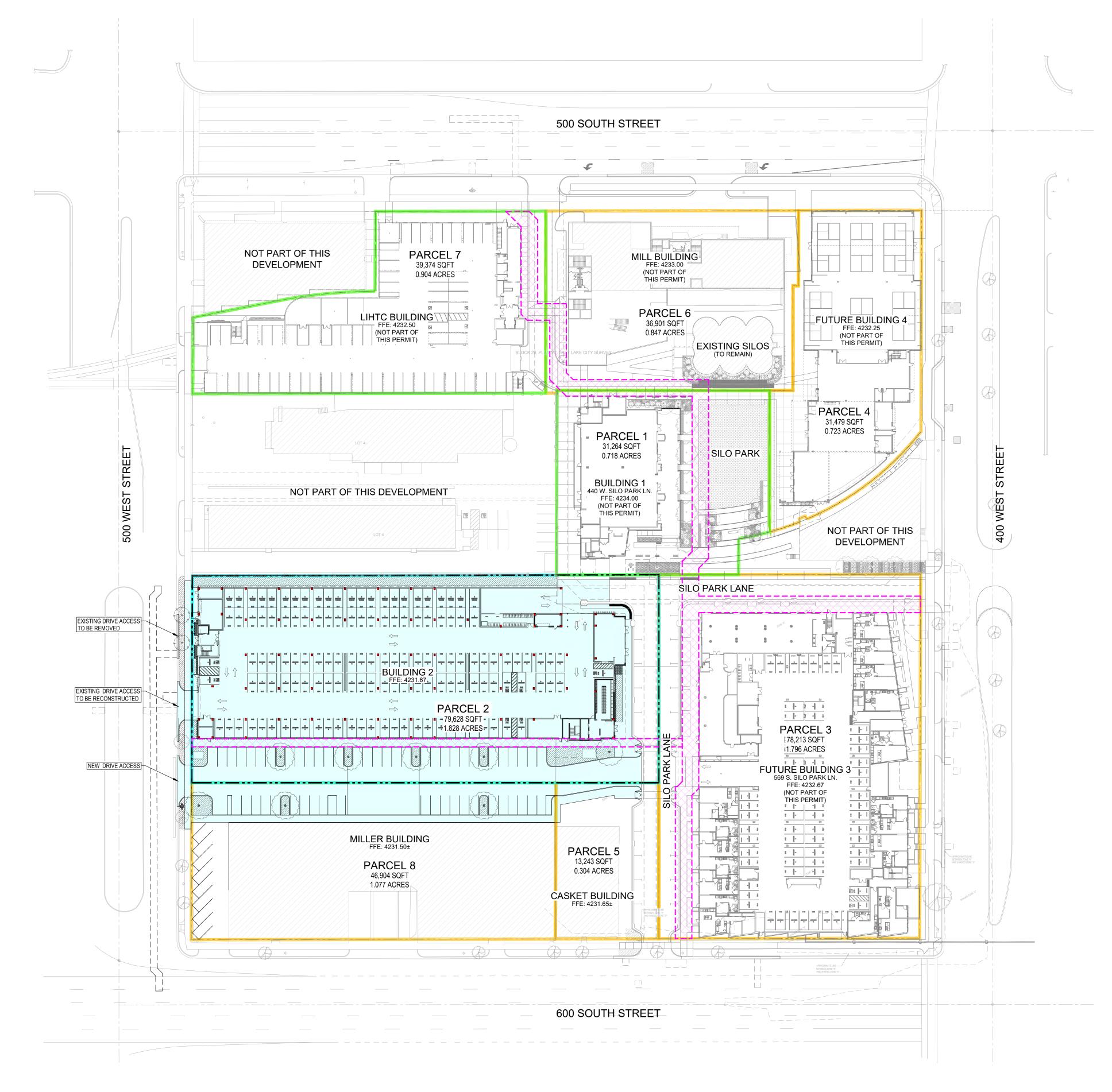
Lighting is conceptual in nature. Final Lighting Design will be determined during the Permit Process. All lighting is intended to comply with Standard K of SLC Design Review.

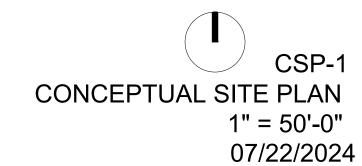


Lighting is conceptual in nature. Final Lighting Design will be determined during the Permit Process. All lighting is intended to comply with Standard K of SLC Design Review.



Lighting is conceptual in nature. Final Lighting Design will be determined during the Permit Process. All lighting is intended to comply with Standard K of SLC Design Review.





LEGEND

SUBJECT PARCEL

AREA OF PROPOSED DEVELOPMENT

WITH THIS PERMIT

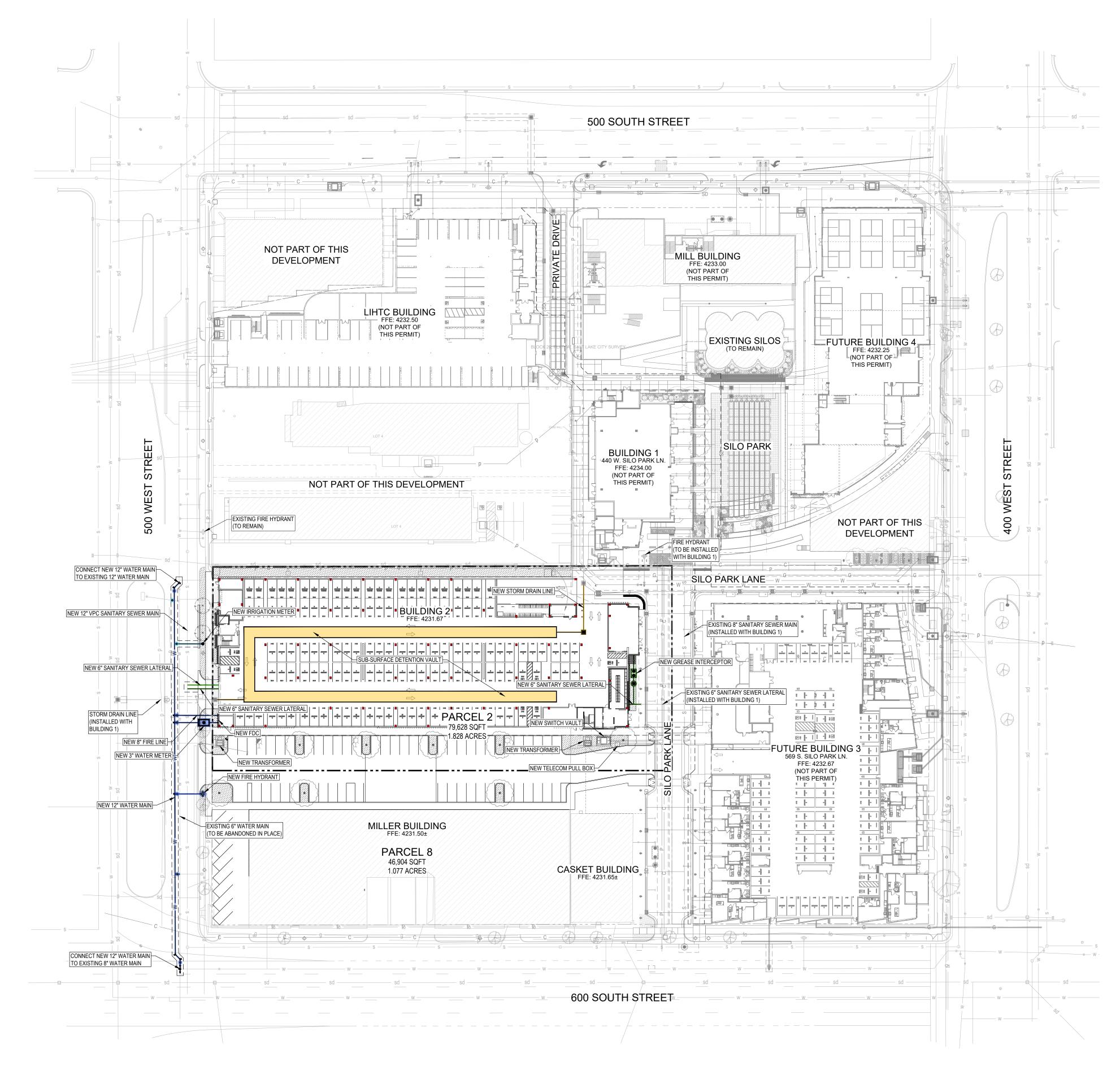
PARCEL CURRENTLY UNDER DEVELOPMENT

PARCEL OF FUTURE

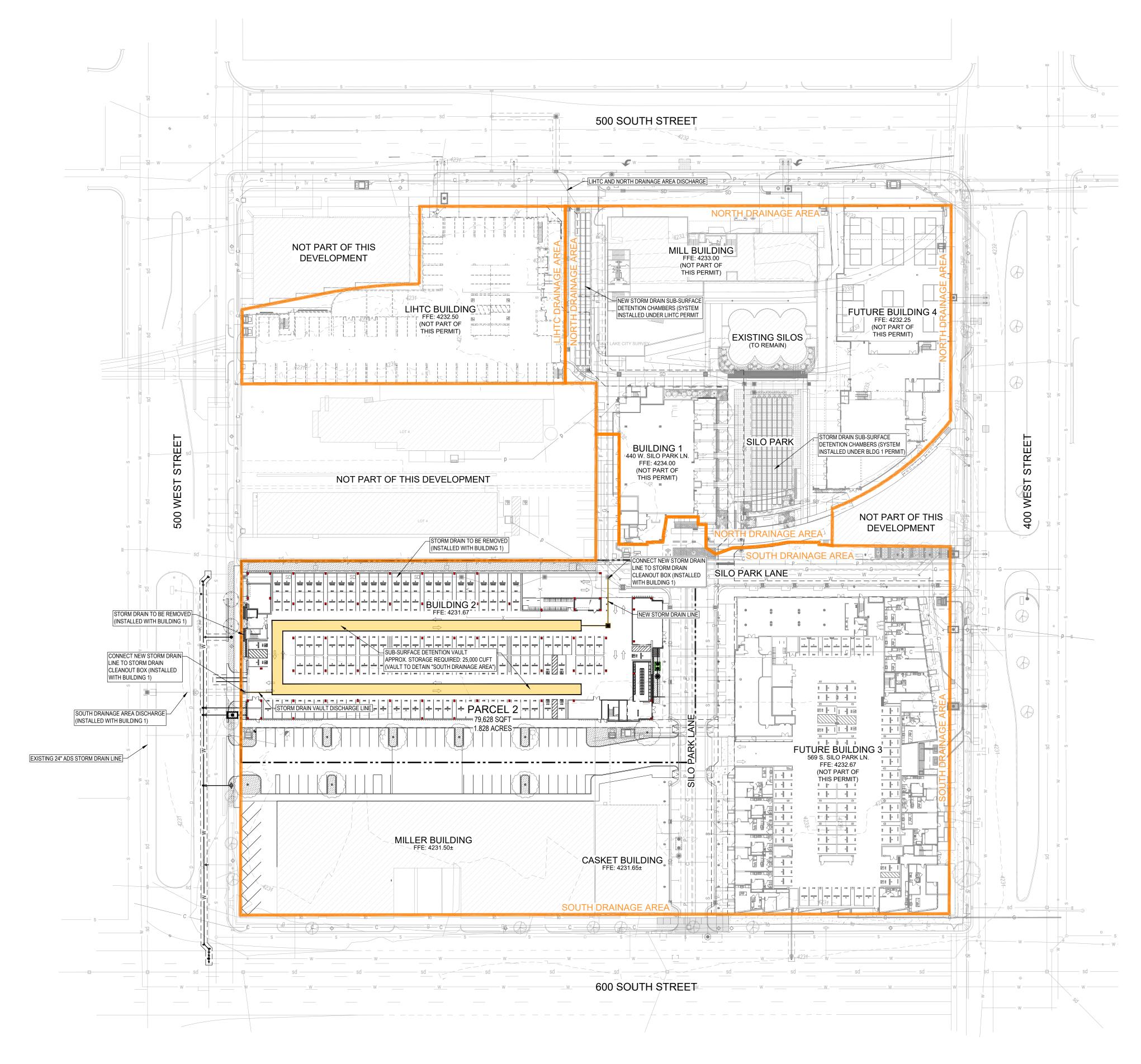
DEVELOPMENT

PROPOSED MID-BLOCK

WALKWAY EASEMENT







SILOS SOUTH APARTMENTS SALT LAKE CITY, UT 84101 SILOS SOUTH APARTMENTS, LLC 2170 S MCCLELLAND ST, SUITE 100 SALT LAKE CITY, UT 84106 PHONE: 801.582.3188 MVE + PARTNERS 1900 MAIN STREET, SUITE 800 IRVINE, CA 92614 PHONE: 949.809.3388 SOUTH DRAINAGE AREA SUMMARY

BUILDING AREA: 141,855 SQFT OR 3.257 ACRES

LANDSCAPE AREA: 20,431 SQFT OR 0.469

TOTAL AREA: 225,590 SQFT OR 5.179 ACRES

HARDSCAPE AREA: 63,304 SQFT OR 1.453 ACRES

NOT FOR CONSTRUCTION

-SILOS (NOT IN SCOPE)

ES Z ES BOCATV

GENERAL NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL ITEMS REQUIRING REMOVAL AND PROTECTION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE REMOVED OR RELOCATED WITH OWNER'S REPRESENTATIVE PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL MARK/FLAG INDIVIDUAL TREES TO BE REMOVED AND TO REMAIN FOR THE APPROVAL OF OWNER'S REPRESENTATIVE.
- 3. PRIOR TO COMMENCING DEMOLITION OPERATIONS, CONTRACTOR SHALL CONTACT ALL UTILITY LOCATOR SERVICES AND CONFIRM ALL SERVICE LINES AND UTILITY LOCATIONS WITHIN THE LIMITS OF WORK.
- 4. PRIOR TO DEMOLITION OPERATIONS, CONTRACTOR SHALL PLACE TREE PROTECTION FENCING, BARRICADES, SIGNAGE, AND EROSION CONTROL MEASURES AS DESCRIBED IN THE PLAN AND SPECIFICATIONS AND APPROVED CASMP.
- 5. CONTRACTOR SHALL THOROUGHLY REMOVE AND DISPOSE OF ALL PLANT MATERIALS, INCLUDING ROOTS, WITHIN AREAS SHOWN FOR DEMOLITION.
- 6. THE CONTRACTOR SHALL BE AWARE THAT UNDERGROUND IMPROVEMENTS MAY EXIST THAT ARE NOT SHOWN IN THE CONSTRUCTION PLANS INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, DEBRIS, ELECTRIC AND COMMUNICATION CONDUITS, PIPES, AND STORM DRAIN AND SEWER CONNECTIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF THESE UNKNOWN IMPROVEMENTS ARE LOCATED, EXPOSED, OR DAMAGED.
- 7. CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION WHEN IT IS APPARENT THAT PREVIOUSLY UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR DIRECTION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL NECESSARY REVISIONS AND REPAIR COSTS THAT ARE THE RESULT OF FAILURE TO GIVE SUCH
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES. PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE TO UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR SECURING AND PROPERLY DISPLAYING ALL GOVERNING PERMITS, ALL REQUIRED CITY OF SALT LAKE, COUNTY PERMITS, AND
- 10. CONTRACTOR TO INSTALL ALL HARDSCAPE IN ACCORDANCE WITH THE STATE OF UTAH AND THE AMERICAN DISABILITY ACTS STANDARDS.
- 11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE SUBCONTRACTORS ACCOMPLISHMENT OF SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE
- 12. REFER TO CIVIL DOCUMENTS FOR GRADING AND ADDITIONAL SITE INFORMATION.
- 13. CONTRACTOR SHALL PROVIDE MOCKUPS AND SHOP DRAWINGS FOR APPROVAL PER SPECIFICATIONS PRIOR TO CONSTRUCTION. ALL IMPROVEMENTS SHALL BE CONSTRUCTED TO MEET THE APPROVED MOCKUP OR SHOP DRAWING.
- 14. CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ALL UTILITIES, PAVING, CURBING, ETC., DAMAGED AS A RESULT OF HIS OPERATIONS AT NO ADDITIONAL COST TO OWNER.

GRADING AND DRAINAGE NOTES

SIMULTANEOUSLY.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PLANS FOR BACK OF CURB ELEVATIONS, BUILDING FIRST FLOOR ELEVATIONS, ETC.
- 2. PAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 4.99% ON THE SURFACE IN DIRECTION OF TRAVEL AND MAXIMUM OF 1.99% CROSS SLOPE UNLESS OTHERWISE
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- 4. ALL FINISHED HARDSCAPE AND LANDSCAPE AREAS SHALL BE SLOPED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TOWARD DRAINAGE INLETS AND STORM FACILITIES.
- 5. GRADES IN LANDSCAPE AREAS SHALL SLOPE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 UNLESS OTHERWISE NOTED OR APPROVED.
- 6. FEATHER ALL FINISH GRADES TO MEET EXISTING GRADES WITHOUT ABRUPT CHANGES IN SLOPE.
- 7. CONTRACTOR SHALL STABILIZE AND MAINTAIN EXISTING SLOPES AND GRADES AS REQUIRED AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY EROSION OR SLOPE FAILURE AT NO ADDITIONAL COST TO THE OWNER.
- 8. FINAL GRADING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO SEEDING/SODDING OR PLANTING.
- 9. LANDSCAPE GRADING SHEETS INDICATE INFORMATION FOR VERTICAL LANDSCAPE ELEMENTS: IE: TOP OF WALLS. TOPS OF STAIRS. & RAMPS. REFER TO CIVIL SHEETS FOR ALL OTHER SITE GRADING INFORMATION.
- 10. GRADING PLANS WERE DEVELOPED BASED ON THE FINISHED FLOOR ELEVATIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY ANY DEVIATIONS BETWEEN FINISHED FLOOR ELEVATIONS SHOWN ON THESE PLANS AND THE FINAL PLAN DRAWINGS PRIOR TO INSTALLATION.
- 11. GRADING PLANS WERE DEVELOPED BASED ON THE BUILDING LAYOUT AND ENTRANCES SHOWN IN THESE PLANS, CONTRACTOR SHALL VERIFY ANY DEVIATIONS BETWEEN THESE PLANS AND FINAL PLANS PRIOR TO INSTALLATION.

ENG

ENGINEER

12. REFER TO CIVIL SHEETS FOR ELEVATIONS OF INLETS AND MANHOLES.

CONC CONCRETE

DEMOLITION & PROTECTION NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL DEMOLITION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES THAT ARE WITHIN 5' OF ALL PLANNED FOR UTILITIES AND TO POTHOLE ALL UTILITIES THAT REQUIRE UTILITY CROSSING OR COORDINATION.
- THE CONTRACTOR IS PUT ON NOTICE THAT CONDITIONS MAY EXIST UNDERGROUND THAT ARE NOT SHOWN IN THE SURVEY OR CONSTRUCTION PLANS INCLUDING, BUT NOT LIMITED TO, LIGHTING, SANITARY SEWER, STORM SEWER, GAS LINES, & IRRIGATION CONDUITS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION
- CONTRACTOR SHALL ERECT AND MAINTAIN TREE PROTECTION FENCING, BARRICADES, SIGNAGE, AND EROSION CONTROL MEASURES AS DESCRIBED IN THE SPECIFICATIONS PRIOR TO COMMENCING DEMOLITION OPERATIONS.
- CONTRACTOR SHALL THOROUGHLY CLEAR, GRUB, AND DISPOSE OF EXISTING PLANT MATERIAL AREAS SHOWN FOR DEMOLITION.
- CONTRACTOR SHALL COORDINATE SITE DEMOLITION OPERATIONS WITH ALL OTHER TRADES PERFORMING WORK ON THE PROJECT.
- 7. CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ALL BUILDINGS, UTILITIES, AND SITE IMPROVEMENTS THAT ARE NOT DESIGNATED FOR REMOVAL, AND THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL CAREFULLY REMOVE, SALVAGE, STOCKPILE, REUSE, AND RESET EXISTING SIGNAGE, PAVERS, SCULPTURES, MANHOLE COVERS, VALVE COVERS AND BOXES, TELEPHONE, ELECTRICAL, CABLE PEDESTALS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED AND DIRECTED BY OWNER'S REPRESENTATIVE, UNLESS OTHERWISE NOTED. STOCKPILE MATERIALS AT APPROVED LOCATION. CONTRACTOR SHALL LOCATE AND INSTALL THESE ITEMS AS THEY WERE ORIGINALLY INSTALLED EXCEPT AS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING ELECTRICAL SYSTEMS. CONDUIT, CONNECTIONS AND IMMEDIATELY RESTORE THEM WHEN DISRUPTED BY CONSTRUCTION, AT NO ADDITIONAL COST TO OWNER.
- 10. REFERENCE SELECTIVE DEMOLITION SPECIFICATION FOR DEMOLITION ITEMS NOT DESIGNATED FOR SALVAGE, STOCKPILE, AND REUSE.
- 11. CALL PUBLIC UTILITIES NOTIFICATION CENTER OF UTAH AT LEAST 3 BUSINESS DAYS PRIOR TO COMMENCING WORK.
- 12. COORDINATE ADDITIONAL DEMOLITION REQUIREMENTS AS NECESSARY FOR CONSTRUCTION ACCESS AND STAGING.
- 13. DEMOLITION WORK ADJACENT TO EXISTING PAVEMENT SHALL BE SAWCUT TO MAINTAIN AN INTACT EDGE. DAMAGE TO THE EXISTING EDGE OF PAVEMENT WILL REQUIRE ADDITIONAL SAWCUTTING, REMOVAL AND REPLACEMENT. CONCRETE SHALL BE REMOVED AT EXISTING JOINT LOCATIONS.
- 14. ADJUST ALL EXISTING UTILITY MANHOLE COVERS, VALVE BOXES, FIRE HYDRANTS AND UTILITY BOXES TO FINAL GRADE.
- 15. CONTRACTOR SHALL PROVIDE FOR DUST CONTROL DURING DEMOLITION TO INCLUDE COVERING OF ALL TRUCKS HAULING DEBRIS OFF-SITE, PERIODICALLY CLEANING AND SWEEPING ADJACENT STREETS, AND APPLYING AN APPROVED DUST PALLIATIVE AS NECESSARY.
- 16. THOROUGHLY CLEAN ALL AREAS AND SURFACES IMPACTED BY DEMOLITION PRIOR TO START OF NEW CONSTRUCTION.
- 17. ENGINEERS / SURVEYOR/LANDSCAPE ARCHITECT ASSUME NO RESPONSIBILITY FOR BURIED UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES PRIOR TO AND DURING CONSTRUCTION.
- PROTECT OCCUPIED AREAS BELOW DURING CONSTRUCTION; AREAS BELOW SHALL BE WATER-TIGHT WHILE WORK ABOVE IS TAKING PLACE. IF DEMOLITION IS REQUIRED IN AREAS BELOW TO FACILITATE NEW WORK, RESTORE TO ORIGINAL CONDITIONS. COORDINATE ACCESS WITH OWNER.

LANDSCAPE NOTES

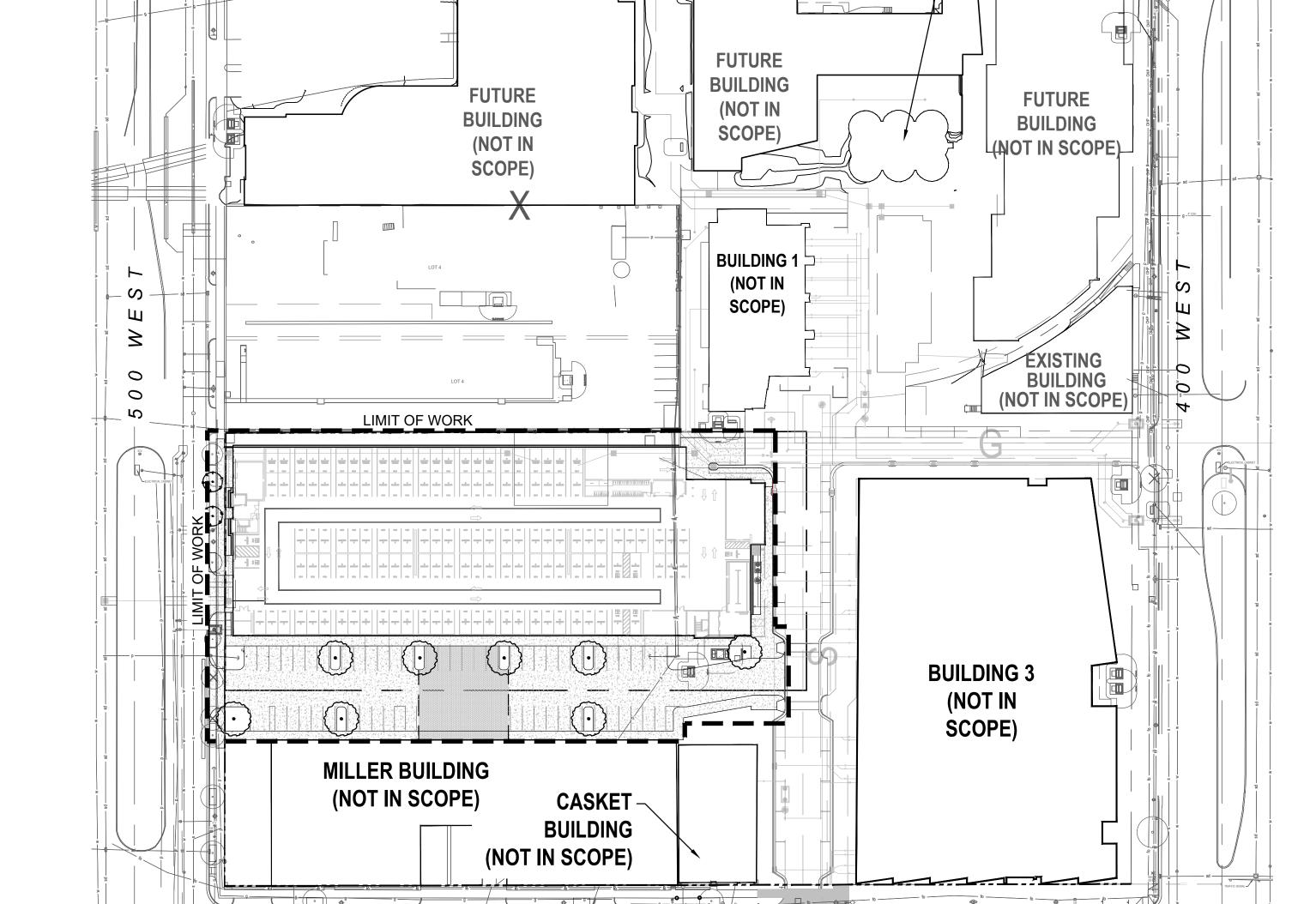
- ALL SITE IMPROVEMENTS MUST BE FIELD SURVEYED AND STAKED BY CONTRACTOR. OWNER'S REPRESENTATIVE SHALL APPROVE STAKED LOCATION OF IMPROVEMENTS PRIOR TO INSTALLATION.
- 2. OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL APPROVE FINAL STAKING BY CONTRACTOR OF ALL CONCRETE FLATWORK PRIOR TO CONSTRUCTION AND ALL FORM WORK PRIOR TO POURING.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 4. PRIOR TO EXCAVATION, UNDERGROUND UTILITIES MUST BE FIELD VERIFIED (SEE GENERAL NOTES).
- INSTALL DOWELED JOINT CONNNECTION AND $\frac{1}{2}$ " EXPANSION JOINT MATERIAL AND CAULK JOINTS AT ALL VERTICAL INTERSECTIONS BETWEEN NEW AND EXISTING CONCRETE, REFER TO DETAIL.
- 6. SAW CUT CONTROL JOINTS SHALL BE SPACED AS INDICATED ON THE PLANS AND DETAILS. EXPANSION JOINTS SHALL BE PLACED EVERY 100LF ALONG CONCRETE PATHS. CONTRACTOR SHALL LAYOUT ALL CONTROL JOINTS AND EXPANSION JOINTS IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- 7. DO NOT SCALE THE PLANS. DIMENSIONS SUPERSEDE DRAWING SCALES. VERIFY LAYOUT PRIOR TO EXCAVATION.
- 8. DIMENSIONS ARE DRAWN TO FACE OF CURB, WALL, AND EDGE UNLESS OTHERWISE SPECIFIED.
- 9. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE SPECIFICATIONS WILL SUPERSEDE PLANS.

PLANTING NOTES

- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE PLAN. SHOULD ANY DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE SHOWN IN THE DRAWINGS, THE DRAWINGS SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. CONTRACTOR SHALL INSURE PLANT MATERIAL MEET THE SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 3. CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIALS PER THE SPECIFICATIONS.
- 4. CONTRACTOR SHALL REVIEW TREE LAYOUT WITH OWNER'S REPRESENTATIVE TO DETERMINE CONFLICTS OR INTERFERENCE PRIOR TO STAKING. CONTRACTOR SHALL STAKE PLANT LOCATIONS FOR THE REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT, PRIOR TO DIGGING PLANTING PITS. THE CONTRACTOR SHALL RELOCATE ANY PLANT AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO PLANTING AT NO ADDITIONAL COST TO THE OWNER.
- 5. ALL LANDSCAPE AREAS SHALL BE COVERED WITH A MINIMUM OF 4 INCH DEPTH MULCH, UNLESS EROSION CONTROL FABRIC IS INSTALLED. SUBMIT MULCH SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 6. ANY LANDSCAPE AREAS BEYOND LIMITS OF WORK DISTURBED BY CONSTRUCTION OPERATIONS, NOT DIRECTED BY OWNER'S REPRESENTATIVE, SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- 7. CONTAMINATION OF PLANTING MIX/TOPSOIL TO REMAIN DURING CONSTRUCTION WILL REQUIRE COMPLETE REPLACEMENT AT CONTRACTOR'S EXPENSE.

TR

TOP OF RAMP



-600 SOUTH

500 SOUTH

KEY PLAN

LANDSCAPE SHEET INDEX

LANDSCAPE COVER, NOTES, AND SHEET INDEX

PLANTING DETAILS

LANDSCAPE LAYOUT AND MATERIALS PLAN L-200 SITE DETAILS L-300 PLANTING PLAN

> LANDSCAPE DRAWINGS ARE IN PROGRESS AND NOT TO A 100%DD LEVEL. SUBMITTING DRAWINGS FOR REFERENCE ONLY.

LIST OF ABBREVIATIONS															
ABC	AGGREGATE BASE	CONT	CONTINUOUS	EQ	EQUAL		POLYETHYLENE	MISC	MISCELLANEOUS	PT	POINT	SF	SQUARE FOOT (FEET)	TRANS	TRANSFORMER
	COURSE	CONST	CONSTRUCTION	EQUIP	EQUIPMENT	HORIZ	HORIZONTAL	MTD	MOUNTED	PVC	POLY VINYL CHLORIDE	SHT	SHEET	TS	TOP OF STEP
APPROX	(APPROXIMATE	CONTR	CONTRACTOR	EST	ESTIMATE	HP	HIGH POINT	MTL	METAL	PVMT	PAVEMENT	SI	STORM INLET	TSL	TOP OF SLAB
ARCH	ARCHITECT	CU	CUBIC	EW	EACH WAY	HT	HEIGHT	Ν	NORTH	PVR	PAVER	SIM	SIMILAR	TW	TOP OF WALL
AVG	AVERAGE	CY	CUBIC YARD	EX	EXISTING	ID	INSIDE DIAMETER	N/A	NOT APPLICABLE	QTY	QUANTITY	SNT	SEALANT	TYP	TYPICAL
@	AT	DBL	DOUBLE	EX FL	EXISTING FLOWLINE	IN	INCHES	NIC	NOT IN CONTRACT	R	RADIUS	SPECS	SPECIFICATION	VAR	VARIES
ALT	ALTERNATE	DEG	DEGREE	EXP	EXPANSION	INCL	INCLUDED	NO	NUMBER	RCP	REINFORCED	SQ	SQUARE	VEH	VEHICLE
B&B	BALLED AND	DEMO	DEMOLISH, DEMOLITION	FFE	FINISH FLOOR	INL	INLET	NOM	NOMINAL		CONCRETE PIPE	SS	STAINLESS STEEL	VERT	VERTICAL
	BURLAPPED	DF	DIRECTION OF FLOW		ELEVATION	INV	INVERT ELEVATION	NTS	NOT TO SCALE	RE/REF	REFERENCE	ST	STORM SEWER	VIF	VERIFY IN FIELD
ВС	BOTTOM OF CURB	DG	DECOMPOSED GRANTIE	FG	FINISHED GRADE	IRR	IRRIGATION	OC	ON CENTER	REINF	REINFORCED	STA	STATION	VOL	VOLUME
BM	BENCH MARK	DI	DUCTILE IRON PIPE	FIN	FINISH	JT	JOINT	OD	OUTSIDE DIAMETER	REM	REMOVE	STD	STANDARD	W	WEST
BC	BACK OF CURB	DIA	DIAMETER	FL	FLOWLINE	LIN	LINEAR	OPP	OPPOSITE	REQ'D	REQUIRED	STRUCT	STRUCTURAL	W/	WITH
BR	BOTTOM OF RAMP	DIM	DIMENSION	FOC	FACE OF CURB	LF	LINEAR FEET	PA	PLANTING AREA	REV	REVISION, REVISED	SY	SQUARE YARD	W/O	WITHOUT
BW	BOTTOM OF WALL	DTL	DETAIL	FT	FOOT (FEET)	LP	LOW POINT	PAR	PARALLEL	RIM	RIM ELEVATION	SYM	SYMMETRICAL	WT	WEIGHT
CAL	CALIPER	DWG	DRAWINGS	FTG	FOOTING	LT	LIGHT	PC	POINT OF CURVATURE	ROW	RIGHT-OF-WAY	TBD	TO BE DETERMINED	WL	WATER LEVEL
CAP	CAPACITY	E	EAST	GA	GUAGE	MATL	MATERIAL	PE	POLYURETHANE	RT	RIGHT	TC	TOP OF CURB	WWF	WELDED WIRE FABRIC
CF	CRUSHER FINES	EA	EACH	GAL	GALLON	MAX	MAXIMUM	PED	PEDESTRIAN	S	SOUTH	TF	TOP OF FOOTING	WWM	WELDED WIRE MESH
CJ	CONTROL JOINT	EJ	EXPANSION JOINT	GALV	GALVANIZED	ME	MEET EX. GRADE	PERF	PERFORATED	SAN	SANITARY	THK	THICK	YD	YARD
CL	CENTERLINE	EL	ELEVATION	GB	GRADE BREAK	MEMB	MEMBRANE	PI	POINT OF INTERSECTION	SCH	SCHEDULE	TM	TOP OF MONUMENT		
COMP	COMPACTED	ELEC	ELECTRICAL	GEN	GENERAL	MH	MANHOLE	PL	PROPERTY LINE	SD	STORM DRAIN	TOPO	TOPOGRAPHY		

PROPOSED

MIN

MINIMUM

HIGH DENSITY

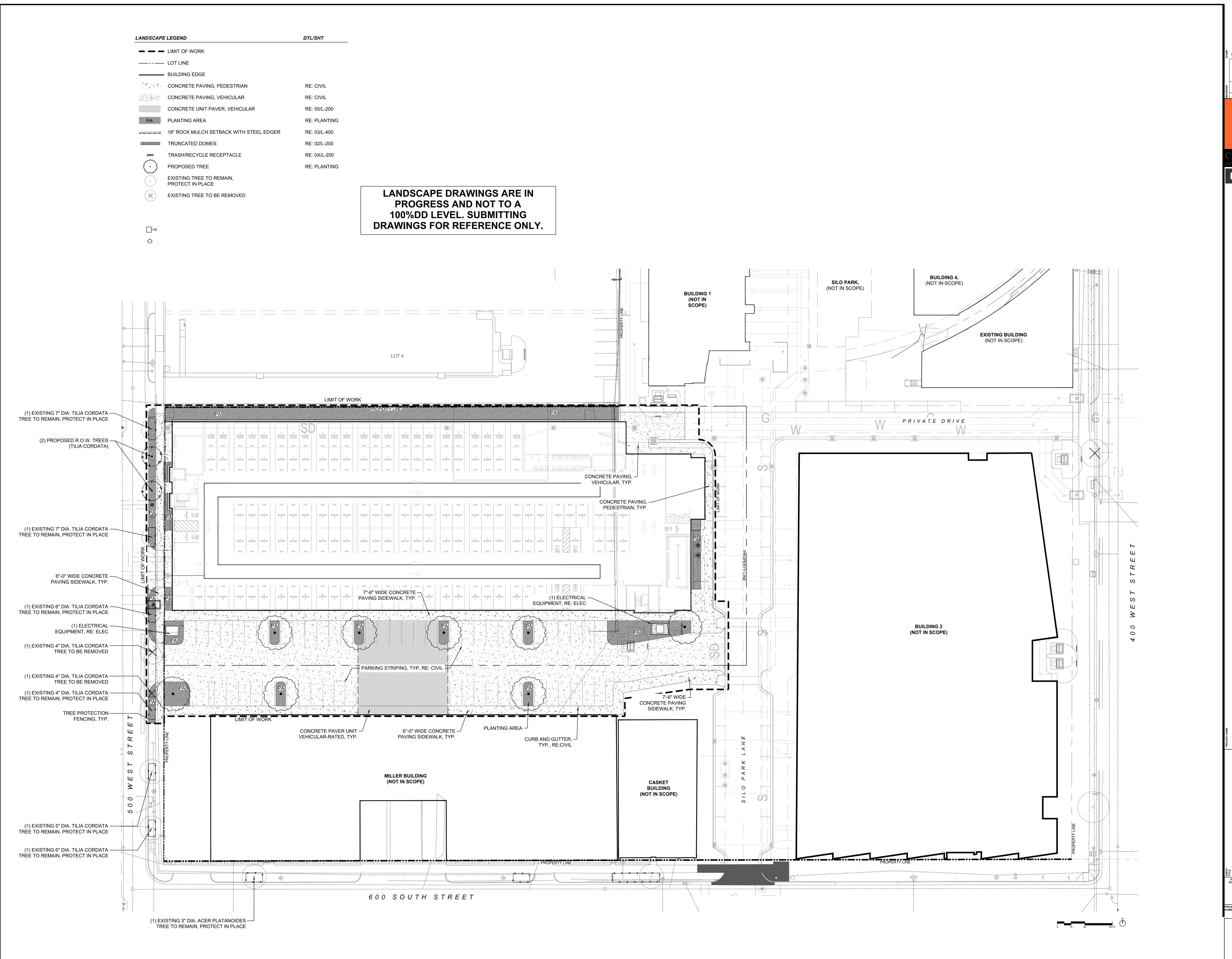
NOT

NUMBER 2015-10516

L-100

PLANNERS & LANDSCAPE

ARCHITECTS



NOT FOR CONSTRUCTION

FOR REVIEW ONLY

L-101

PROJECT NUMBER 2015-10516



FOR REVIEW ONLY

NOT FOR CONSTRUCTION

ASSOCIATES
PLANNERS &
LANDSCAPE
ARCHITECTS

LANDSCAPE DRAWINGS ARE IN PROGRESS AND NOT TO A 100%DD LEVEL. SUBMITTING DRAWINGS FOR REFERENCE ONLY.

04 CONCRETE UNIT PAVERS - VEHICULAR RATED

| 1" = 1'-0"

8. FINISH ELEVATIONS OF PAVERS SHALL NOT DEVIATE MORE THAN $\frac{1}{4}$ "

MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557.

02 TRUNCATED DOMES

1" = 1'-0"

1. REFERENCE SPECIFICATIONS FOR CONCRETE COLOR AND FINISH. WARNING PLATES RECOMMENDATIONS AND ADAAG GUIDELINES.

RE: GEOTECH AND SPECIFICATIONS CIVIL FOR THICKNESS COMPACTED SUBGRADE DOWLED JOINT CONNECTION

2. REFERENCE SPECIFICATIONS FOR MANUFACTURER, STYLE, AND FINISH OF DETECTABLE 3. INSTALL DETECTABLE WARNING PLATES IN ACCORDANCE WITH MANUFACTURER'S

- DETECTABLE WARNING PLATE 2'-0" RE: SPECIFICATIONS VEHICULAR RATED SECTION - ADJACENT CONDITIONS / VARY, RE: PLANS NOTES:

1. REFERENCE PAVEMENT LEGEND ON LAYOUT PLANS FOR LOCATIONS OF CONCRETE UNIT PAVERS.

1. REFERENCE PAVEMENT LEGEND ON LAYOUT PLANS FOR LOCATIONS OF CONCRETE UNIT PAVERS. 3. CONTRACTOR SHALL FIELD VERIFY PAVEMENT CONDITIONS AND PATTERN LAYOUT WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. - CONCRETE PAVING, 4. REFERENCE LAYOUT PLANS FOR PAVING PATTERNS. — ISOLATION JOINT, RE: 5. CONCRETE UNIT PAVERS SHALL BE FLUSH WITH SURROUNDING GRADE UNLESS OTHERWISE NOTED. 6. CONCRETE UNIT PAVERS SHALL BE LAID FROM BANDS IN HALVES OR WHOLES WHENEVER POSSIBLE AND CUT TO FIT 7. FINISH GRADE OF CONCRETE UNIT PAVERS SHALL MATCH EXISTING GRADE AT BUILDINGS UNLESS OTHERWISE NOTED.

- CONCRETE PAVING

03 PAVER RESTRAINT 1" = 1'-0"

9. CONTRACTOR SHALL USE A MIN. SIZE OF 1/2 A UNIT PAVER WHEN TRANSITIONING OR TERMINATING PAVEMENT.

CONTRACTOR SHALL CUT AND SET PAVERS ACCORDINGLY OR AS DIRECTED BY OWNER'S REPRESENTATIVE.

10. SUBGRADE SHALL CONSIST OF UNDISTURBED NATURAL SOIL OR PROPERLY COMPACTED FILL.
11. SUBGRADE FILL SHALL BE PROPERLY MOISTURE CONDITIONED, PLACE AND COMPACTED TO AT LEAST 90% OF

-POLYMERIC JOINT SAND, RE: SPECS

DETERMINED BY ASTM D 1557

NO. 200 SIEVE.

-101.6MM CONCRETE UNIT PAVERS RE: PLANS

-1" BEDDING SAND TO CONFORM TO ASTM C33. SAND SHALL BE LESS THAN 1% PASSING THE

 $-1-\frac{1}{2}$ " APWA ROAD BASE PER CIVIL, DENSIFIED TO AT LEAST 98% OF MAXIMUM DRY DENSITY AS

- GEOTEXTILE FABRIC, RE: SPECIFICATIONS

COMPACTED SUBGRADE, RE: GEOTECH

- CONCRETE UNIT PAVERS, PER PLANS ←LANDSCAPE, RE: PLANS -PAVER RESTRAINT - COMPACTED A.B.C. CLASS 6 BEDDING -GEOTEXTILE FABRIC -COMPACTED SUBGRADE, RE: GEOTECH NOTES:

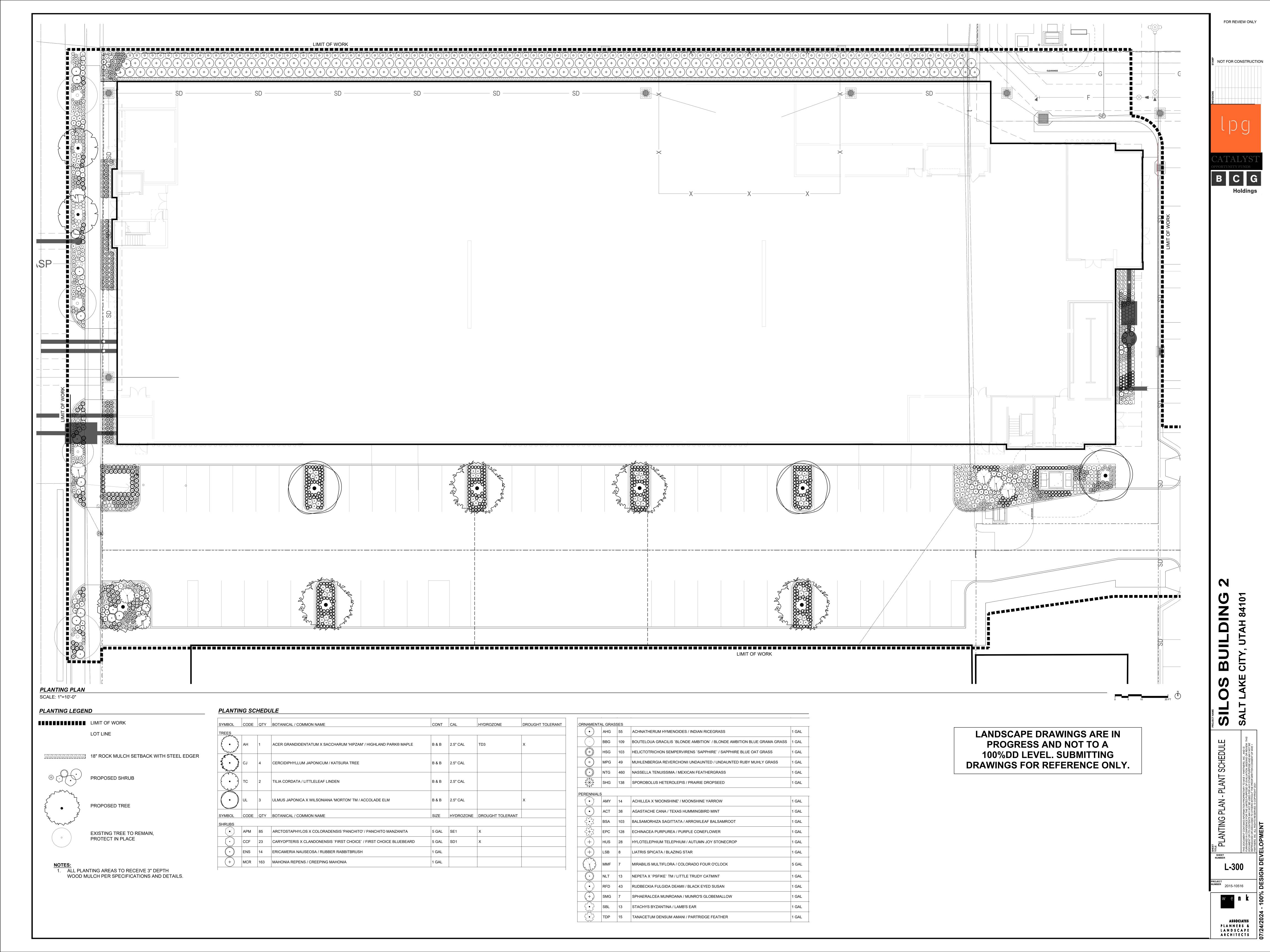
1. REFERENCE SPECIFICATIONS FOR PAVER RESTRAINT INFORMATION.

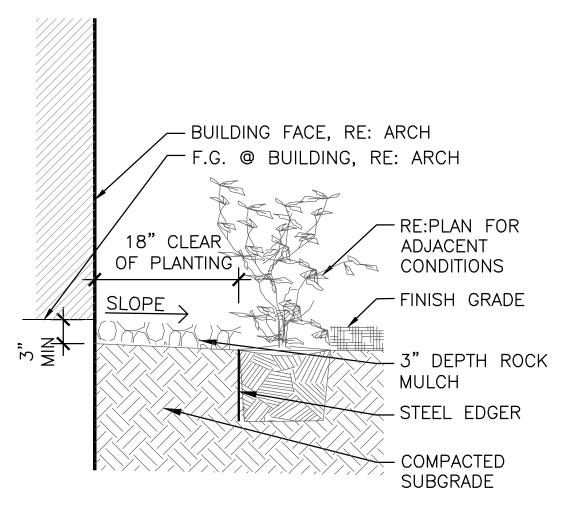
-EXISTING CONC. WALK, DRILL TO RECEIVE 18" #4 GREASED DOWEL @ 12" O.C. WITH $\frac{1}{2}$ " DOWEL CAP. -EXPANSION JOINT — CONCRETE PAVING SECTION NEW & EXISTING CONCRETE RE: CIVIL - NEW CONC. WALK, WALL OR STAIR TO RECEIVE SLIP — EXISTING CONCRETE WALK 'SPEED' DOWEL SYSTEM -EXPANSION JOINT -EXPANSION JOINT

RE: CIVIL

SECTION NEW & NEW CONCRETE

01 DOWELED JOINT CONNECTION
1" = 1'-0"





02 SHRUB PLANTING 1" = 1'-0"

-SHREDDED WOOD MULCH AT 3" DEPTH 2 X ROOTBALL -UNDISTURBED SUBGRADE NOTES:

1. SEE SPECS FOR ADDITIONAL PLANTING REQUIREMENTS.

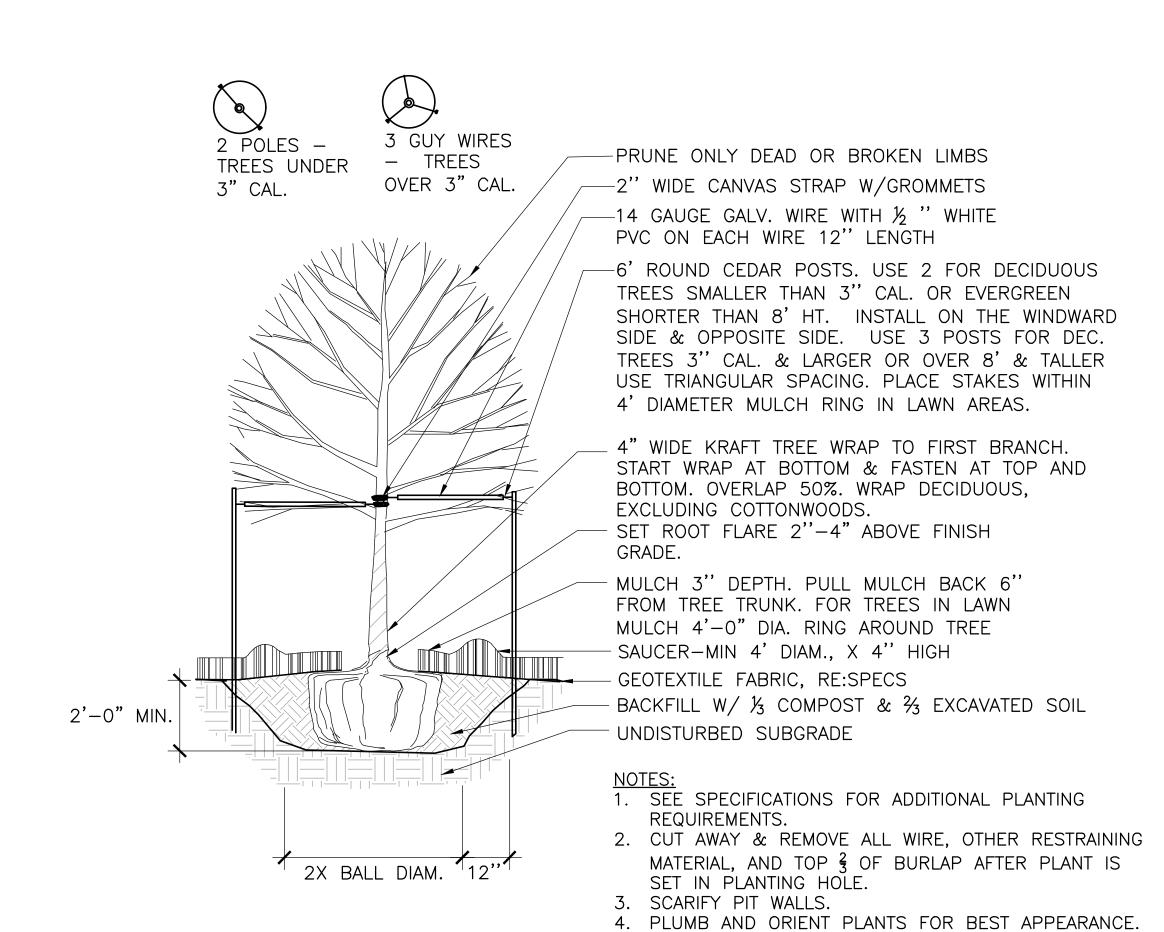
2. PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE. 3. REMOVE ALL TWINE FROM ROOT BALL, AND FOLD BURLAP BACK 2/3. 4. REMOVE PLASTIC BURLAP ENTIRELY. FOR CONTAINER SHRUBS, CAREFULLY REMOVE CONTAINER AND SCORE ROOT BALL.

5. SEE PLANTING PLAN FOR MORE INFORMATION.

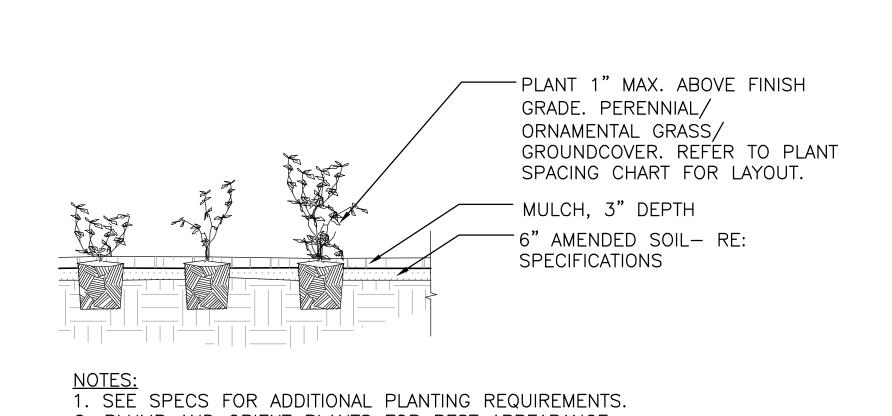
→ PULL MULCH MIN. 3" BACK FROM SHRUB BASE SET TOP OF ROOTBALL 1" ABOVE ADJACENT GRADE. IN BERMED AREAS SET ROOTBALL 1" ABOVE LOWER ADJACENT GRADE. -SCORE ROOT BALL & TEASE ROOTS OUTWARD TO ENCOURAGE PENETRATION INTO BACKFILL. -BACKFILL PLANTING PIT WITH 1/3 COMPOST 2/3 EXCAVATED SOIL. COMPACT OVER-EXCAVATION TO DENSITY OF ADJACENT SOIL.

O 1 DECIDUOUS TREE PLANTING

1/2" = 1'-0"



05 GRASS + PERENNIAL PLANTING
1" = 1'-0"



2. PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.

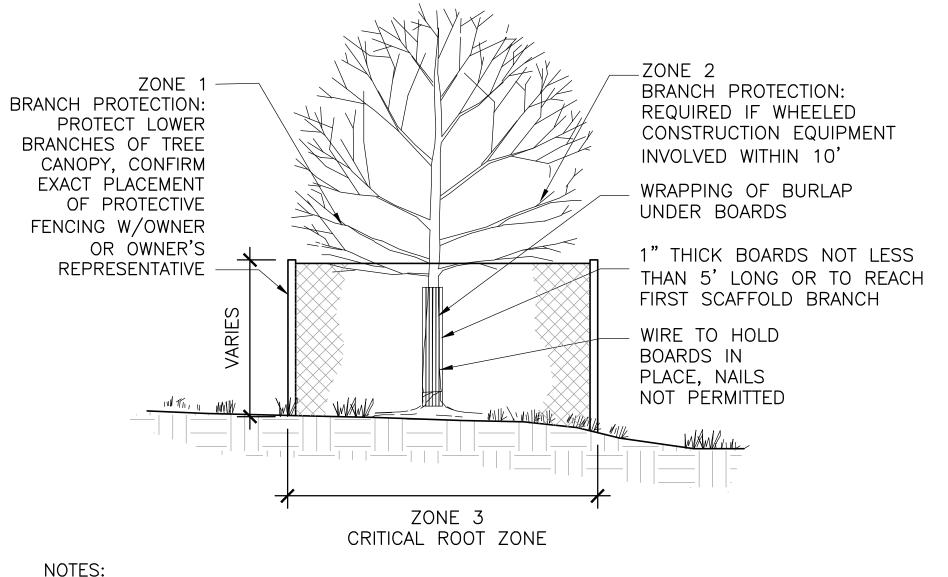
3. CAREFULLY REMOVE CONTAINER AND SCORE ROOT BALL.

 $04 \frac{TREE PROTECTION}{1/2" = 1'-0"}$

SITE IMPROVEMENTS CAUSED BY CONSTRUCTION. 6. THE CRITICAL ROOT ZONE SHALL BE DETERMINED BY WHICHEVER ENCOMPASSES THE GREATEST AREA: (1) THE IRREGULAR SHAPE FORMED AROUND A TREE BY A SERIES OF VERTICAL LINES THAT RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF THE TREE AND EXTEND TO THE GROUND, OFTEN REFERRED TO AS THE DRIP LINE; OR (2) ONE AND A HALF $(1\frac{1}{2})$ FEET OF SPACE FROM THE TRUNK FOR EACH INCH OF TRUCK DIAMETER IN EVERY DIRÈCTION. THE CRITICAL ROOT ZONE DIMENSIONS WILL SERVE AS THE REQUIRED DIMENSIONS OF THE TREE PROTECTION ZONE.

CONSTRUCTION 4. CONTRACTOR SHALL BE RESPONSIBLE WATERING AND MAINTENANCE, FOR ALL TREES WITHIN 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES, BUILDINGS, AND

1. IN AREAS WHERE GRADING EXTEND INTO EXISTING TREE DRIPLINES, CONTRACTOR SHALL HAND GRADE. 2. REFERENCE TREE PROTECTION SPECIFICATIONS. 3. FIELD VERIFY LOCATION OF TREE PROTECTION FENCE WITH OWNER'S REP. PRIOR TO



ASSOCIATES
PLANNERS &
LANDSCAPE
ARCHITECTS

LANDSCAPE DRAWINGS ARE IN

PROGRESS AND NOT TO A

100%DD LEVEL. SUBMITTING

DRAWINGS FOR REFERENCE ONLY.

NOT FOR CONSTRUCTION

FOR REVIEW ONLY